# SECTIONS 7 & 18, TOWNSHIP 26 SOUTH, RANGE 20 EAST PRELIMINARY DEVELOPMENT/CONSTRUCTION/STORMWATER MANAGEMENT PLAN AND REPORT WIREGRASS RANCH PARCEL M2 TOWNHOMES

## WESLEY CHAPEL PASCO COUNTY, FLORIDA

PROPERTY LOCATION 28898 STATE ROAD 54, WESLEY CHAPEL, FL 33543 PARCEL NO.: 07-26-20-0000-00200-0050 **EXISTING FOLIO:** PORTION OF 18-26-20-0000-00100-0050, 07 26 20 0000 00200 0050, AND 18 26 20 0000 00100 0051 PROPERTY SITE AREA: ±103.23 ACRES TOTAL PROJECT AREA: ±14.47 ACRES VACANT **EXISTING LAND USE:** PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL PROPERTY ZONING: MPUD (MASTER PLANNED UNIT DEVELOPMENT) - WIREGRASS RANCH MPUD RZ 7073 - APPROVED 02/25/2021 FUTURE LAND USE: PD (PLANNED DEVELOPMENT) 100 TOWNHOMES TOTAL NUMBER OF UNITS: NO. OF EXISTING UNITS: ZERO (0) **TOWNHOMES** UNITS PROPOSED: MAX BUILDING HEIGHT: FLOOD ZONE: THE PARCEL SHOWN HEREON APPEARS TO FALL WITHIN FLOOD ZONE "A AND X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP **BUILDING SETBACKS:** 

SITE AREA DATA (EXISTING): 6,30,603.05 SF = 14.47 AC

 PERVIOUS AREA
 6,25,829.66 SF
 (±14.36 AC)
 98.77%

 IMPERVIOUS AREA
 7,773.39 SF
 (±0.11 AC)
 1.23%

 POND AREA
 0 SF
 (±0.00 AC)
 0%

 TOTAL AREA =
 6,30,603.05 SF
 (±14.47 AC)
 100.0 %

SITE AREA DATA (PROPOSED): 6,30,603.05 SF = 14.47 AC

 PERVIOUS AREA
 2,22,124.34 SF
 (±5.10 AC)
 35.22%

 IMPERVIOUS AREA
 3,22,808.35 SF
 (±7.41 AC)
 51.19%

 POND AREA
 85,670.36 SF
 (±1.97 AC)
 13.59%

 TOTAL AREA =
 6,30,603.05 SF
 (±14.47 AC)
 100.0 %



VICINITY MAP

NORTH

#### UTILITY PROVIDERS:

WATER AND SEWER
PASCO COUNTY UTILITIES
7530 LITTLE ROAD.
NEW PORT RICHEY, FL 34654
813-235-6189
ED SIEDZIK

POWER
WITHLACOOCHEE RIVER ELECTRIC
COOPERATIVE, INC.
30461 COMMERCE DRIVE
SAN ANTONIO, FL 33576
352-588-5115

FDOT 6021 ORIENT ROAD TAMPA, FL 33610 813-620-3938 EXT. 320 KEVIN McCAFFREY

MICHAEL GULVIN

813-929-2750

FIRE SERVICE
PASCO COUNTY
4111 LAND O LAKES BLVD
SUITE 208
LAND O LAKES, FL 34639

PHONE / DATA / CABLE
FRONTIER COMMUNICATIONS
MCI
MCI

PHONE / DATA / CABLE

ZAYO GROUP

406-496-6510

130 N MAIN STREET

HENRY KLOBUCAR

BUTTE, MT 59701

3712 W WALNUT STREET 7000 WESTON PARKWAY
TAMPA, FL 33607 CARY,
(813) 875-1014 NC 27513-2119
TONI CANNON

PHONE / DATA / CABLE
CHARTER COMMUNICATIONS
700 CARILLON PARKWAY. STE. 6
ST. PETERSBURG, FL 33716
941-345-1348

JEREMY CORNETTE

GAS SERVICE
TECO PEOPLES GAS
8416 PALM RIVER ROAD
TAMPA, FL 33619
813-275-3783
JOAN DOMNING

TRAFFIC OPERATIONS

PASCO CO TRAFFIC OPERATIONS
7536 STATE STREET

ROOM 124

NEW PORT RICHEY, FL 34654
727-847-8139

VENKAT VATTIKUTI

SWFWMD	893209	IN REVIEW		
PASCO COUNTY	RESUB-2024-00048	IN REVIEW		
PERMIT TYPE.	PERMIT NO.	STATUS	APPROVAL DATE	EXPIRATION DATE

#### PROJECT TEAM:

OWNER/DEVELOPER:

JHP REAL ESTATE PARTNERSHIP &
FLYCATCHER RMTERPRISES LLC LTD
3217 TURMAN LOOP, SUITE 102
WESLEY CHAPEL, FL 33544
SCOTT SHERIDAN

SCOTT SHERIDAN
SCOTT@THEWIREGRASSRANCH.COM

CIVIL ENGINEER:

PENNONI ASSOCIATES, INC 3242 HENDERSON BLVD, #200 TAMPA, FL 33609 813-258-0066 JASON SHERIDAN, P.E. JSHERIDAN@PENNONI.COM LANDSCAPE ARCHITECT:
PENNONI ASSOCIATES, INC
3242 HENDERSON BLVD, #200
TAMPA, FL 33609
813-258-0066
JASON RINARD
JRINARD@PENNONI.COM

SURVEYOR:
FLORIDA DESIGN CONSULTANTS,INC
20525 AMBERFIELD DRIVE, SUITE 201,
LAND O LAKES, FL 34638
(800)-532-1047
JARED T. PATENAUDE
JPATENAUDE@FLDESIGN.COM

#### LEGAL DESCRIPTION:

PARCEL-07-26-20-0000-00200-0050

EAST 160 ACRES OF THAT POR OF SEC LYING SOUTH OF SR NO 54 EXC FOLL DESC PROP: COM AT NE COR OF SEC TH ALG E BDY OF SEC S00DG29'45"W 1530.63 FT TO SLY R/W LINE OF SR 54 TH SWLY ALG SAID R/W 638.31 FT ALG ARC CV L RAD 5769.58 FT CHD S74DEG 54'16"W 637.98 FT TH CONT ALG SAID R/W S71DEG41'13"W 68 FT TH S00DEG29'44"W 264.57 FT TH N89DEG30'16"W 189.57 FT TH N00DEG29'44"E 414.40 FT TO SLY R/W OF SR54 TH N71DEG41'13"E 244.27 FT ALG ARC OF CV L RAD 5679.58 FT CHD S74DG54'16"W 637.98 FT TH S71DG 41'13"W 979 45 FT FOR POB TH S00DG30'04W 397.39 FT TH N88DG8'57"W 286. 12 FT TH N0DG29'44"E 74.78 FT TH N71DG41'13"E 68 FT TH N05DG39'25"W 211.89 FT TH N71DG41'13"E 258.21 FT TO POB & LESS PCLS IN 5673/282 & EXC PCL IN 7644/404 EXC THAT PORTION LYING WITHIN PARCEL DESC IN OR 9064 PG 210 & LESS PCL DESC IN OR 9863 PG 3902 SUBJECT TO NON-EXCLUSIVE INGRESS & ACCESS EASEMENT AGREEMENT PER OR 9070 PG 2902 & LESS POR DESC IN OR 10737 PG 1555 & LESS POR DESC IN OR 10940 PG 0538.

PARCEL-18-26-20-0000-00100-0050

THAT POR OF FOLLOWING DESC PCL LYING NORTH OF PCL DESC IN OR 10900 PG 832:BEG AT NE COR OF SAID SEC 18 TH ALG EAST LINE OF SAID SEC 18 S00DEG 17'04"W 1322.21 FT TH S89DEG 54'52"W 122.50 FT TO EAST R/W LINE OF PROPOSED WIREGRASS RANCH BLVD TH N32DEG 00'57"W 1560.30 FT TO NORTH LINE OF SAID SEC 18 TH S89DEG 58'10" E 956.27 FT TO POB AKA WIREGRASS RANCH PARCEL M2

#### MUMS CERTIFICATION:

THE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME OF PASCO COUNTY APPROVAL AND ARE IN COMPLIANCE WITH THE STANDARDS THEREIN.

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CS9501	STORMWATER POLLUTION AND PREVENTION PLAN
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L1.2	LANDSCAPE PLAN
L1.3	LANDSCAPE PLAN
L1.4	LANDSCAPE PLAN
L1.5	LANDSCAPE PLAN

Pennoni

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3242 Henderson Blvd, Suite
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THIS ITEM HAS BEEN DIGITALLY SAND SEALED BY M. JASON SHEP.E. ON THE DATE ADJACENT TO SEAL. PRINTED COPIES OF DOCUMENT ARE NOT CONSIGNED AND SEALED AND SIGNATURE MUST BE VERIFIED COELECTRONIC COPIES.

ER SHEET

COVERS

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ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES ANI EXPENSES ARISING OUT OF OR RESULTING THEREFROM

PROJECT LCSTB 22003

DATE 2024-07-22

DRAWING SCALE ----

DRAWN BY

APPROVED BY

2. THE LOCATION OF EXISTING UTILITIES ARE APPROXIMATE AS SHOWN AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF THE UTILITIES PRIOR TO CONSTRUCTION IN THEIR VICINITY. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES IN THE AREA BEFORE BEGINNING CONSTRUCTION.

3. PRIOR TO BEGINNING WORK, THE CONTRACTOR SHALL EXPOSE ALL EXISTING UTILITIES TO BE EXTENDED OR CROSSED AND CONTACT THE ENGINEER AT 813-258-0066 FOR VERIFICATION OF THEIR LOCATION AND ELEVATION. ANY CONFLICTS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION FOR RESOLUTION.

4. ALL PRACTICAL AND NECESSARY EFFORT SHALL BE TAKEN DURING CONSTRUCTION TO CONTROL AND PREVENT EROSION AND TRANSPORT OF SEDIMENT MATERIAL TO INLETS AND SURFACE DRAINS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RESTORATION EFFORTS THAT MAY BE REQUIRED.

5. THE CONTRACTOR IS TO CONTROL ALL FUGITIVE DUST ORIGINATING ON THIS PROJECT BY WATERING OR OTHER METHODS AS REQUIRED.

6. SPECIAL CARE SHALL BE TAKEN TO ENSURE THAT EXISTING TREES IDENTIFIED TO BE SAVED REMAIN UNDAMAGED DURING CONSTRUCTION. (REFERENCE PASCO COUNTY LAND DEVELOPMENT CODE)

7. ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL AND TELEPHONE CROSSINGS SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.

8. ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PASCO COUNTY STANDARDS AND SPECIFICATIONS OR ALTERNATE TECHNICAL SPECIFICATIONS PROVIDED BY

9. PIPE MEASUREMENTS ARE TO THE CENTER OF STRUCTURE FOR INLETS AND STORM MANHOLES. CURB INLET STATIONS ARE CALCULATED TO EDGE OF PAVEMENT. ALL PIPE LENGTHS ARE PLUS OR MINI IS

10. CONFLICTS BETWEEN WATER LINES, SANITARY AND STORM SEWER TO BE RESOLVED BY ADJUSTING WATER LINES AS NECESSARY.

11. THE PARCEL SHOWN HEREON APPEARS TO FALL WITHIN FLOOD ZONE "AE AND X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP 12101C, COMMUNITY PANEL NUMBER 0426 F, MAP REVISED 09-26-2014. THE BASE FLOOD ELEVATION (BFE) IS 67.4' (N.A.V.D. 88).

12. RELOCATION AND REPLACEMENT OF EXISTING UTILITIES AFFECTED BY PROPOSED CONSTRUCTION TO BE COORDINATED BY SITE CONTRACTOR.

13. ALL RADII ARE 5' UNLESS OTHERWISE INDICATED.

14. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING MAINTENANCE OF TRAFFIC PLANS AS REQUIRED.

15. THE CONTRACTOR SHALL OBTAIN A PERMIT FOR ANY WORK WITHIN THE R/W AND IS RESPONSIBLE FOR REPAIR AND REPLACEMENT OF INFRASTRUCTURE/FACILITIES WITHIN R/W THAT ARE DAMAGED DURING CONSTRUCTION ACTIVITY.

16. ANY ON-SITE WELLS NOT PROPOSED TO REMAIN ARE TO BE SEALED BY A LICENSED WELL CONTRACTOR.

17. ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DESIGN AND INSTALLATION.

18. CONTRACTOR TO NOTIFY SUNSHINE STATE ONE CALL OF FLORIDA, INC. AND ANY OTHER UTILITY COMPANIES NOT REPRESENTED BY ONE CALL OF FLORIDA 48 HOURS PRIOR TO CONSTRUCTION FOR LOCATION OF EXISTING UTILITIES, CALL SUNSHINE AT 1-800-432-4770.

19. ALL UNDERGROUND UTILITIES MUST BE INSTALLED BEFORE SUB-BASE, BASE AND SURFACE ARE CONSTRUCTED.

20. SIDEWALKS TO BE INSTALLED BY THE CONTRACTOR AS PART OF CONSTRUCTION ACTIVITIES TO INCLUDE ACCESSIBLE CURB RAMP AT CROSSWALKS IN ACCORDANCE WITH FDOT INDEX 522-002.

21. STAKED SILT FENCE WILL BE INSTALLED PRIOR TO EARTHWORK OPERATIONS COMMENCING AND IS TO BE MAINTAINED THROUGH PROJECT COMPLETION.

22. ALL SWALES SHALL BE SODDED AS SHOWN ON THE SECTIONS.

23. STORM SEWER PIPE LINES WILL NOT BE INSTALLED PRIOR TO PLACEMENT AND ALIGNMENT OF

#### SANITARY SEWER NOTES

> 18' DEPTH DIP

ALL SANITARY SEWER MAINS AND LATERALS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.

 ALL. SANITARY SEWER WORK SHALL CONFORM TO LOCAL REGULATORY STANDARDS AND SPECIFICATIONS.

3. PRIOR TO COMMENCING WORK WHICH REQUIRES CONNECTING NEW WORK TO EXISTING LINES OR APPURTENANCES, THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING CONNECTION POINT AND NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES.

4. SANITARY SEWER PIPES SHALL MEET THE FOLLOWING MINIMUM CRITERIA:
3' - 12' DEPTH SDR-26
12' -18' DEPTH SDR-26

5. ALL SANITARY SEWER PIPELINES SHALL BE SOLID GREEN IN COLOR.

6. ALL PVC FORCE MAINS SHALL BE PRESSURE CLASS 200, SDR 21, COLOR GREEN, WITH A GREEN MAGNETIC TAPE A MINIMUM OF 2" WIDE PLACED 1 FOOT BELOW THE PROPOSED GRADE. THE PRINTING ON THE MAGNETIC TAPE SHALL READ "FORCEMAIN".

7. ALL DUCTILE IRON PIPE SHALL BE PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.51-91 (AWWA C151) AND PIPE SHALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS IN ACCORDANCE WITH ANSI A 21.4 (AWWA C104).

8. ALL SANITARY SEWER GRAVITY MAINS OR SANITARY SEWER FORCE MAINS THAT REQUIRE DIP ARE TO BE POLYLINED OR EPOXY LINED.

9. ALL SANITARY SEWER RIMS AND COVERS SHALL BE TRAFFIC RATED FOR H-20 LOADING.

10. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS; SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW FINAL GRADES AND LOCATIONS ON ALL SANITARY SEWER MAINS, STRUCTURES AND SERVICES. ALL RESTRAINED JOINTS SHALL BE SHOWN ON THE RECORD DRAWINGS. THE CONTRACTOR SHALL PROVIDE SIX COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

SANITARY SEWER TESTING AND INSPECTION REQUIREMENTS

1. ALL GRAVITY SEWER PIPING SHALL BE SUBJECT TO A VISUAL INSPECTION BY THE ENGINEER. CONTRACTOR SHALL NOTIFY THE ENGINEER 48 HOURS IN ADVANCE TO SCHEDULE INSPECTION.

2. ALL GRAVITY SEWER PIPING SHALL BE VIDEO TAPED AND RESULTS FURNISHED TO THE LOCAL

3. THE GRAVITY SANITARY SEWER AND ALL SERVICE LATERALS SHALL BE SUBJECT TO ADDITIONAL TESTING AS REQUIRED BY LOCAL REGULATIONS. TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SHALL BE SUBMITTED TO THE LOCAL AUTHORITIES FOR APPROVAL. COORDINATION

AND NOTIFICATION OF ALL PARTIES SHALL BE THE CONTRACTORS RESPONSIBILITY.

4. ALL FORCE MAINS SHALL BE SUBJECT TO A HYDROSTATIC PRESSURE TEST IN ACCORDANCE WITH LOCAL REGULATIONS. TEST SHALL BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE LOCAL AUTHORITIES FOR APPROVAL. COORDINATION AND NOTIFICATION OF ALL PARTIES SHALL BE THE CONTRACTORS RESPONSIBILITY.

#### PASCO COUNTY DEVELOPMENT REVIEW NOTES —

1. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE PASCO COUNTY STANDARDS FOR DESIGN AND CONSTRUCTION OF WATER AND WASTEWATER FACILITIES SPECIFICATIONS, LATEST EDITION.

3. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THIS APPROVAL DOES NOT INCLUDE ANY WORK IN THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED

2. ALL ON-SITE WATER AND SEWER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE

THE COUNTY RIGHT-OF-WAY. ALL RIGHT-OF-WAY WORK SHALL BE A FUNCTION OF AN APPROVED PASCO COUNTY RIGHT-OF-WAY USE PERMIT.

4. ALL CLEAR-SITE ACTIVITIES SHALL BE KEPT FREE OF SIGNAGE, PLANTINGS, TREES, ETC. IN EXCESS

OF THREE-AND-A-HALF (3-1/2) FEET IN HEIGHT.

5. NO IRRIGATION SYSTEM OR LANDSCAPING SHALL BE INSTALLED IN ANY COUNTY OR STATE

RIGHT-OF-WAY WITHOUT THE ISSUANCE OF APPROPRIATE RIGHT-OF-WAY USE PERMIT.

6. THE OWNER/DEVELOPER ACKNOWLEDGES THAT THE SITE AND ITS SUBSEQUENT BUILDING

PERMITS SHALL COMPLY WITH ALL REZONING/MPUD/PUD CONDITIONS.

7. ALL STRUCTURES, INCLUDING BUFFER WALLS, RETAINING WALLS, SIGNAGE, ETC. REQUIRE

8. ALL FIRST FLOOR (FF) ELEVATIONS SHALL BE A MINIMUM OF 1' ABOVE THE BASE FLOOD ELEVATION OR AS REQUIRED BY THE LDC SECTION 701 (LDC 306.3.c, 701.9.b.2).

9. AS APPLICABLE, THE OWNER/DEVELOPER SHALL PROVIDE COPIES OF THE REQUIRED PERMITS FROM THE RESPECTIVE GOVERNING AGENCIES PRIOR TO THE ISSUANCE OF THE SDP (LCD 605.3.cc).

10. PRIOR TO THE START OF THE CLEARING AND GRUBBING, OR ANY SOIL DISTURBANCE CONTACT PC STORMWATER MGMT AT (727) 834-3611 FOR A SOIL EROSION AND SEDIMENT CONTROL, PRE-INSPECTION MEETING.

11. CONTRACTOR TO PROVIDE A DEWATERING PLAN, IF APPLICABLE, TO PASCO COUNTY ENGINEERING INSPECTION DEPARTMENT (727-834-3670) AT THE PRE-CONSTRUCTION MEETING FOR REVIEW PRIOR TO THE INSTALLATION OF THE EROSION CONTROL MEASURES.

12. SHOULD ANY NOTICEABLE SOIL SLUMPING OR SINKHOLE FORMATION BECOME EVIDENT, THE APPLICANT/DEVELOPER SHALL IMMEDIATELY NOTIFY THE COUNTY, TAMPA BAY WATER, AND THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT (SWFWMD) AND ADOPT ONE (1) OR MORE OF THE FOLLOWING PROCEDURES AS DETERMINED TO BE APPROPRIATE BY THE COUNTY AND SWFWMD:

a. IF THE SLUMPING OR SINKHOLE FORMATION BECOMES EVIDENT BEFORE OR DURING CONSTRUCTION ACTIVITIES, STOP ALL WORK (EXCEPT FOR MITIGATION ACTIVITIES) IN THE AFFECTED AREA AND REMAIN STOPPED UNTIL THE COUNTY AND SWFWMD APPROVE RESUMING CONSTRUCTION ACTIVITIES.

b. TAKE IMMEDIATE MEASURES TO ENSURE NO SURFACE WATER DRAINS INTO THE AFFECTED AREAS.

c. VISUALLY INSPECT THE AFFECTED AREA.

OWNER-DEVELOPER.

d. EXCAVATE AND BACKFILL OR GROUT, AS REQUIRED, TO FILL THE AFFECTED AREA AND PREVENT FURTHER SUBSIDENCE.

e. USE SOIL REINFORCEMENT MATERIALS IN THE BACKFILLING OPERATION WHEN APPROPRIATE.

f. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA, MAINTAIN A MINIMUM DISTANCE OF TWO (2) FEET FROM THE BOTTOM OF THE RETENTION POND TO THE SURFACE OF THE LIMEROCK OR KARST CONNECTION.

g. IF THE AFFECTED AREA IS IN THE VICINITY OF A WATER-RETENTION AREA AND THE ABOVE METHODS DO NOT STABILIZE THE COLLAPSE, RELOCATE THE RETENTION AREA

13. ALL PROPOSED SIGNS MUST BE APPLIED FOR, APPROVED, AND PERMITTED ON AN INDIVIDUAL BASIS APART FROM ANY ULTIMATELY APPROVED SITE PLAN. APPROVAL OF THIS SITE PLAN DOES NOT CONSTITUTE APPROVAL OF ANY SIGNAGE.

14. HANDICAP PARKING SPACES WILL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, OR OTHER APPLICABLE STANDARDS.

15. THE ARCHITECT/ENGINEER CERTIFIES THAT THE SITE HAS BEEN DESIGNED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT.

16. ALL ON-SITE PARKING SPACES WILL BE STRIPED AND SIGNED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION. PARKING SPACES, DIRECTIONAL ARROWS, AND STOP BARS SHALL BE STRIPED IN WHITE. IT SHALL BE THE OWNER/DEVELOPER'S RESPONSIBILITY TO PROPERLY SIGN AND STRIPE IN ACCORDANCE WITH APPLICABLE STANDARDS.

17. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF HISTORIC RESOURCES. INCLUDING

SHELL TOOLS, HISTORIC TRASH PITS, OR HISTORIC BUILDING FOUNDATION, ARE DISCOVERED, WORK SHALL COME TO AN IMMEDIATE STOP AND THE FLORIDA DEPARTMENT OF HISTORIC RESOURCES (STATE HISTORIC PRESERVATION OFFICER) AND PASCO COUNTY SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE RESOURCES FOUND ON THE SITE.

18. IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE OR FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, PASCO COUNTY NATURAL

BUT NOT LIMITED TO ABORIGINAL OR HISTORIC POTTERY, PREHISTORIC STONE TOOLS, BONE OF

FEDERALLY PROTECTED PLANT AND/OR ANIMAL SPECIES IS DISCOVERED, PASCO COUNTY NATURAL RESOURCE INSPECTOR AND APPLICABLE AGENCIES, SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON THE SITE. ALL WORK IN THE AFFECTED AREA SHALL COME TO AN IMMEDIATE STOP UNTIL ALL PERTINENT PERMITS HAVE BEEN OBTAINED, AGENCY WRITTEN AUTHORIZATION TO COMMENCE ACTIVITIES HAS BEEN GIVEN, OR UNLESS COMPLIANCE WITH STATE AND FEDERAL GUIDELINES CAN BE DEMONSTRATED.

THE ISSUANCE OF A SEPARATE BUILDING PERMIT. APPROVAL OF THE SITE PLAN DOES NOT CONSTITUTE APPROVAL OF THE LOCATION OF THE FUEL TANKS.

20. IF A PROJECT SITE CONTAINS AND EASEMENT, ESPECIALLY A POWER COMPANY EASEMENT, A LETTER OF NO OBJECTION IS REQUIRED FROM THE FASEMENT HOLDER, BY SIGNING AND SEALING.

19. INSTALLATION OF FUEL TANKS REQUIRES REVIEW AND APPROVAL BY THE FIRE MARSHAL AND

20. IF A PROJECT SITE CONTAINS AND EASEMENT, ESPECIALLY A POWER COMPANY EASEMENT, A LETTER OF NO OBJECTION IS REQUIRED FROM THE EASEMENT HOLDER. BY SIGNING AND SEALING THIS PLAN THE ENGINEER OF RECORD IS ATTESTING THAT HE/SHE HAS IDENTIFIED AND ACCURATELY SHOWN ALL EASEMENTS OF RECORD ON THE PLANS.

21. THE UPLAND BUFFER LINE SHALL BE CLEARLY FIELD DEMARCATED PRIOR TO ANY CONSTRUCTION ACTIVITIES. NO CONSTRUCTION ACTIVITIES, INCLUDING CLEARING, GRADING, OR GRUBBING, SHALL OCCUR WITHIN THE WETLAND UPLAND BUFFER UNLESS OTHERWISE APPROVED BY THE COUNTY AND AS DEPICTED ON THE COUNTY-APPROVED CONSTRUCTION PLANS FOR THE PROJECT.

#### FIRE PROTECTION NOTES -

1. ALL PROJECTS MUST COMPLY WITH PASCO COUNTY FIRE HYDRANT ORDINANCE NO. 46-51 AND SBCCI STANDARD FIRE PROTECTION CODE, LATEST EDITION.

2. FIRE HYDRANTS SHALL BE INSTALLED AND IN SERVICE PRIOR TO THE ACCUMULATION OF COMBUSTIBLES.

3. PER THE NATIONAL FIRE PROTECTION ASSOCIATION, NFPA-1, 16.4.3.1.3: WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY SHALL BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO ANY CONSTRUCTION WORK.

4. PER NFPI-1, 18.3.4.1: CLEARANCES OF 7.5 FEET IN FRONT OF AND TO THE SIDES OF THE FIRE HYDRANT WITH FOUR-FOOT CLEARANCE TO THE REAR MUST BE MAINTAINED AT ALL TIMES.
5. GATED ENTRIES REQUIRE A SIREN OPERATING SYSTEM OR A 3M OPTICOM SYSTEM FOR EMERGENCY ACCESS.

6. CANOPIES, BALCONIES, ETC. SHALL HAVE A MINIMUM OF 13'-6" HEIGHT CLEARANCE.

#### SIGNAGE AND PAVEMENT MARKING NOTES—

PAVEMENT MARKINGS SHALL BE PLACED AS SHOWN IN THE PLANS AND THE APPROPRIATE FDOT STANDARD INDEX.

2. SIGN LOCATIONS ARE SHOWN AS APPROXIMATE AND MAY REQUIRE FIELD ADJUSTMENT AS DIRECTED BY THE ENGINEER.

4. STREET SIGNAGE IS TO MEET PASCO COUNTY AND FDOT STANDARDS FOR DESIGN, AND

3. ALL SIGNS AND PAVEMENT MARKINGS SHALL CONFORM TO THE U.S. DEPT. OF TRANSPORTATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", LATEST EDITION.

DEVELOPER FOR APPROVAL. CONTRACTOR SHALL USE W-SHAPED STEEL POST FOR ROADWAY SIGNS.

CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS TO THE ENGINEER OF RECORD AND THE

5. ALL PAVEMENT MARKINGS SHALL BE LEAD-FREE, NON-SOLVENT BASED PAINT. THERMOPLASTIC ONLY WHERE NOTED.

6. ALL PAVEMENT MARKINGS TO BE REMOVED SHALL BE PERFORMED BY HYDRO BLASTING (EXCEPT IN THE FDOT ROW).

7. LOCATION OF STOP BARS SHALL BE IN ACCORDANCE WITH SECTION 3B.16 OF THE MUTCO.8. LOCATION OF SIGNS SHALL BE IN ACCORDANCE WITH SECTION 3B.16 OF THE MUTCO.

9. ALL LOCAL ROADS SHALL BE PRIVATE.

#### EROSION AND SEDIMENTATION CONTROL NOTES

1. THE INSTALLATION OF TEMPORARY EROSION CONTROL BARRIERS SHALL BE COORDINATED WITH THE CONSTRUCTION OF THE PERMANENT EROSION CONTROL FEATURES TO THE EXTENT NECESSARY TO ASSURE ECONOMICAL EFFECTIVE AND CONTINUOUS CONTROL OF EROSION AND WATER POLLUTION THROUGHOUT THE LIFE OF THE CONSTRUCTION PHASE.

2. THE TYPE OF EROSION CONTROL BARRIERS USED SHALL BE GOVERNED BY THE NATURE OF THE CONSTRUCTION OPERATION AND SOIL TYPE THAT WILL BE EXPOSED. SILTY AND CLAYEY MATERIAL USUALLY REQUIRES SOLID SEDIMENT BARRIERS TO PREVENT TURBID WATER DISCHARGE, WHILE SANDY MATERIAL MAY NEED ONLY SILT SCREENS OR HAY BALES TO PREVENT EROSION. FLOATING TURBIDITY CURTAINS SHOULD BE USED IN OPEN WATER SITUATIONS. DIVERSION DITCHES OR SWALES MAY BE REQUIRED TO PREVENT TURBID STORMWATER RUNOFF FROM BEING DISCHARGED TO WETLANDS OR OTHER WATER BODIES. IT MAY BE NECESSARY TO EMPLOY A COMBINATION OF BARRIERS, DITCHES, AND OTHER EROSION/ TURBIDITY CONTROL MEASURES IF CONDITIONS

3. WHERE PUMPS ARE TO BE USED TO REMOVE TURBID WATERS FROM THE CONSTRUCTION AREA, THE WATER SHALL BE TREATED TO REDUCE TURBIDITY TO STATE WATER QUALITY STANDARDS PRIOR TO DISCHARGE. TREATMENT METHODS INCLUDE, FOR EXAMPLE, TURBID WATER BEING PUMPED INTO GRASSED SWALES OR APPROPRIATE VEGETATED AREAS (OTHER THAN UPLAND PRESERVATION AREAS AND WETLAND BUFFERS), SEDIMENT BASINS, OR CONFINED BY AN APPROPRIATE ENCLOSURE SUCH AS TURBIDITY BARRIERS AND KEPT CONFINED UNTIL ITS TURBIDITY LEVEL MEETS STATE WATER QUALITY STANDARDS.

4. THE CONTRACTOR SHALL PROVIDE ROUTINE MAINTENANCE OF PERMANENT AND TEMPORARY EROSION CONTROL FEATURES UNTIL THE PROJECT IS COMPLETE AND ALL BARE SOIL STABILIZED. SILTATION ACCUMULATIONS GREATER THAN THE LESSER OF 12 INCHES OR ONE-HALF THE DEPTH OF THE SILTATION CONTROL BARRIER SHALL BE IMMEDIATELY REMOVED AND PLACED IN UPLAND AREAS.

5. WATER REMAINING IN THE EXCAVATIONS AFTER CONSTRUCTION MUST BE KEPT CONFINED WITHIN THE EXCAVATIONS PRIOR TO DISCHARGE (IF APPLICABLE), UNTIL THE TURBIDITY LEVEL OF THE POND WATER MEETS STATE WATER QUALITY STANDARDS.

6. NO CLAY MATERIAL SHALL BE LEFT EXPOSED IN THE EXCAVATIONS. IF CLAY OR SANDY CLAYS ARE

LEFT EXPOSED AT THE PERMITTED DEPTH, THE CONTRACTOR SHALL OVER EXCAVATE THE POND'S BOTTOM AND SIDE SLOPES BY A MINIMUM OF 12 INCHES AND BACK FILL WITH CLEAN SANDS.

7. PROVIDE ALL DISTURBED AREAS WITHIN THE LIMITS OF THE WORK WITH TEMPORARY SOIL EROSION CONTROL AND SEDIMENT CONTROL. UTILIZING EARTH DAMS & PONDS, GRADE TO DRAIN SWALES, SETTLING BASINS, SILT FENCES, STONE FILTERS, HAY BALE FILTERS, ETC. TREATING ALL SOIL SURFACES WITH SEEDED TOPSOIL AND / OR MULCH AFTER GRADING.

8. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

9. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND AIR AND WATER POLLUTION WILL BE MINIMIZED STATE AND LOCAL LAWS SHALL BE COMPLIED WITH AT ALL

10. MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ONE TIME AND INSTALL SOIL EROSION CONTROL FENCES AS SHOWN AND IN SUCH A MANNER AS TO CAPTURE AND FILTER SURFACE WATER DURING CONSTRUCTION.

11. PERMANENT VEGETATION SHALL BE BY SEEDING OR SODDING ALL EXPOSED AREAS WITHIN THREE DAYS AFTER FINAL GRADING. MULCH SHALL BE USED AS NECESSARY FOR PROTECTION UNTIL 75% GROWTH IS ESTABLISHED.

12. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL WHICH WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY AS TO PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER.

13. ALL NEW EROSION AND SILT CONTROL METHODS AND LOCATIONS INDICATED ON THIS DRAWING ARE FOR STARTUP AND GENERAL REFERENCE AND SHALL BE ADJUSTED, AS REQUIRED TO SUIT THE PROCESS OF THE CONSTRUCTION.

14. ALL DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION SHALL RECEIVE VEGETATIVE TREATMENT AFTER FINAL GRADING IN ACCORDANCE WITH THESE PLANS. DISTURBED AREAS NOT SPECIFICALLY DESIGNATED WITH A VEGETATIVE COVER SHALL BE VEGETATED AS FOLLOWS: POND SIDE SLOPES SHALL BE SODDED WITH ARGENTINE BAHIA UNLESS OTHERWISE NOTED ON LANDSCAPE

15. HAY BALES SHALL BE PLACED ON THE UPLAND SIDE AND ADJACENT TO ALL SILT FENCE WHICH IS ADJACENT TO WETLAND AREAS TO PROVIDE ADDED SILTATION PROTECTION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE HAY BALES SHALL BE REMOVED AT SUCH TIME AS THEIR PRESENCE IMPEDES CONSTRUCTION.

16. IT IS NOT THE INTENT OF THESE PLANS TO SHOW ALL EROSION CONTROL TEMPORARY DRAINAGE AND INCIDENTAL CONSTRUCTION NECESSARY TO PREVENT EROSION. THE CONTRACTOR IS TO PROVIDE EROSION CONTROL/SEDIMENTATION BARRIER (HAY BALES OR SILTATION CURTAIN) TO PREVENT SILTATION OF ADJACENT PROPERTY. STREETS, STORM SEWERS AND WATERWAYS. IN ADDITION, CONTRACTOR SHALL PLACE STRAW, MULCH OR OTHER SUITABLE MATERIAL ON GROUND IN AREAS WHERE CONSTRUCTION RELATED TRAFFIC IS TO ENTER AND EXIT SITE. IF, IN THE OPINION OF THE ENGINEER AND/OR LOCAL AUTHORITIES, EXCESSIVE QUANTITIES OF EARTH ARE TRANSPORTED OFF-SITE EITHER BY NATURAL DRAINAGE OR BY VEHICULAR TRAFFIC, THE CONTRACTOR IS TO REMOVE AND CLEAN SAID EARTH TO THE SATISFACTION OF THE ENGINEER/AND/OR AUTHORITIES.

17. SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 570-001 OF THE FDOT STANDARD PLANS ROAD CONSTRUCTION, 2021-2022 OR LATEST EDITION. FILTER FABRIC FOR SILT FENCE AND INLET PROTECTION SHALL BE IN ACCORDANCE WITH SECTION 514 OF THE FDOT STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION 2022 OR LATEST EDITION.

18. RUBBLE RIPRAP SHALL BE IN CONFORMANCE WITH SECTION 530 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2022 OR LATEST ADDITION. FILTER FABRIC FOR CHECK DAMS SHALL BE IN ACCORDANCE WITH SECTION 514 OF THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 2022 OR LATEST EDITION.

19. EROSION AND SEDIMENTATION CONTROL DEVICES SHALL BE CONSTRUCTED AT THE LOCATIONS SHOWN ON DRAWINGS WHERE APPLICABLE OR AT LOCATIONS DETERMINED BY THE ENGINEER. THE QUANTITY OF TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICE MAY BE INCREASED OR DECREASED FROM THAT SHOWN IN THE DRAWINGS BASED ON WEATHER, CONSTRUCTION PROCEDURES AND ACTUAL SITE CONDITIONS THAT OCCUR DURING CONSTRUCTION. SUCH VARIATIONS WILL NOT BE CONSIDERED AS ALTERATIONS IN THE DETAILS OF CONSTRUCTION OR A CHANGE IN THE CHARACTER OF WORK.

#### WATER SYSTEM NOTES -

BY THE LOCAL UTILITY AND FIRE MARSHAL

1. ALL WATER MAINS SHALL HAVE A MINIMUM OF 36 INCHES OF COVER.

2. ALL WATER SYSTEM WORK SHALL CONFORM TO LOCAL REGULATORY STANDARDS AND SPECIFICATIONS

3. CONFLICTS BETWEEN WATER AND STORM OR SANITARY SEWER SHALL BE RESOLVED BY ADJUSTING THE WATER LINES AS REQUIRED.

4. ALL DUCTILE IRON PIPE SHALL, BE PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND PIPE SMALL RECEIVE EXTERIOR BITUMINOUS COATING IN ACCORDANCE WITH ANSI A 21.51 (AWWA C151) AND SHALL BE CEMENT MORTAR LINED, STANDARD THICKNESS IN ACCORDANCE WITH ANSI A 21.4 (AWWA C104).

5. ALL FITTINGS 3" OR LARGER SHALL BE MECHANICAL JOINT. DUCTILE IRON PRESSURE CLASS 350 IN ACCORDANCE WITH ANSI A 21.10 AND A 21.11 (AWWA C110 AND AWWA C111 RESPECTIVELY). FITTINGS SHALL BE CEMENT MORTAR LINED AND BITUMINOUS COATED IN ACCORDANCE WITH AWWA C104 AND

6, THE CONTRACTOR SHALL INSTALL TEMPORARY BLOW-OFFS AT THE END OF WATER SERVICE

LATERALS TO ASSURE ADEQUATE FLUSHING AND DISINFECTION.

7. ALL PVC WATER MAINS 4" THROUGH 12" SHALL BE IN ACCORDANCE WITH AWWA C900. PIPE SHALL BE CLASS 150 AND MEET THE REQUIREMENTS OF SDR 18 IN ACCORDANCE WITH ASTM D-2241.

8. WATER MAIN PIPING LARGER THAN 2" AND SMALLER THAN 4" SHALL BE PRESSURE CLASS 200 AND MEET THE REQUIREMENTS OF SDR 21 IN ACCORDANCE WITH ASTM D-2241 UNLESS SPECIFIED OTHERWISE

9. ALL PIPE AND FITTINGS 2" AND SMALLER SHALL BE SCHEDULE 40 PVC WITH SOLVENT WELDED SLEEVE TYPE JOINTS OR SDR 9 HDPE.

REQUIREMENTS OF AWWA C509.

11. ALL FIRE HYDRANTS SHALL MEET THE REQUIREMENTS OF AWWA C502 AND SHALL BE APPROVED

10. ALL GATE VALVES 2" OR LARGER SHALL BE RESILIENT SEAL OR RESILIENT WEDGE MEETING THE

12. MATERIALS AND CONSTRUCTION METHODS FOR WATER DISTRIBUTION SYSTEMS SHALL BE IN ACCORDANCE WITH ALL LOCAL REGULATIONS, PLANS. AND SPECIFICATIONS FOR CONSTRUCTION, LATEST REVISION THEREOF, AND SUPPLEMENTAL SPECIFICATIONS THERETO. APPROVAL AND CONSTRUCTION OF ALL POTABLE WATER SERVICE MAIN EXTENSIONS AND CONNECTIONS MUST BE

COORDINATED THROUGH THE LOCAL REGULATORY AGENCY.

13. THE CONTRACTOR SHALL PROVIDE CERTIFIED UTILITY RECORD DRAWINGS, SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR. THE RECORD DRAWINGS SHALL SHOW THE LOCATIONS, DIMENSIONS AND ELEVATIONS OF ALL WATER MAINS, SERVICES, MANHOLES, GRAVITY SEWER MAINS, SERVICE LATERALS, PUMP STATIONS AND FORCE MAINS. ALL RESTRAINED JOINTS SHALL BE SHOWN ON THE RECORD DRAWINGS. THE CONTRACTOR SHALL PROVIDE SIX COPIES OF THE CERTIFIED RECORD DRAWINGS TO THE ENGINEER.

#### PAVING, GRADING AND DRAINAGE NOTES

1. ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL, IRRIGATION, CABLE TV AND TELEPHONE CROSSINGS SHALL BE INSTALLED BEFORE SUB-BASE. BASE AND SURFACE ARE CONSTRUCTED. CONTRACTOR TO COORDINATE INSTALLATION OF ANY ADDITIONAL CONDUIT

2. ALL CURB CUT RAMPS TO BE CONSTRUCTED PER FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS (FOOT INDEX 304) AND BE ADA COMPLIANT INCLUDING USE OF TRUNCATED DOME

3. TERMINATION OF BOTH FDOT TYPE "F" AND 6" VERTICAL CURB SHALL INCLUDE A 3' TRANSITION TO FLUSH UNLESS OTHERWISE NOTED ON THE CONSTRUCTION DRAWINGS.

4. EXTRA MATERIAL IS REQUIRED PER FOOT INDEX 205 (SHEET 1 OF 5) AROUND STORM PIPE MEETING COVER CRITERIA OF SAID INDEX.

5. JOINTS OF STORM SEWER SHALL BE STAGGERED FOR CROSSINGS OF THE SANITARY SEWER WITH LESS THAN 18 INCHES OF VERTICAL CLEARANCE SO THAT THE PIPE BELL IS NOT LOCATED AT THE CROSSING.

6. DURING LAND ALTERATION AND CONSTRUCTION ACTIVITIES, IT SHALL BE UNLAWFUL TO REMOVE VEGETATION BY GRUBBING OR TO PLACE SOIL DEPOSITS, DEBRIS, SOLVENTS. CONSTRUCTION MATERIAL, MACHINERY OR OTHER EQUIPMENT OF ANY KIND WITHIN THE DRIP LINE OF A TREE REMAINING ON SITE UNLESS APPROVED BY THE CITY.

7. ALL TRIMMING UNDERTAKEN ON A TREE PROTECTED BY PROVISIONS OF LAND DEVELOPMENT CODE SHALL BE PRUNED IN ACCORDANCE WITH THE NATIONAL ARBORIST ASSOCIATION (NAA) PRUNING STANDARDS SUBSEQUENT TO COORDINATION WITH HILLSBOROUGH COUNTY.

8. ALL STORM DRAIN STRUCTURES TO CONFORM TO THE "FLORIDA DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS FOR CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM" MANUAL DATED 2022 OR LATEST EDITION.

9. ALL PROPOSED STORM GRATES, RING & COVERS AND SANITARY SEWER RING & COVERS TO MEET H-20 LOADING RATING. ALL STORM GRATES TO BE HOT DIPPED GALVANIZED RETICULINE STEEL GRATES. ALL EXISTING STRUCTURES TO BE MODIFIED AS REQUIRED TO MEET H-20 LOAD RATING AND ADJUSTED TO MEET PROPOSED GRADE.

10. THE STAKED EROSION CONTROL SHALL BE INSTALLED PRIOR TO EARTHWORK OPERATIONS COMMENCING AND IS TO BE MAINTAINED THROUGH PROJECT COMPLETION.
11. STORM SEWER PIPE LINES WILL NOT BE INSTALLED PRIOR TO PLACEMENT AND ALIGNMENT OF THE STANDARD PROJECT COMPLETION.

12. ALL DELETERIOUS SUBSTANCE MATERIAL (I.E. MUCK, PEAT, BURIED DEBRIS) IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS OR AS DIRECTED BY THE OWNER'S ENGINEER, OR OWNERS' SOIL TESTING COMPANY. DELETERIOUS MATERIAL IS TO BE STOCKPILED OR REMOVED FROM THE SITE AS DIRECTED BY THE OWNER. EXCAVATED AREAS ARE TO BE BACK FILLED WITH APPROVED MATERIALS AND COMPACTED AS SHOWN ON THESE PLANS.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXCAVATING AGAINST COLLAPSE AND WILL PROVIDE BRACING, SHEETING, OR SHORING, AS NECESSARY. TRENCHES SHALL BE KEPT DRY WHILE PIPE AND APPURTENANCES ARE BEING PLACED. DEWATERING SHALL BE USED AS REQUIRED.

14. MATERIALS AND CONSTRUCTION METHODS FOR STREETS AND STORM DRAINAGE CONSTRUCTION

SHALL BE IN ACCORDANCE WITH THE LOCAL REGULATORY AGENCY.

15. ALL STORM STRUCTURES SHALL BE GROUTED TO THE INVERT ELEVATION(S) OF THE STORM PIPE(S). STORM PIPE SHALL BE SAW-CUT EVEN WITH THE STRUCTURE WALL(S). GROUT AROUND PIPES FOR WATER TIGHT AND SMOOTH FINISH.

#### FDOT GENERAL NOTES —

ALL WORK PERFORMED IN THE DEPARTMENT'S RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE MOST CURRENT EDITIONS OF:

A) FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
 B) FDOT DESIGN STANDARDS FOR DESIGN, CONSTRUCTION, MAINTENANCE AND UTILITY OPERATIONS ON THE STATE HIGHWAY SYSTEM.

C) FDOT DESIGN MANUAL (FDM)
D) FDOT FLEXIBLE PAVEMENT DESIGN MANUAL FOR NEW CONSTRUCTION AND PAVEMENT

ALL AREAS IN THE FDOT RIGHT OF WAY DISTURBED DURING CONSTRUCTION SHALL BE RESTORED, COMPACTED, SODDED AND WATERED IN CONFORMANCE WITH THE FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, SECTION 570 AND 981 AND DESIGN STANDARDS INDEX 570-010.

DAYTIME WORK ONLY. THE FDOT ENGINEER MUST APPROVE NIGHT WORK AND LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE. THE APPLICANT MUST NOTIFY THE FLORIDA DEPARTMENT OF TRANSPORTATION LOCAL MAINTENANCE OFFICE 48 HOURS IN ADVANCE OF STARTING ANY PROPOSED WORK. CALL: BROOKSVILLE MAINTENANCE, JAMES MEYER @ 352-848-26103) ALL TRAFFIC STRIPES AND PAVEMENT MARKINGS ARE TO BE LEAD-FREE, NON-SOLVENT BASED THERMOPLASTIC. THE PERMITTEE SHALL FURNISH THE DEPARTMENT WITH THE MANUFACTURER'S CERTIFICATION THAT THE THERMOPLASTIC IS 'LEAD FREE'. REMOVAL OF EXISTING STRIPING SHALL BE DONE BY MILLING AND RESURFACING OF THE FRICTION/SURFACE COURSE TO OBLITERATE OBSOLETE PAVEMENT MARKINGS.

4) ALL PROPOSED TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH AND CONSTRUCTED TO THE FDOT DESIGN STANDARDS INDEX SERIES 600 AND 700 SERIES. THE PROPERTY OWNER MUST MAINTAIN THE TRAFFIC SIGNS AND MARKINGS FOR THE

THE FDOT REQUIRES DOCUMENTATION FOR SUCCESSFUL COMPLETION OF AN APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE FOR THE AGENCY, UTILITY OR CONTRACTOR EMPLOYEE(S) INSTALLING AND/OR MAINTAINING THE APPROVED MAINTENANCE OF TRAFFIC PLAN. DOCUMENTATION IS TO BE FURNISHED TO THE DEPARTMENT AT THE PRE-CONSTRUCTION MEETING OR BEFORE OCCUPYING STATE

6) MAINTENANCE OF TRAFFIC PLAN FOR WORK ZONES SHALL BE IN CONFORMANCE WITH ALL APPLICABLE INDICES OF THE FDOT DESIGN STANDARDS INDEX 102 SERIES ACCORDING TO THE TYPE OF ROADWAY AND TYPE OF WORK BEING PERFORMED.

SILT FENCE FOR EROSION CONTROL IN CONFORMANCE WITH THE FLORIDA EROSION SEDIMENT CONTROL MANUAL IS REQUIRED FOR ALL AREAS OF CONSTRUCTION WITHIN FDOT R/W, PERPENDICULAR TO AND PARALLEL WITH THE STATE ROAD.
 SIDEWALK SHALL BE CONSTRUCTED PER FDOT INDEX 522-001 AND 522-002. DETECTABLE

WARNING STRIPS, A.K.A. TRUNCATED DOMES, FOR DISTRICT SEVEN CONSTRUCTION AND

WARNING STRIPS. THESE WARNING SURFACES SHALL ONLY BE PROVIDED BY THE FOLLOWING VENDORS/MANUFACTURERS.

A) INLINE TRUNCATED DOME EZ TILE SUPPLIED BY PROFESSIONAL PAVEMENT PRODUCTS

TOPMARK SUPPLIED BY FLINT TRADING

MAINTENANCE SHOULD BE EITHER INSET CERAMIC TILES OR THERMOPLASTIC DETECTABLE

C) VANGUARD TRUNCATED DOME SUPPLIED BY VANGUARD

9) MAINTENANCE OF TRAFFIC PLAN MUST INCLUDE FDOT DESIGN STANDARDS INDEX 102-660
PEDESTRIAN CONTROL FOR CLOSURE OF SIDEWALKS.

10) FDOT REQUIRES A PIPE VIDEO BE DONE ON ALL PIPES ASSOCIATED WITH A PERMIT PROJECT IN FDOT ROW. SPEC 430-4.8.
 11) FOR WORK WITHIN FDOT RIGHT-0F-WAY, THE CONTRACTOR SHALL PROVIDE A TEMPORARY TRAFFIC CONTROL PLAN PREPARED UNDER THE DIRECTION OF, AND SIGNED AND SEALED

BY A LICENSED FLORIDA PROFESSIONAL ENGINEER WHO IS EXPERIENCED IN PREPARING

TRAFFIC CONTROL PLANS AND WHO IS CERTIFIED PER FDOT PROCEDURE, TOPIC NO.

625-010-010.
 FOR WORK WITHIN FDOT RIGHT-OF-WAY, THE FDOT REQUIRES DOCUMENTATION FOR SUCCESSFUL COMPLETION OF AN APPROVED WORK ZONE TRAFFIC CONTROL TRAINING COURSE FOR THE AGENCY, UTILITY, OR CONTRACTOR EMPLOYEE(S) DESIGNING, INSTALLING, AND/OR MAINTAINING THE APPROVED MAINTENANCE OF TRAFFIC PLAN IN ACCORDANCE

WITH DEPARTMENT PROCEDURE, TOPIC NO. 625-010-010.

13) ALL TEMPORARY TRAFFIC CONTROL DEVICES FOR THE FOLLOWING FACILITIES SHALL BE DESIGNED AND INSTALLED TO MEET THE EXISTING POSTED SPEEDS AS STATED FOR ALL TRAFFIC CONTROL PHASES: SR 581 – 55 MPH

14) CONTACT FDOT JAMES MEYER 48 HOURS BEFORE WORKING IN FDOT R/W 352-848-2610, TO ACTIVATE PERMIT AND SCHEDULE PRE-CONSTRUCTION MEETING

Pennoni

PENNONI ASSOCIATE
Tampa Office
3242 Henderson Blvd, Suit
Tampa, FL 33609

M. JASON SHERIDAN, P.E.
FL. P.E. LIC. NO. 88424

JASON STATE OF

ORIDA

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY M. JASON SHERIDAN P.E. ON THE DATE ADJACENT TO THIS SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THIS SIGNATURE MUST BE VERIFIED ON AN ELECTRONIC COPIES.

AL NOTES

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ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATES
ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE
PROJECT. THEY ARE NOT INTENDED OR REPRESENTS OF THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER
PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATIO
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE
SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS
SOLE RISK AND WITHOUT LIABILITY OR LEGAL

EXPOSURE TO PENNONI ASSOCIATES; AND OWNER

SHALL INDEMNIFY AND HOLD HARMLESS PENNONI

ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AI

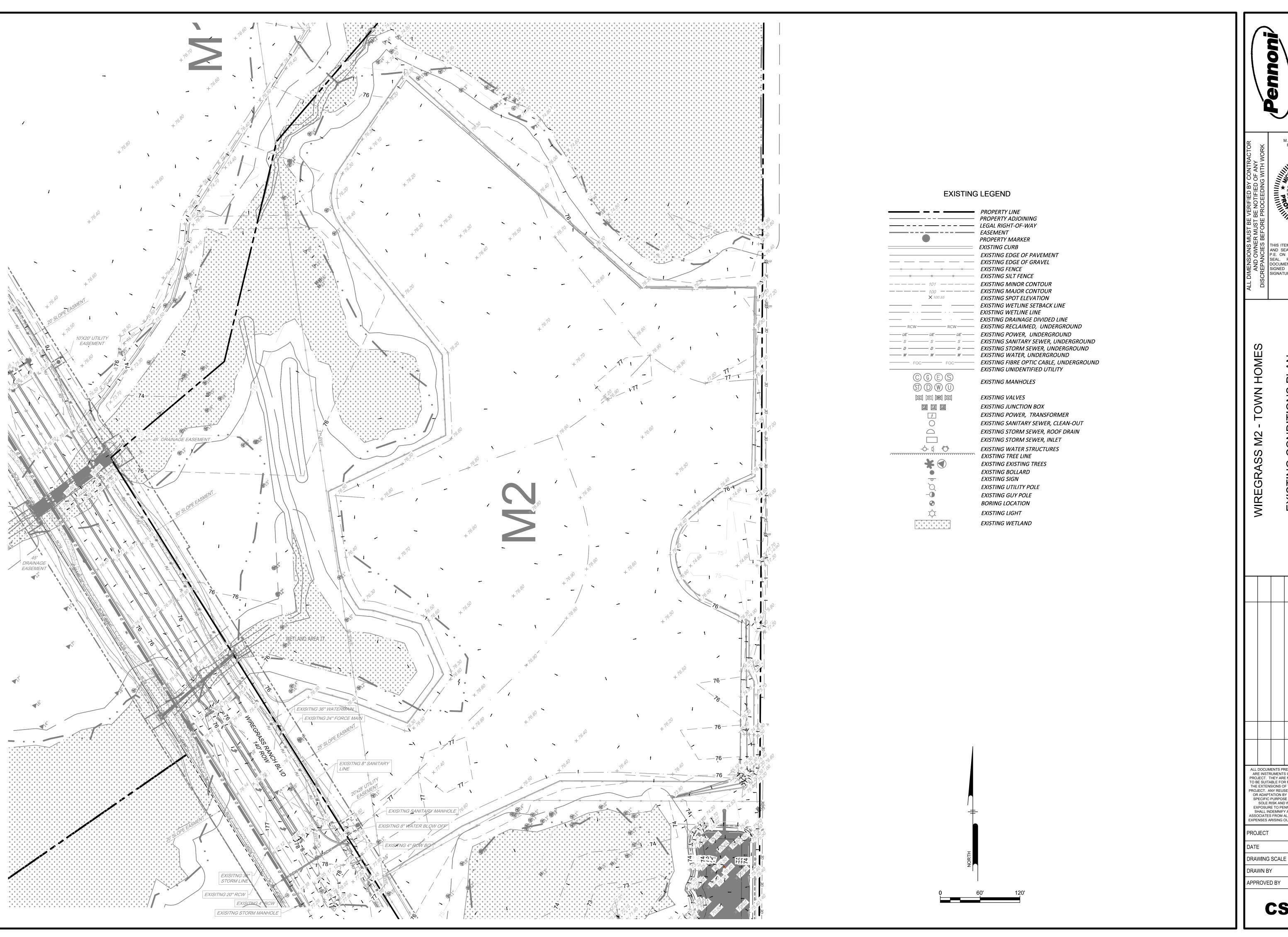
EXPENSES ARISING OUT OF OR RESULTING THEREFRO

PROJECT LCSTB 22003

DATE 2024-03-29

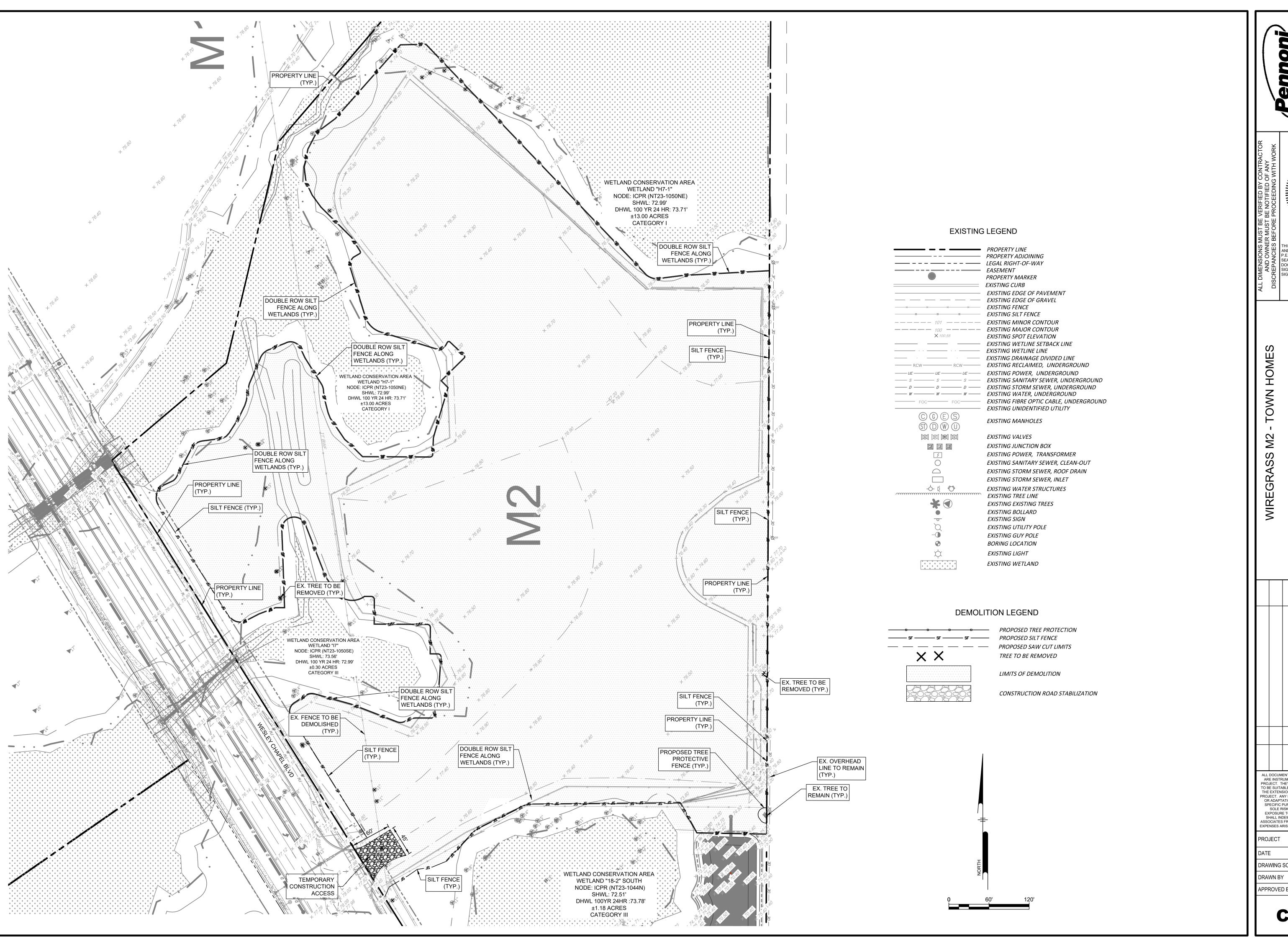
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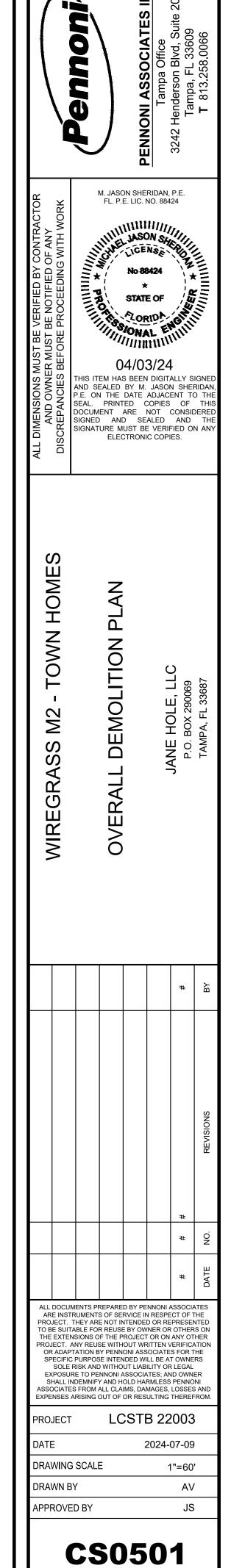
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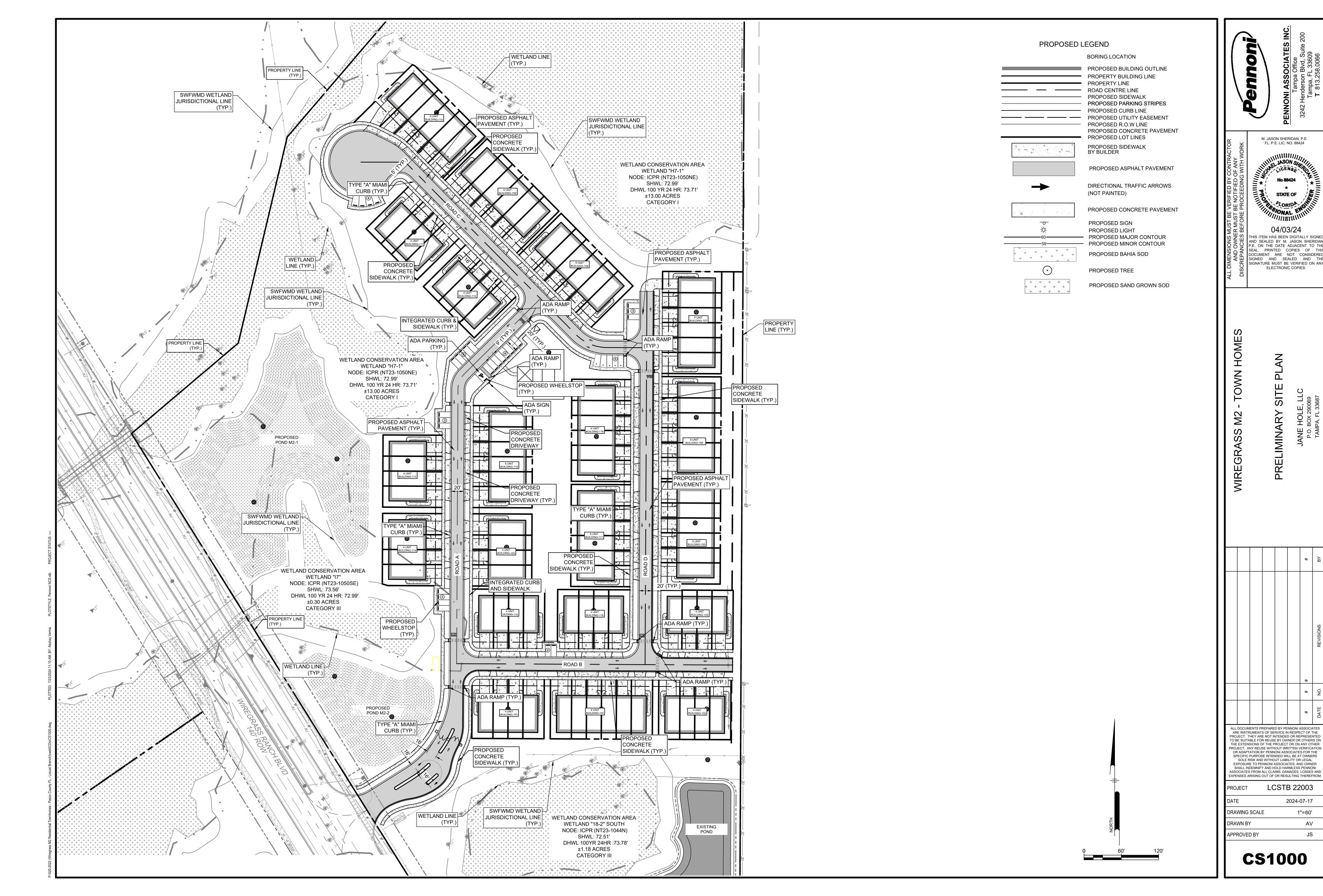


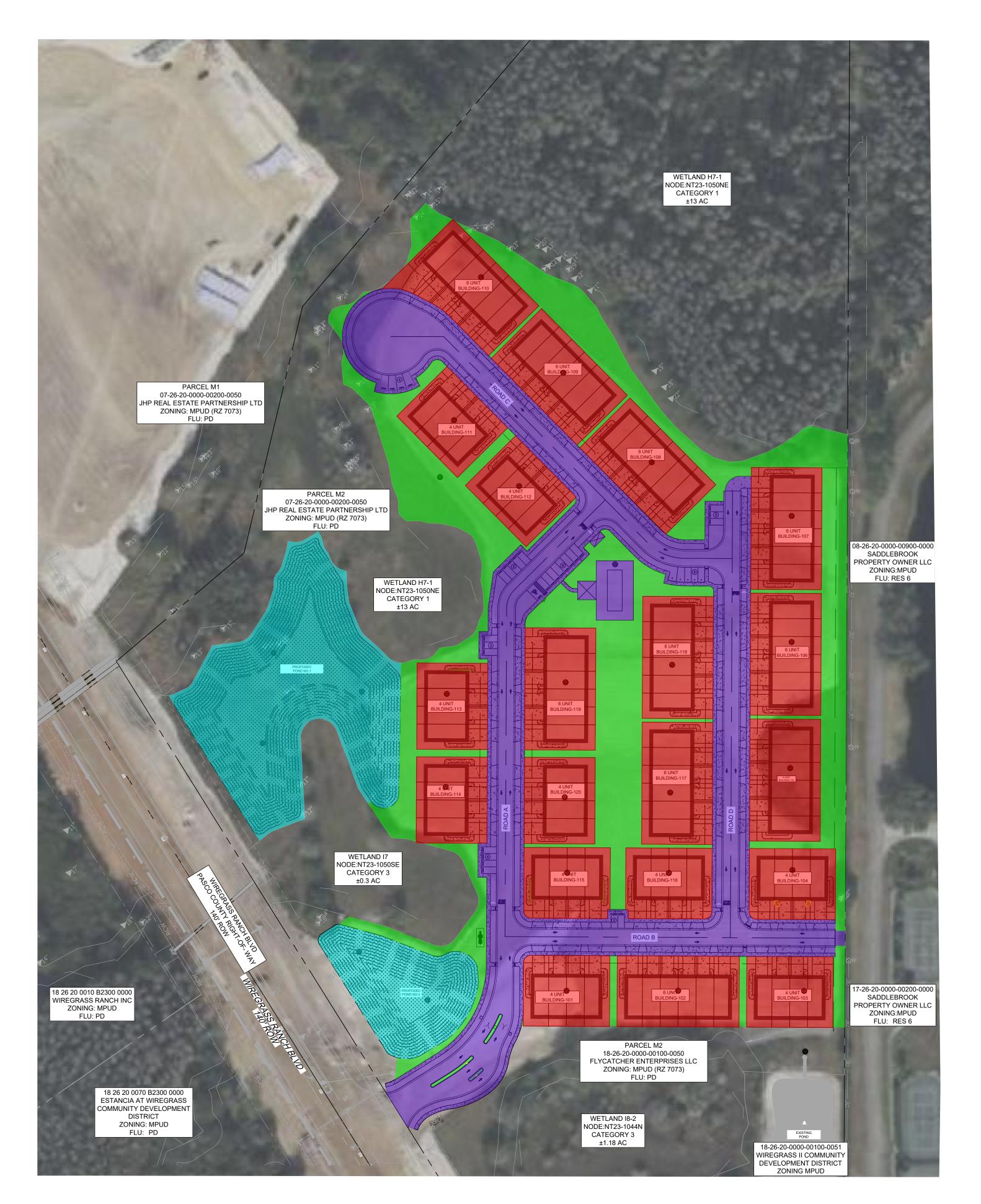
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1"=60'







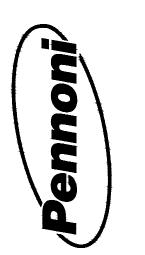


PHASE			
TRACT	USE	AREA	MAINTENANCE RESPONSIBILITY
TRACT 1	COMMON AREA	±2.82 AC	POA
TOWNHOMES	MPUD Uses	±6.12 AC	Property Owner
TRACT 2	Access/ROW	±3.43 AC	POA
TRACT 3	Drainage/ Utilities	±2.60 AC	POA

\* ACREAGE SHOWN ON THIS PRELIMINARY DEVELOPMENT PLAN ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY BE MODIFIED WITH CONSTRUCTION PLAN PERMITTING AND SUBJECT TO PLATTING.

RE	EQUIRED AND	PROVIDED PARKING	G CALCULATIONS:	
		REQUIRED PARKING		
HOUSING PRODUCT	UNITS	SPACES PER UNIT	TOTAL	
RESIDENT REQ				
1,2,3 BEDROOM	100	2	200	
TOTAL RESIDENT REQ			200	
TOTAL VISITOR REQ	100	0.25	25	
TOTAL SPACES REQ			225	
		PROVIDED PARKING		
HOUSING PRODUCT	UNITS	CARS IN DRIVEWAY	CARS IN GARAGE	TOTAL PARKING PROVIDED
1,2,3 BEDROOM	100	2	2	400
ONSTREET PARKING PROVIDED	100			35
TOTAL SPACES PROVIDED				435





FL. P.E. LIC. NO. 88424

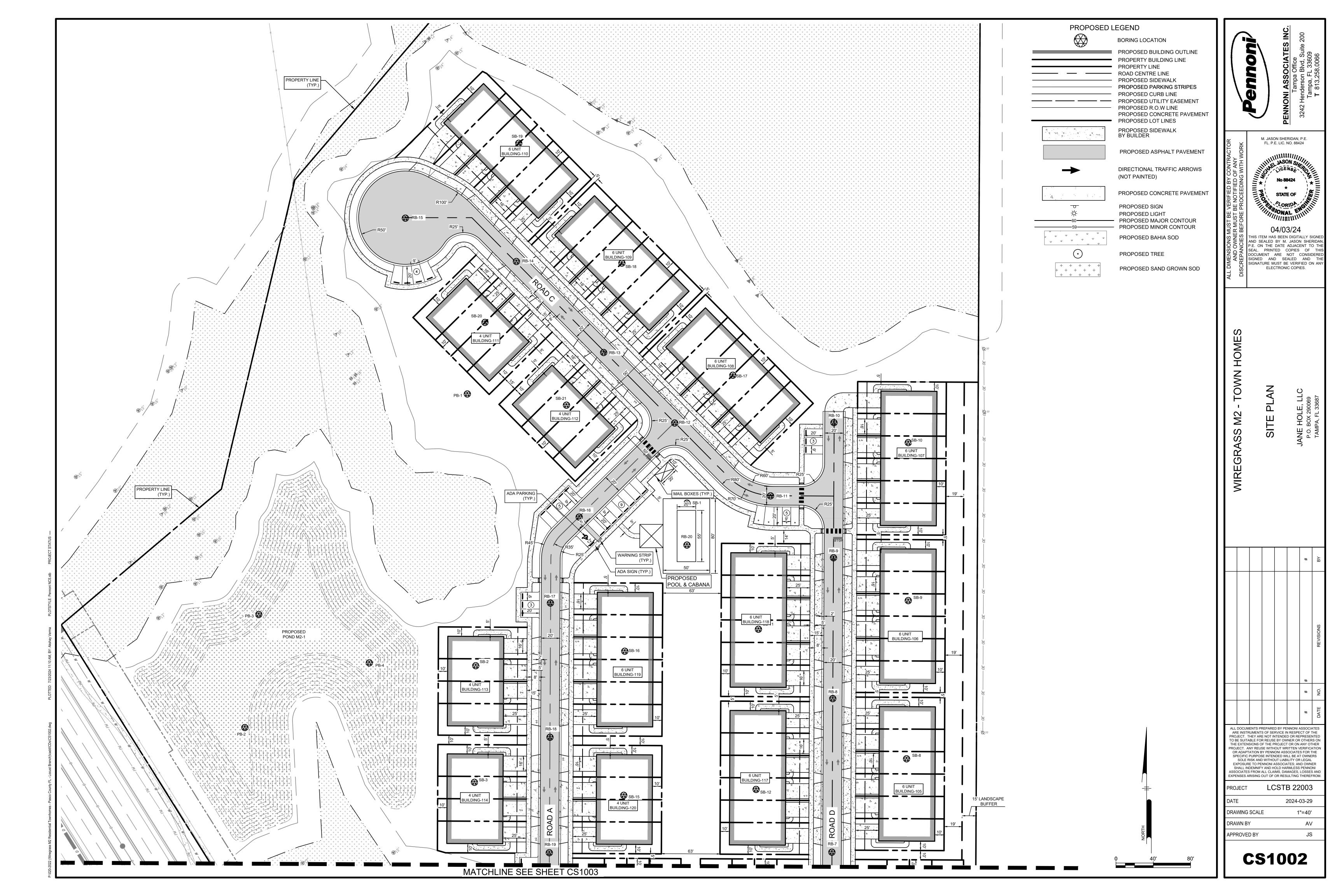
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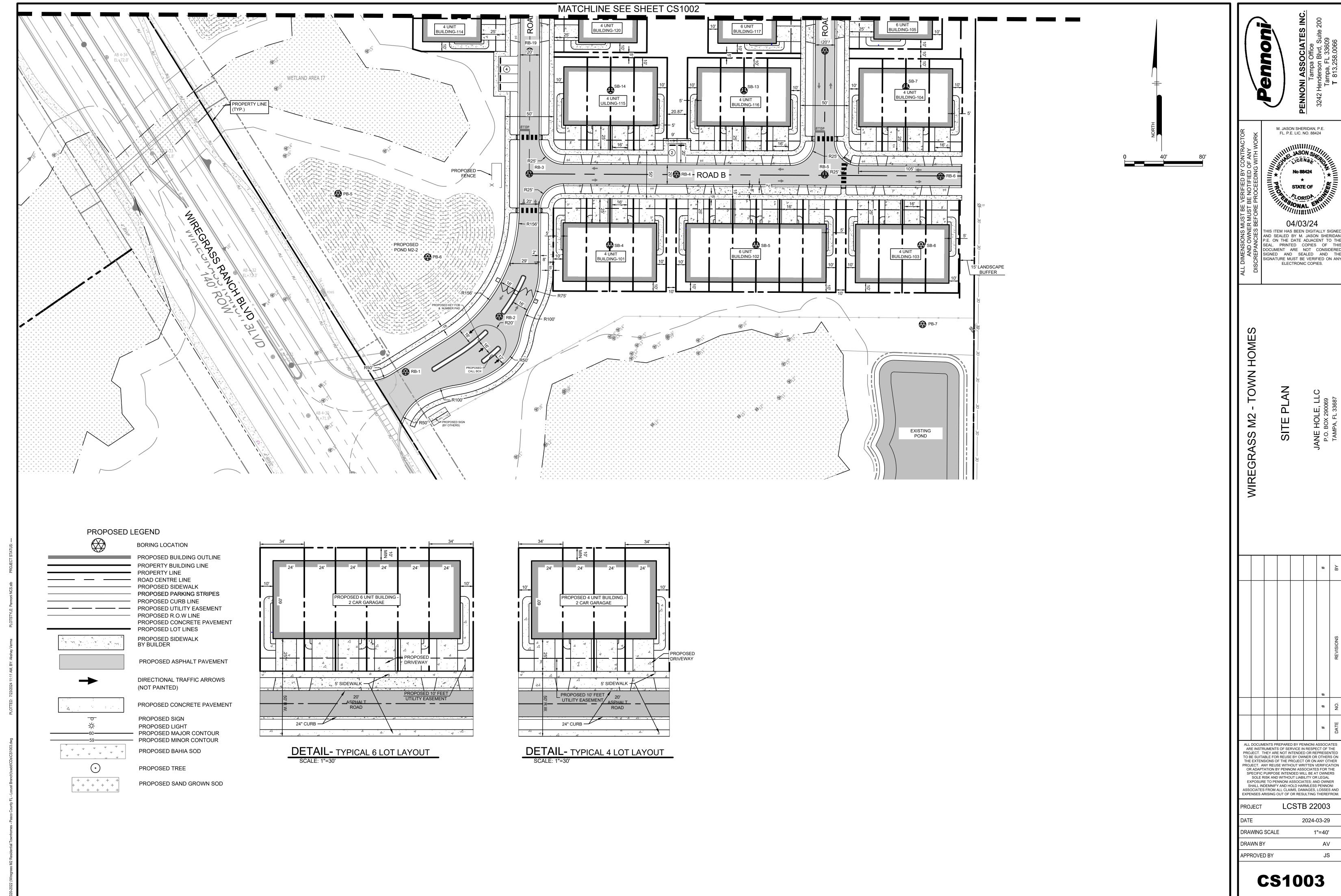
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DRAWING SCALE 1"=80' DRAWN BY APPROVED BY





PENNONI ASSOCIATES INC
Tampa Office
3242 Henderson Blvd Suite 200

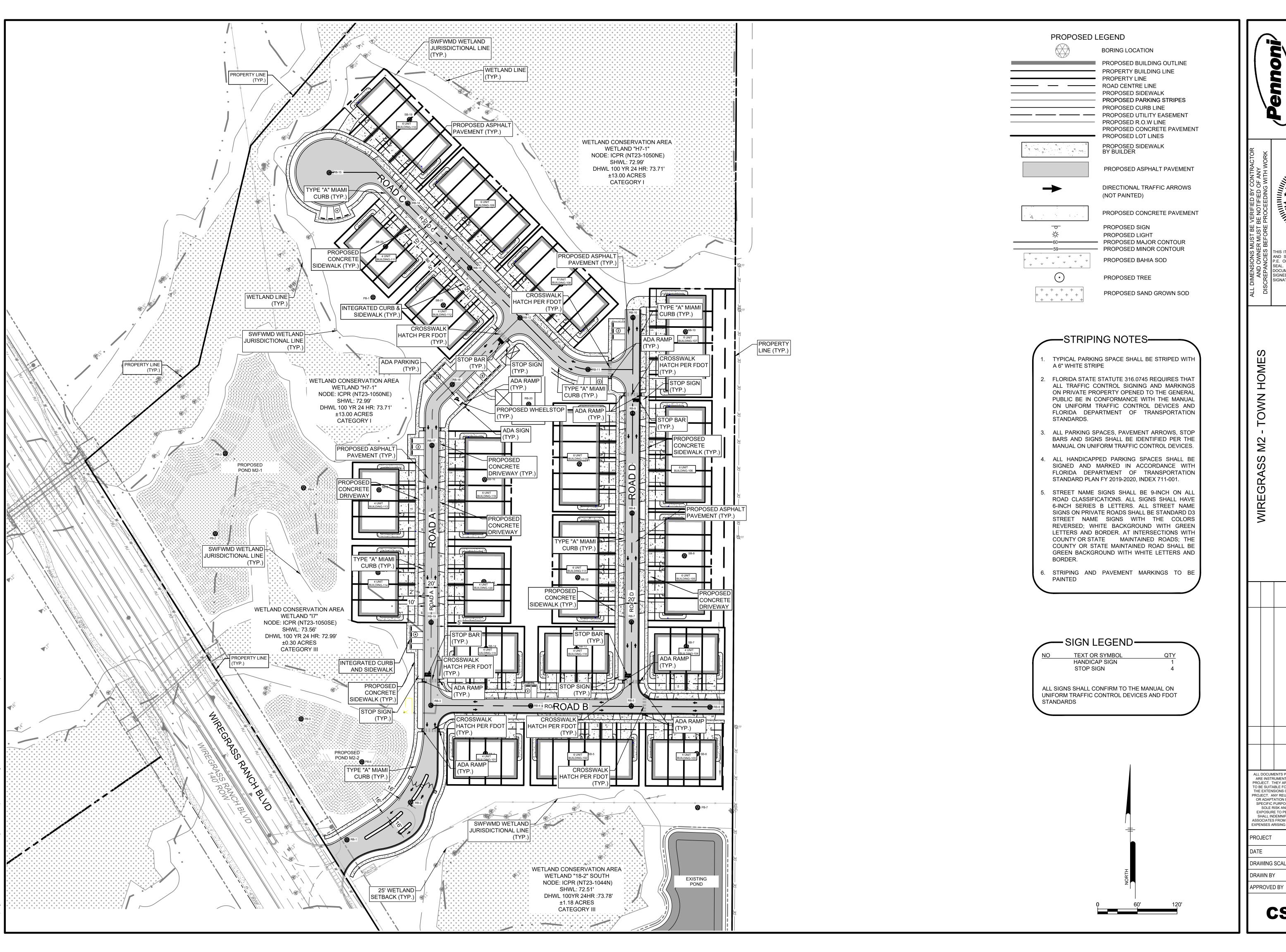
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PROJECT LCSTB 22003 2024-03-29

1"=40' ΑV



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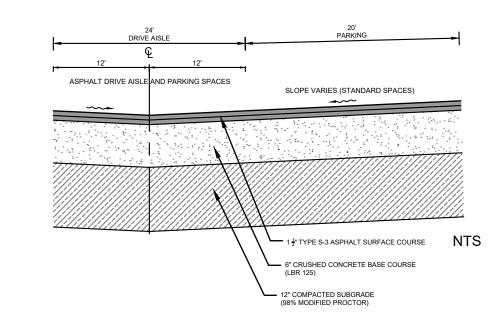
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DRAWING SCALE 1"=60' DRAWN BY

STANDARD LOT MODEL CENTER GRADING PLAN TYPICAL DOUBLE LOADED PARKING LOT

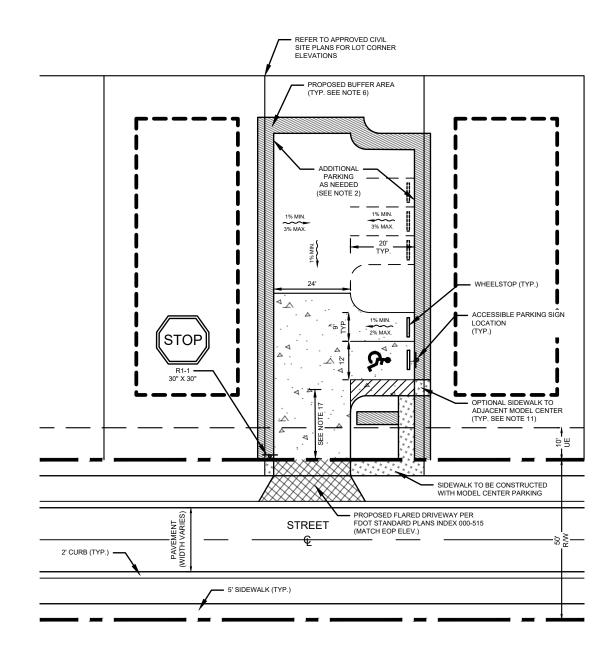
SCALE 1"=20'



#### PARKING/DRIVE CROSS SECTION

CONCRETE, ASPHALT, OR PAVERS.

ASPHALT SHOWN FOR REFERENCE ONLY. PARKING LOT SHALL BE DUST-FREE PER THE PASCO COUNTY LAND DEVELOPMENT CODE. DUST-FREE SURFACES MAY INCLUDE ASPHALT, CONCRETE, MULCH, ASPHALT MILLINGS, OR BRICK PAVERS. ALL HANDICAP PARKING SPACES SHALL BE HARDSCAPE, WHEELCHAIR-TRAVERSABLE SURFACES, SUCH AS



#### STANDARD LOT MODEL CENTER GRADING PLAN TYPICAL SINGLE LOADED PARKING LOT

SCALE 1"=20'

1. LAND USE DESIGNATION: PD ZONING: MPUD

2. PARKING SHALL BE PROVIDED AT A MINIMUM RATE OF 1 PARKING SPACE PER 2,500 SQUARE FEET OF MODEL HOME.

3. A MINIMUM OF 1 HANDICAP PARKING SPACE WITH ACCESS AISLE SHALL BE PROVIDED. IT SHALL BE CONSTRUCTED PER 4. FDOT STANDARD PLANS INDEX 711-001 AND SHALL BE CLEARLY MARKED WITH SIGNAGE AND PAVEMENT MARKING AS REQUIRED.

PARKING AREAS SHALL BE GRADED FOR PROPER DRAINAGE AND BE MAINTAINED IN A DUST-FREE CONDITION (i.e. CONCRETE, ASPHALT, MILLINGS, SHELL, etc.). PARKING SHALL BE ARRANGED TO PROVIDE FOR ORDERLY AND SAFE ACCESS.

5. PROPOSED SIDEWALKS SHALL BE INSTALLED PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY FOR THE FIRST MODEL CENTER HOME. 6. PROPOSED BUFFERING OF PARKING FROM NON-MODEL CENTER AREAS SHALL BE 5' WIDE AND SHALL BE A PLANTING REACHING 4' HEIGHT AND 100% OPACITY. NOTE THAT ADDITIONAL BUFFERING MAY BE REQUIRED BEYOND THAT WHICH IS DEPICTED HEREON

DEPENDING ON LOCATION OF ADJACENT NON-MODEL CENTER AREAS. 7. EROSION CONTROL FOR MODEL HOME LOTS SHALL BE PROPOSED BY AND INSTALLED BY HOME BUILDERS AS PART OF THE

INDIVIDUAL BUILDING PERMITS. 8. THE PADS SHOWN HEREON ARE INTENDED TO INDICATE THE MAXIMUM BUILDING ENVELOPE THAT THE LOT WILL ACCOMMODATE

AT MINIMUM SETBACKS. ACTUAL HOUSE FOOTPRINTS WILL BE DIFFERENT, BUT SHALL FIT WITHIN THESE MAXIMUM BUILDING

9. LIGHTING SHALL BE DESIGNED TO AVOID SPILL-OVER TO ADJOINING RESIDENCES AND THE PUBLIC RIGHT-OF-WAY. 10. CONCRETE PAVEMENT USED AS ACCESSIBLE PARKING ACCESS AISLES AND CONCRETE APRON FROM EDGE OF PAVEMENT IN

RIGHT-OF-WAY SHALL BE 6" THICK, 3000 PSI CONCRETE. 11. THE SIDEWALKS SHOWN HEREON ARE INTENDED TO INDICATE THAT AN ADA ACCESSIBLE TRAVERSABLE PATH WILL BE ACCOMMODATED FOR ACCESS TO THE PROPOSED BUILDINGS. ACTUAL SIDEWALK ALIGNMENT COULD BE DIFFERENT. ONSITE SIDEWALKS ARE OPTIONAL; BUILDER MIGHT OPT TO CONNECT DIRECTLY TO SIDEWALK WITHIN THE LOCAL STREETS. SIDEWALK

GRADING AND/OR ALIGNMENT MAY NEED TO BE FIELD ADJUSTED TO MEET ADA SLOPE CRITERIA (LONGITUDINAL SLOPE MAY NOT EXCEED 5% WITHOUT HANDRAILS AND CROSS-SLOPE SHALL NOT EXCEED 2%). 12. SELECT THE APPROPRIATE PARKING LOT GRADING PLAN BASED UPON THE SELECTED LOT SIZE AND PARKING CONFIGURATION. A SINGLE-LOADED PARKING LOT HAS A MINIMUM WIDTH OF 44 FEET (20' STALL PLUS 24' DRIVE AISLE), AND A DOUBLE-LOADED PARKING LOT HAS A MINIMUM WIDTH OF 64 FEET (TWO 20' STALLS PLUS A 24' DRIVE AISLE), SO PARKING LOTS MIGHT OCCUPY 2

LOTS DEPENDING ON LOT WIDTH AND DESIRED CONFIGURATION. 13. THE MINIMUM WIDTH OF LOT THAT CAN ACCOMMODATE A SINGLE-LOADED PARKING LOT ON A SINGLE LOT IS 50 FEET.

14. THE MINIMUM WIDTH LOT THAT CAN ACCOMMODATE A DOUBLE-LOADED PARKING LOT ON A SINGLE LOT IS 70 FEET. 15. PERIMETER LOT GRADES AND ADJACENT LOT PAD GRADES SHALL BE AS SHOWN ON THE APPROVED SUBDIVISION CONSTRUCTION

16. PARKING LOT EDGE OF PAVEMENT ELEVATION GUIDELINES: (A) PARKING LOT EDGE OF PAVEMENT ELEVATIONS SHALL, AT A MINIMUM, BE 0.10 FEET ABOVE THE BOTTOM ELEVATION OF THE ADJACENT SIDE YARD SWALE; (B) PARKING LOT EDGE OF PAVEMENT ELEVATIONS SHALL NOT EXCEED AN ELEVATION THAT CAUSES THE SLOPE BETWEEN THE EDGE OF PAVEMENT AND THE

BOTTOM OF THE SIDE YARD SWALE TO BE STEEPER THAN 1.5 VERTICAL -TO- 1.0 HORIZONTAL 17. DRIVEWAY THROAT GRADING GUIDELINES: THE LONGITUDINAL PARKING LOT SLOPE (ALONG THE INVERT OF THE INVERTED CROWN SECTION) SHALL GENERALLY BE 1%. HOWEVER, THE 20-FOOT THROAT FROM RIGHT-OF-WAY TO FIRST PARKING STALL, SHALL BE ADJUSTED SUCH THAT THE GRADE MATCHES THAT OF AN FDOT-STANDARD FLARED TURN-OUT PER INDEX 000-515. THE SLOPE OF THE THROAT SHALL NOT EXCEED 9%, AND CARE SHALL BE TAKEN NOT TO EXCEED A SLOPE OF 2% IN ANY DIRECTION IN THE ADJACENT HANDICAP AISLE. FURTHER, THROUGH THE 20-FOOT THROAT, THE PAVEMENT SHALL TRANSITION FROM INVERTED CROWN TO SLANTED IN THE DIRECTION OF AND AT THE EQUIVALENT SLOPE OF THE ROADWAY.

18. THE FLARED DRIVEWAY TURNOUT SHALL BE PER FDOT INDEX 000-515 AND SHALL GENERALLY FOLLOW THE GRADING PROFILE FOR "SIDEWALK WITH UTILITY STRIP ON 0.02 SLOPE."

19. GRADING OF THE PARKING LOT AREA SHALL BE PER THE SUBDIVISION CONSTRUCTION PLANS WHEN THE LOT IS CONVERTED TO A

20. THE MODEL CENTER SHALL COMPLY AT A MINIMUM WITH THE LANDSCAPING STANDARDS OF PASCO COUNTY.

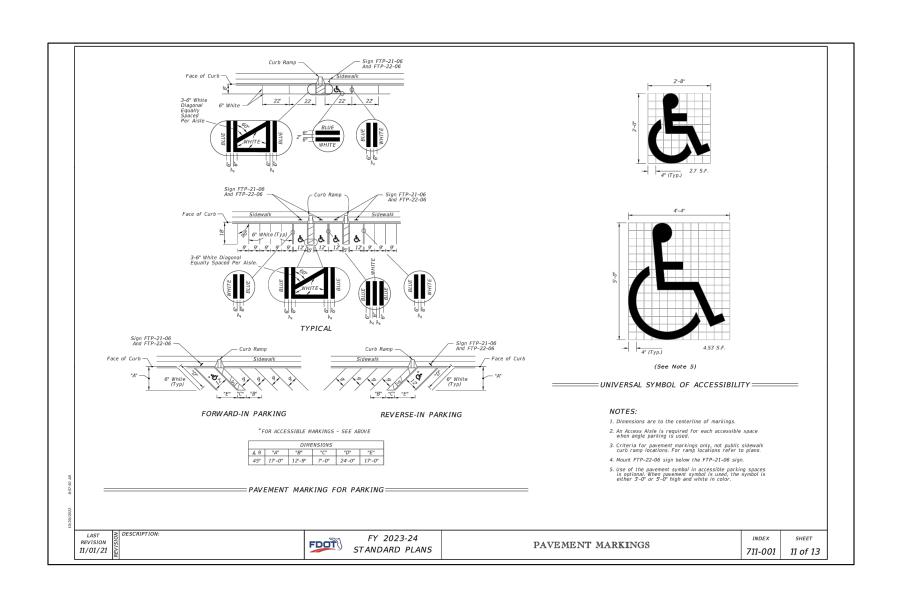
21.THE PARKING AREA SHALL BE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE AND TECHNICAL STANDARDS OF THE APPLICATION FOR DEVELOPMENT APPROVAL

MODEL CENTER PARKING FOR ALLEY PRODUCT AND TOWNHOME PRODUCT MAY UTILIZE ON-STREET PARKING FOR MODEL CENTERS. THE BUILDER SHALL CONSTRUCT ONE ADA SPACE IN THE DRIVEWAY. **ASSUMPTIONS:** 

1. PARKING LOT LAYOUT ASSUMES AN ARBITRARY NUMBER OF DESIRED PARKING SPACES. IF THE NUMBER OF MODELS PROPOSED REQUIRES FEWER, THE NUMBER MAY BE REDUCED IN ACCORDANCE WITH NOTES AND GRADES MUST BE PRO-RATED ACCORDINGLY. IF MORE SPACES ARE DESIRED OR REQUIRED DUE TO THE NUMBER OF MODELS PROPOSED, THEY MAY BE ADDED IN ACCORDANCE WITH THE LAYOUT SHOWN, WITH GRADES PRO-RATED ACCORDINGLY.

2. IF SLOPE OF ROADWAY FRONTING MODEL CENTER PARKING AREAS EXCEEDS > 3% LONGITUDINALLY, PARKING LOT SLOPES MAY NEED TO BE ADJUSTED OUTSIDE OF RANGE RECOMMENDED HEREON. HANDICAP ACCESSIBLE PARKING SPACES MUST MEET ALL APPLICABLE SLOPE CRITERIA.

LEGENDS ——— 4" HIGH OPAQUE BUFFER SIDEWALK TO BE CONSTRUCTED WITH PROPOSED PAVED PARKING MINIMUM  $-1\frac{1}{2}$ " ASPHALT (SP-9.5) OR 4" CONCRETE (3000 PSI, FIBER REINFORCED) PROPOSED PAVED PARKING 6" CONCRETE (3000 PSI, FIBER



- 1. ACCESS AISLE AND PARKING SPACE TO BE STRIPED AND MARKED PER
- FDOT STANDARD PLANS INDEX 711-001. 2. REFER TO SECT. 11-4.6 OF THE FLORIDA BUILDING CODE FOR PARKING AND PASSENGER LOADING ZONES.
- 3. REFER TO SECT. 4.6.2. OF THE FLORIDA BUILDING CODE FOR LOCATION. "ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST SAFELY ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE".
- 4. STANDARD SPACES 9' X 20'. HANDICAP SPACE 12' X 20'. 5. RECOMMENDED ACCESSIBLE PARKING SPACE DESIGN IS GENERALIZED
- AND IS INCLUDED HEREIN FOR INFORMATIONAL PURPOSES. THE SPECIFIC CONFIGURATION FOR THIS PROJECT VARIES FROM IT IN THAT THE ACCESS AISLE IS INCORPORATED INTO THE ADJACENT SIDEWALK. ALL STRIPING AND DIMENSIONAL SPECIFICATIONS ON THIS DETAIL STILL APPLY.

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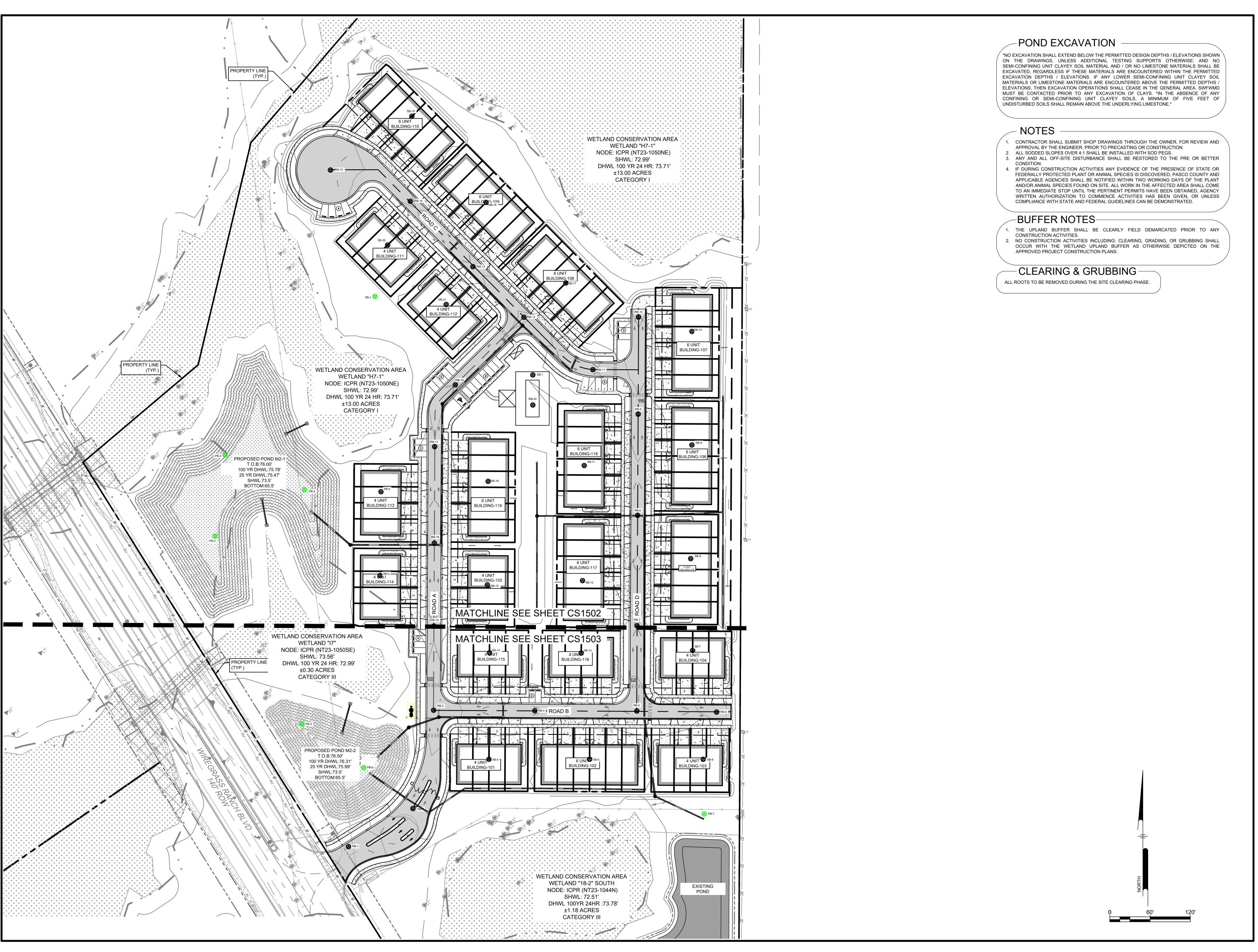
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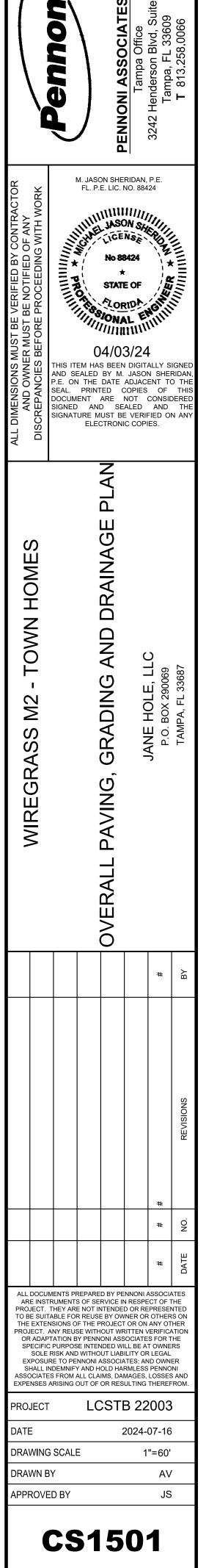
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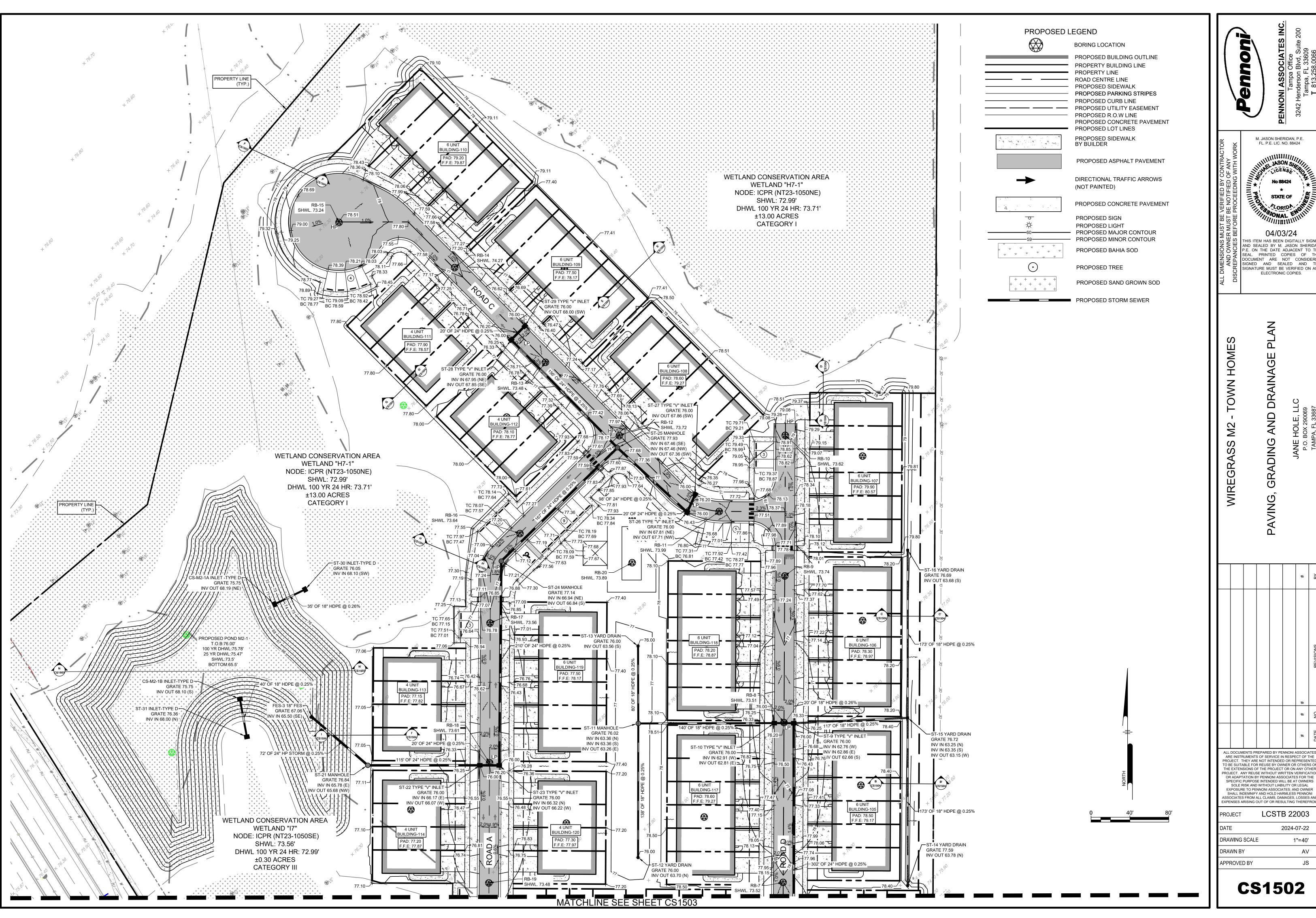
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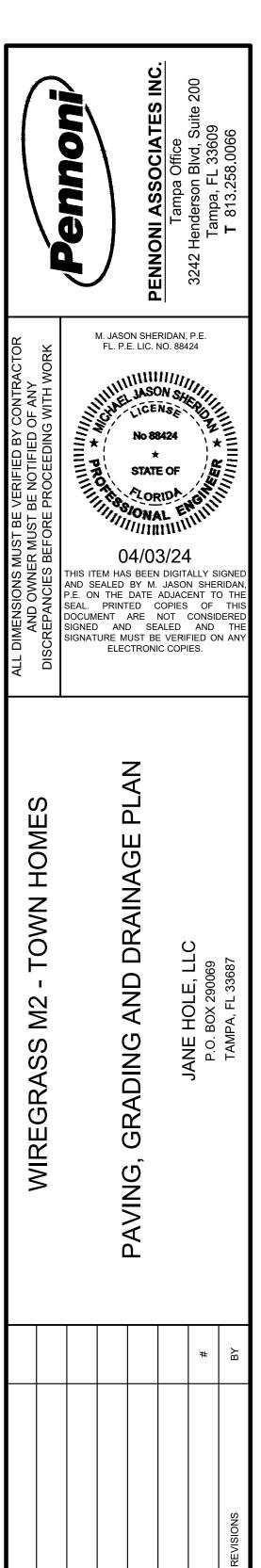
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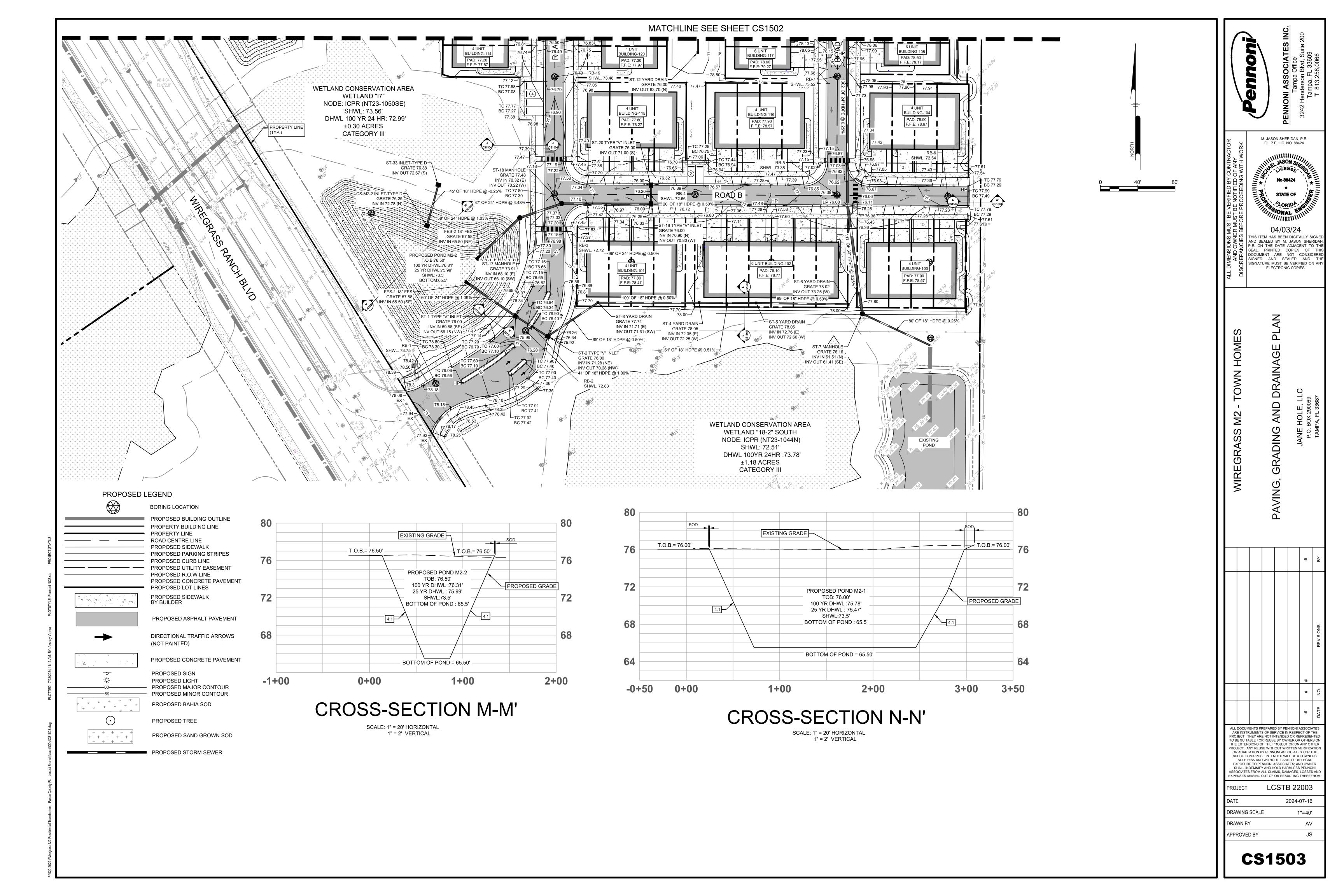


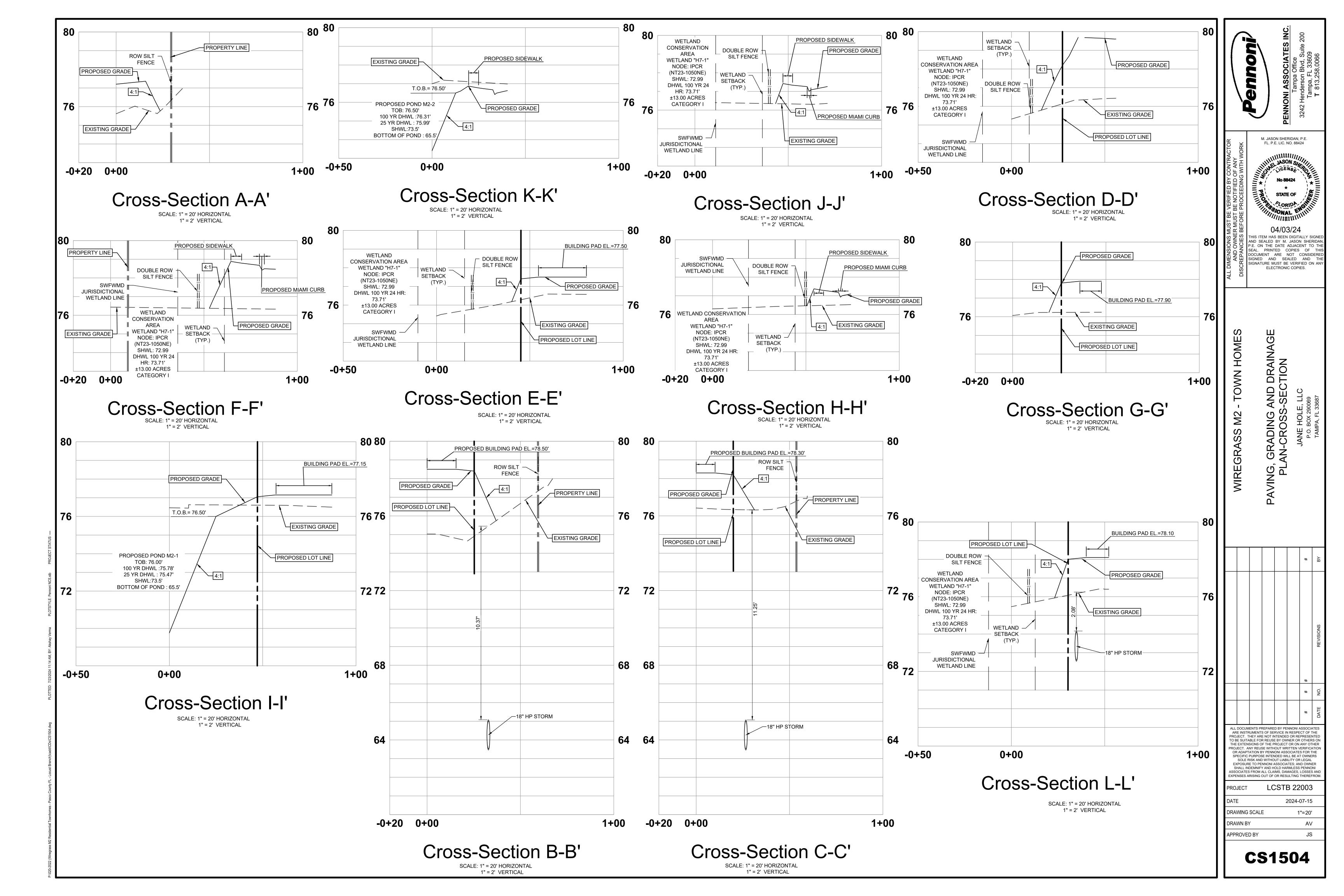


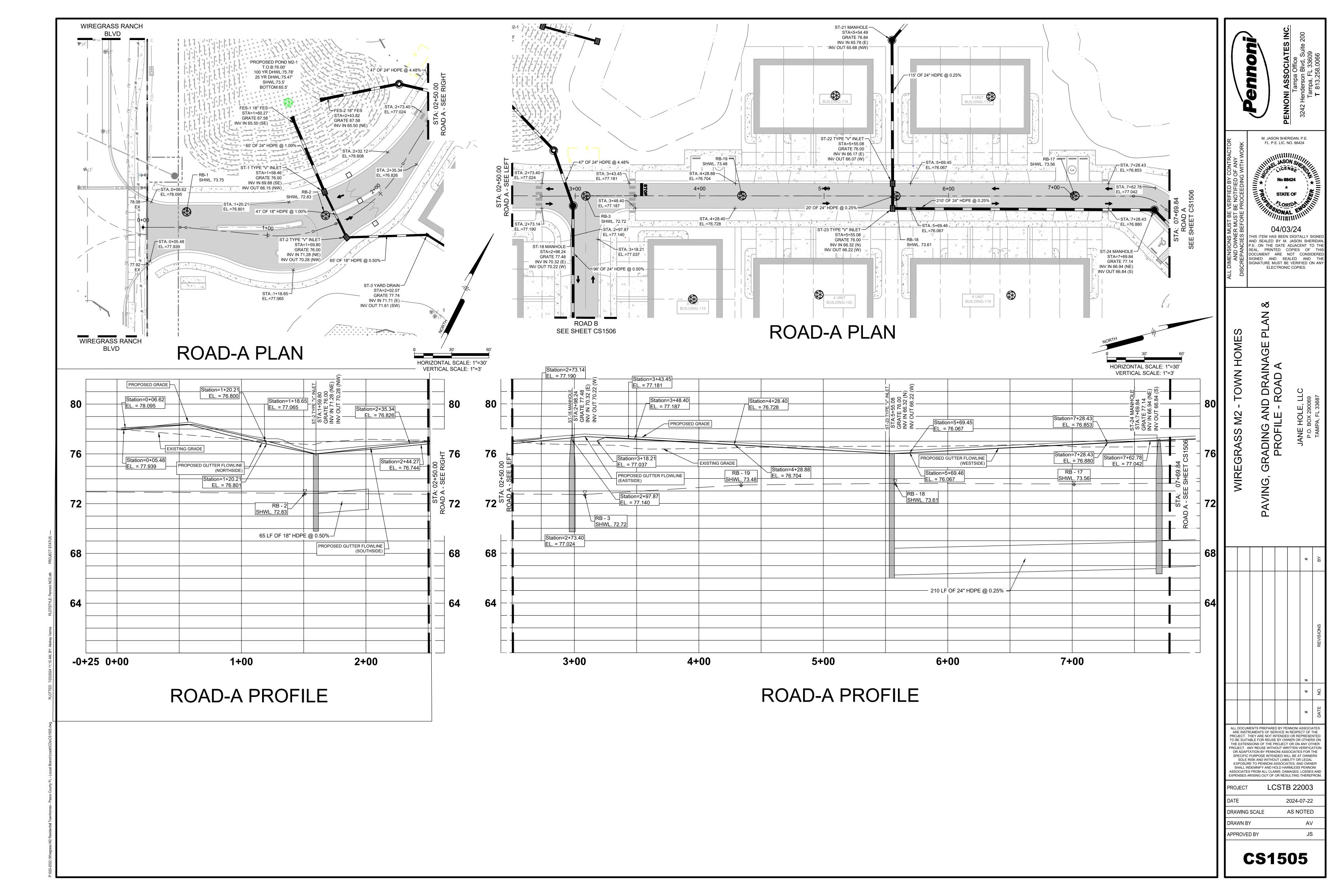
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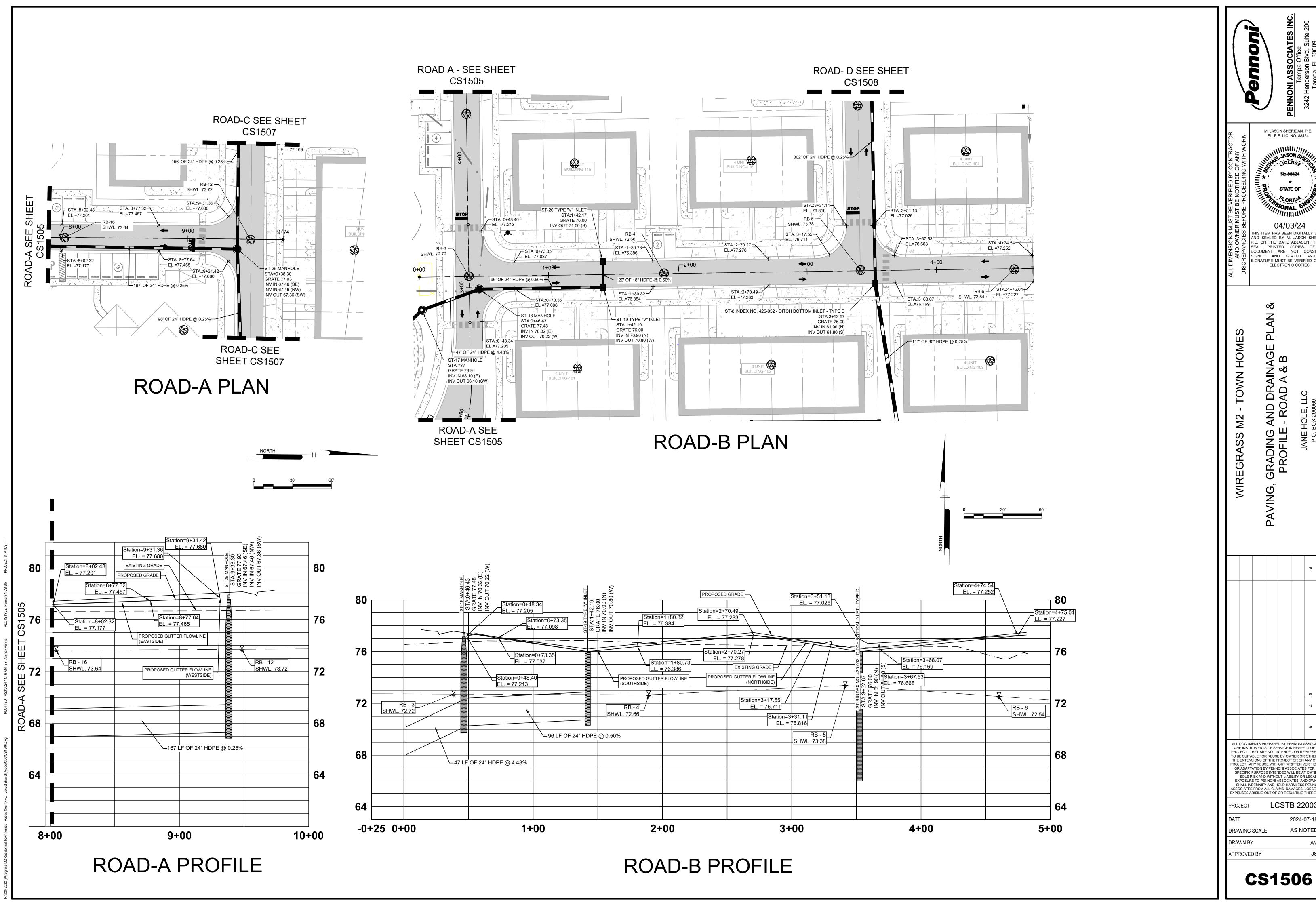
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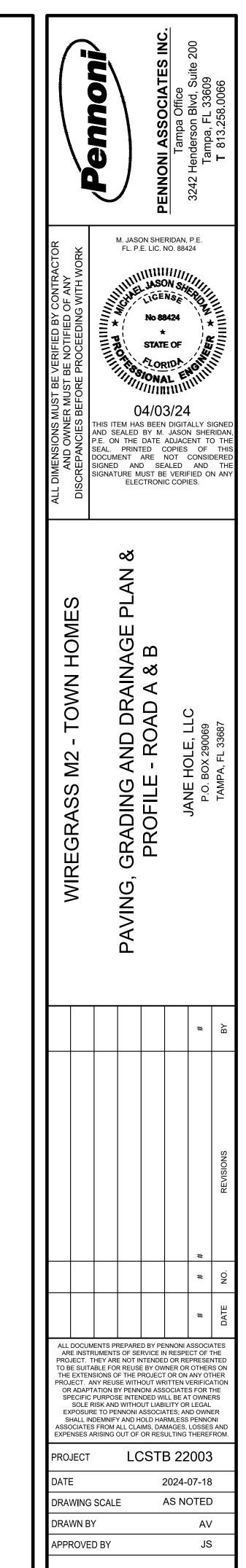
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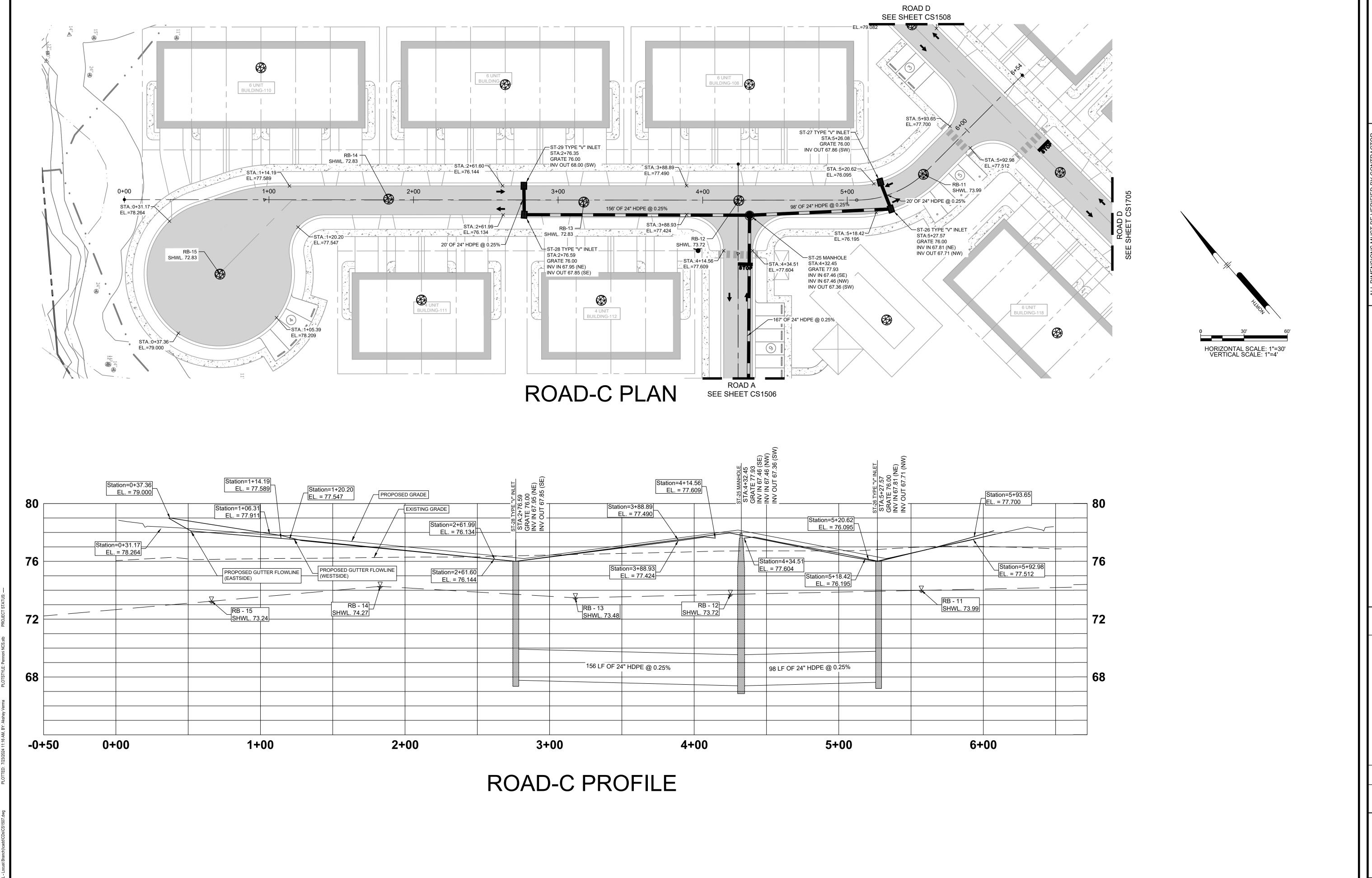


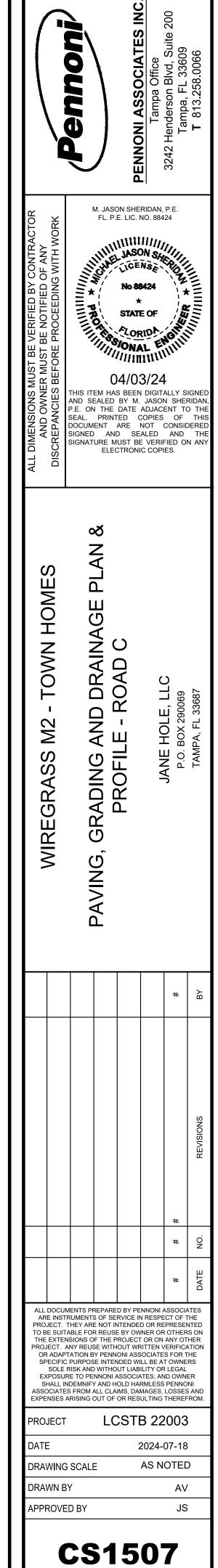


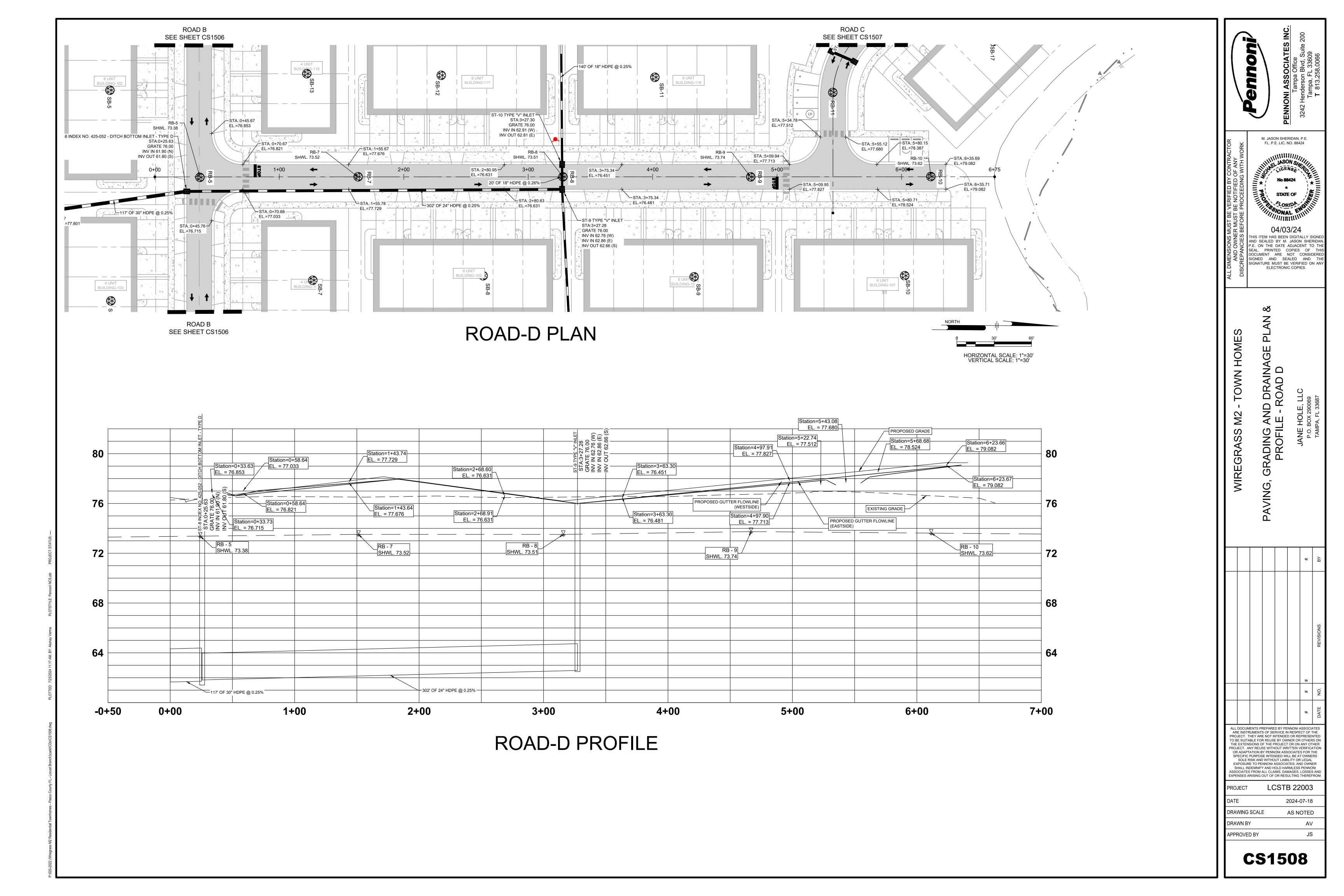


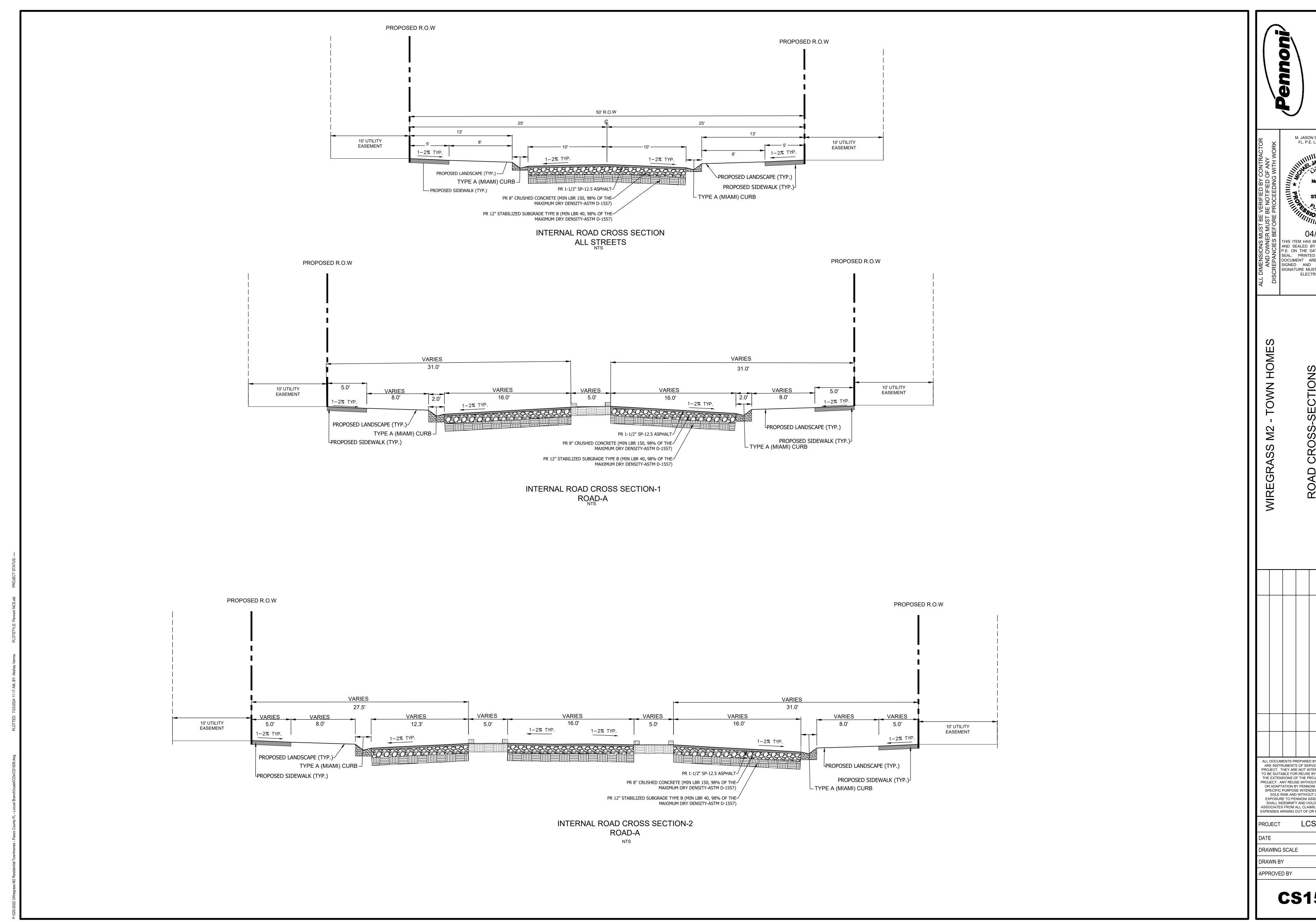












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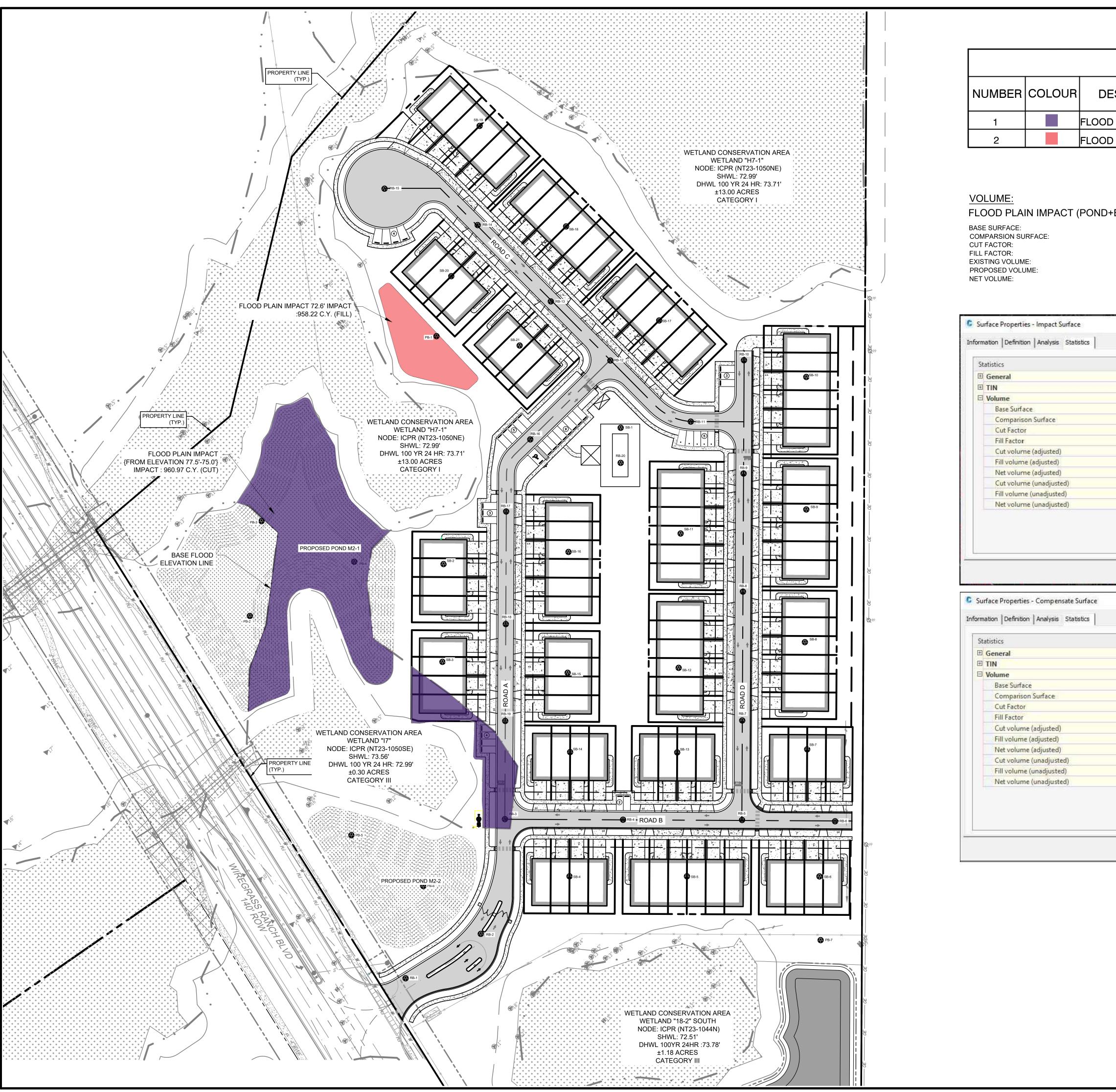
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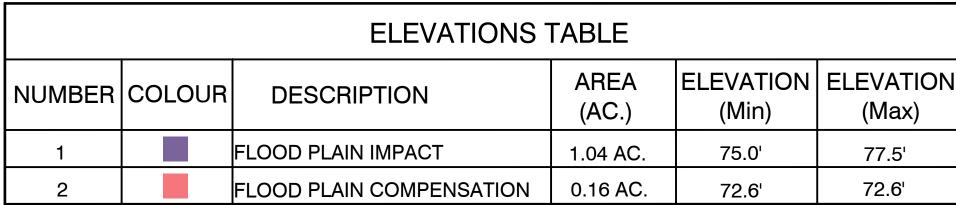
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1"= 5'



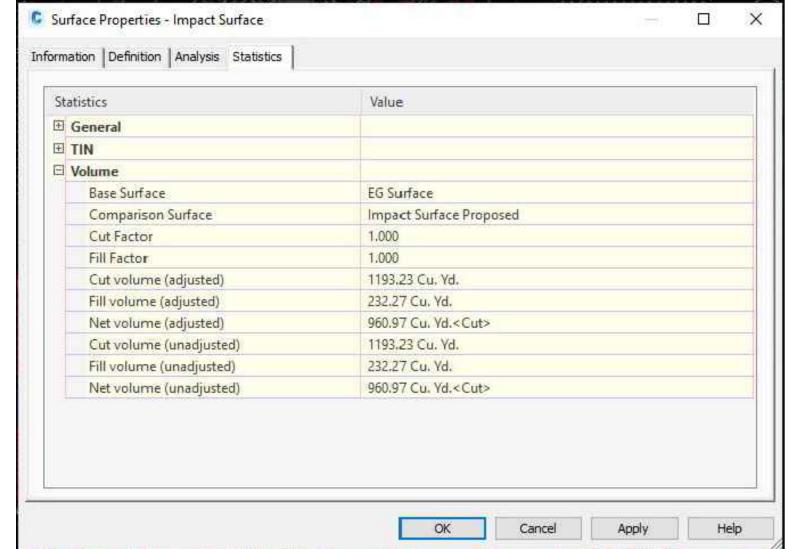


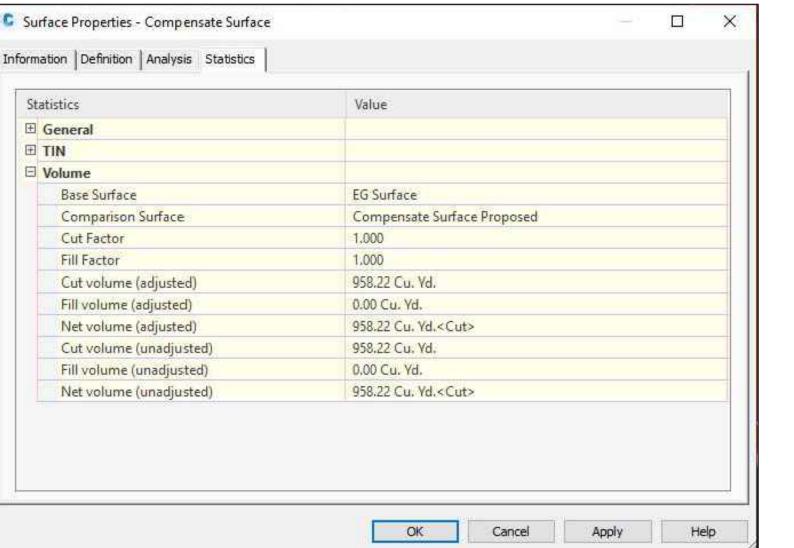
#### FLOOD PLAIN IMPACT (POND+BUILDING)

EG SURFACE IMPACT SURFACE(POND)+BUILDING

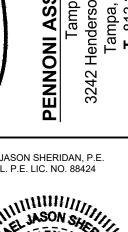
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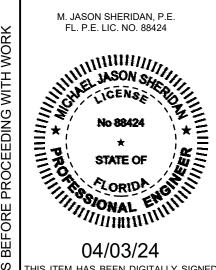
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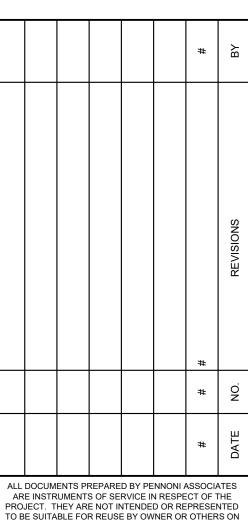








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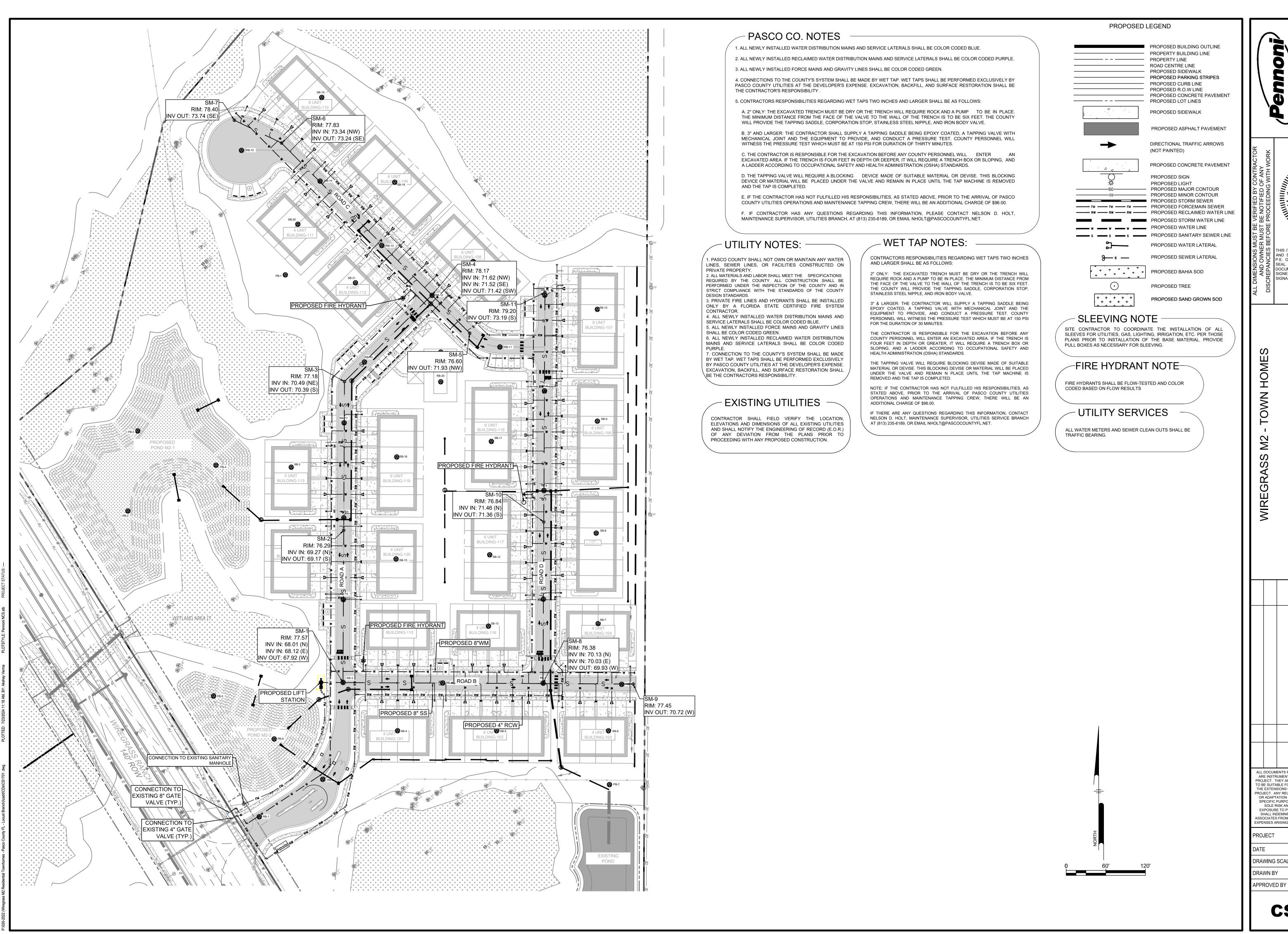


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PROJECT	LCSTB 22003
DATE	2024-07-22
DRAWING SCALE	1"=60'
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**CS1510** 

APPROVED BY



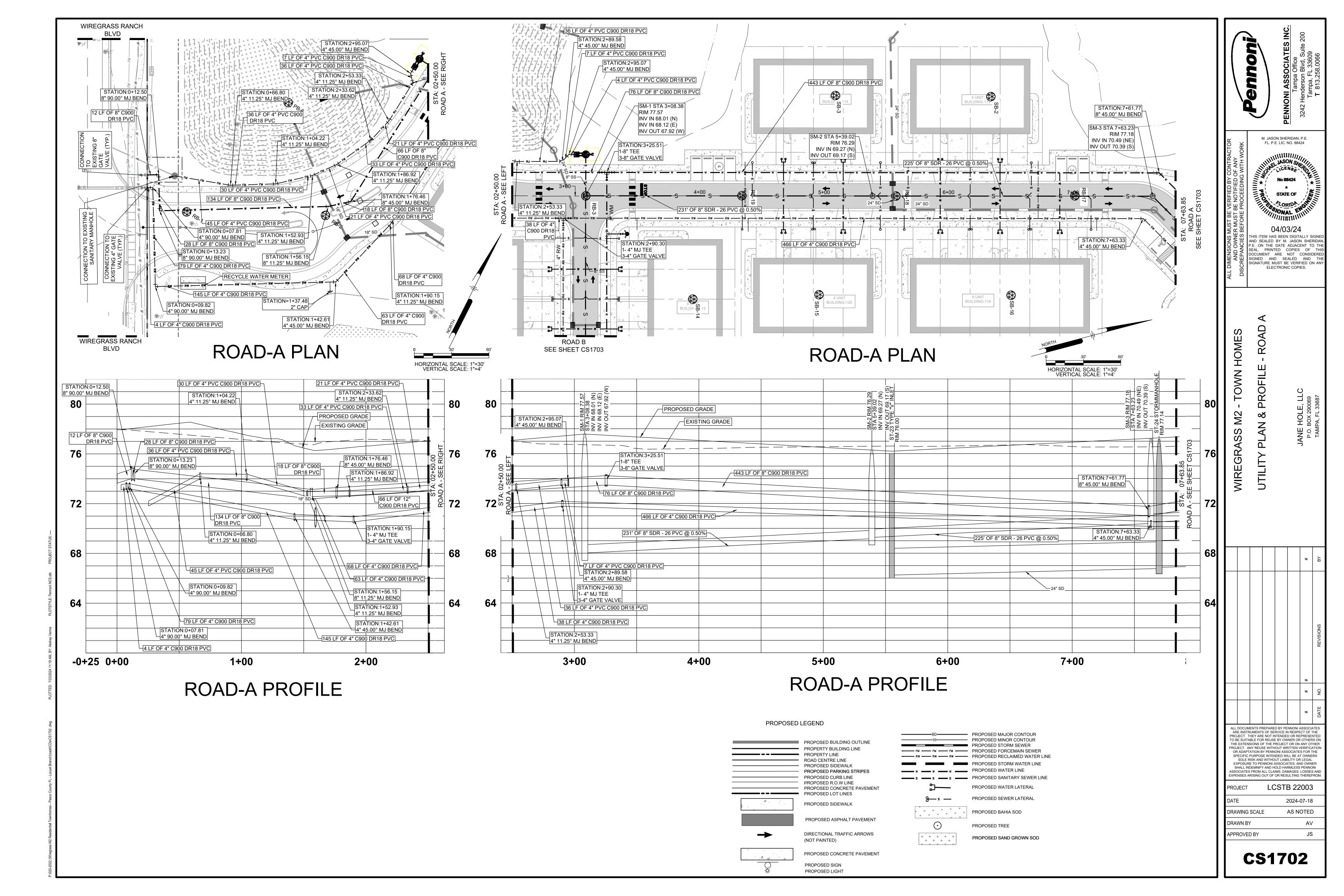
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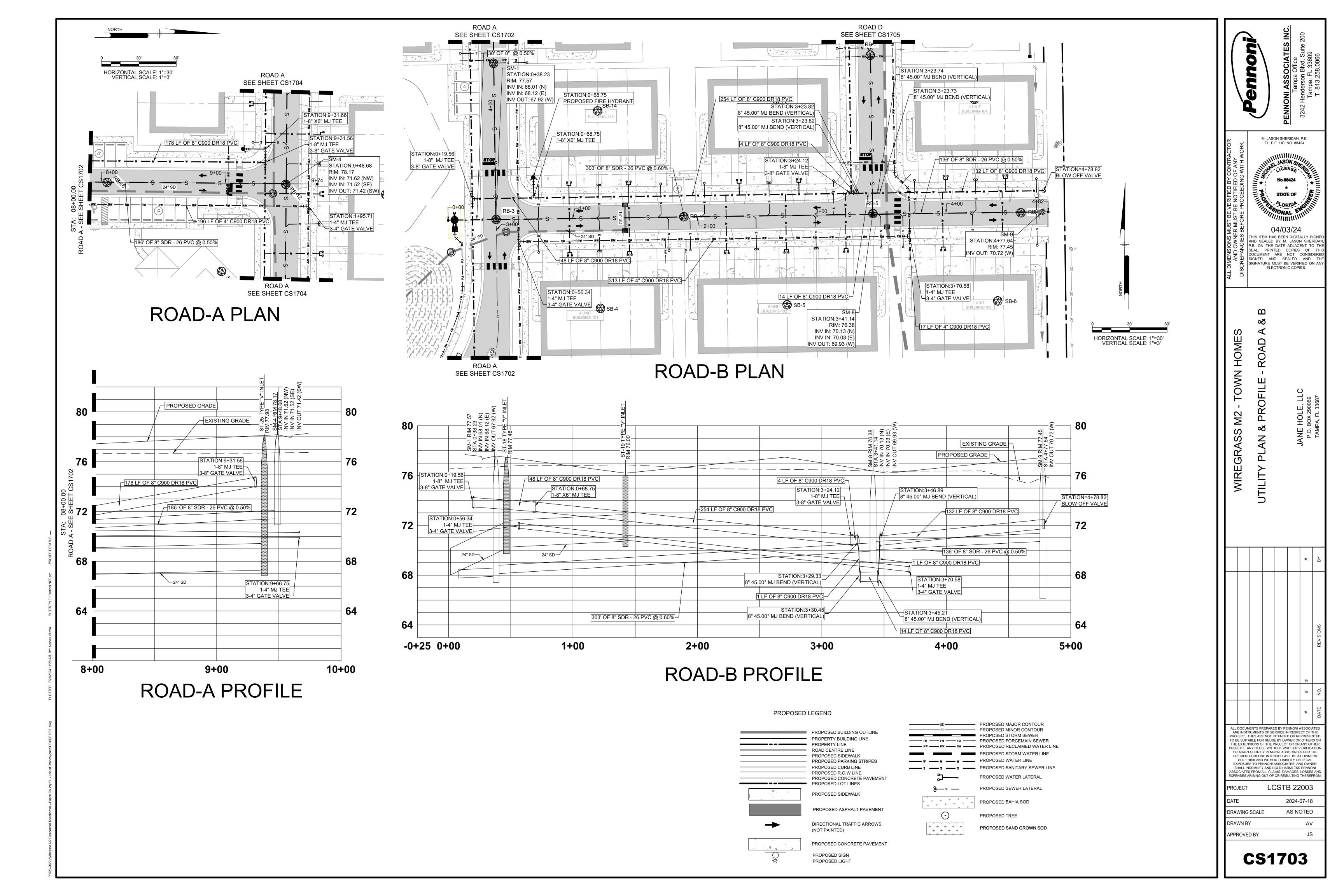
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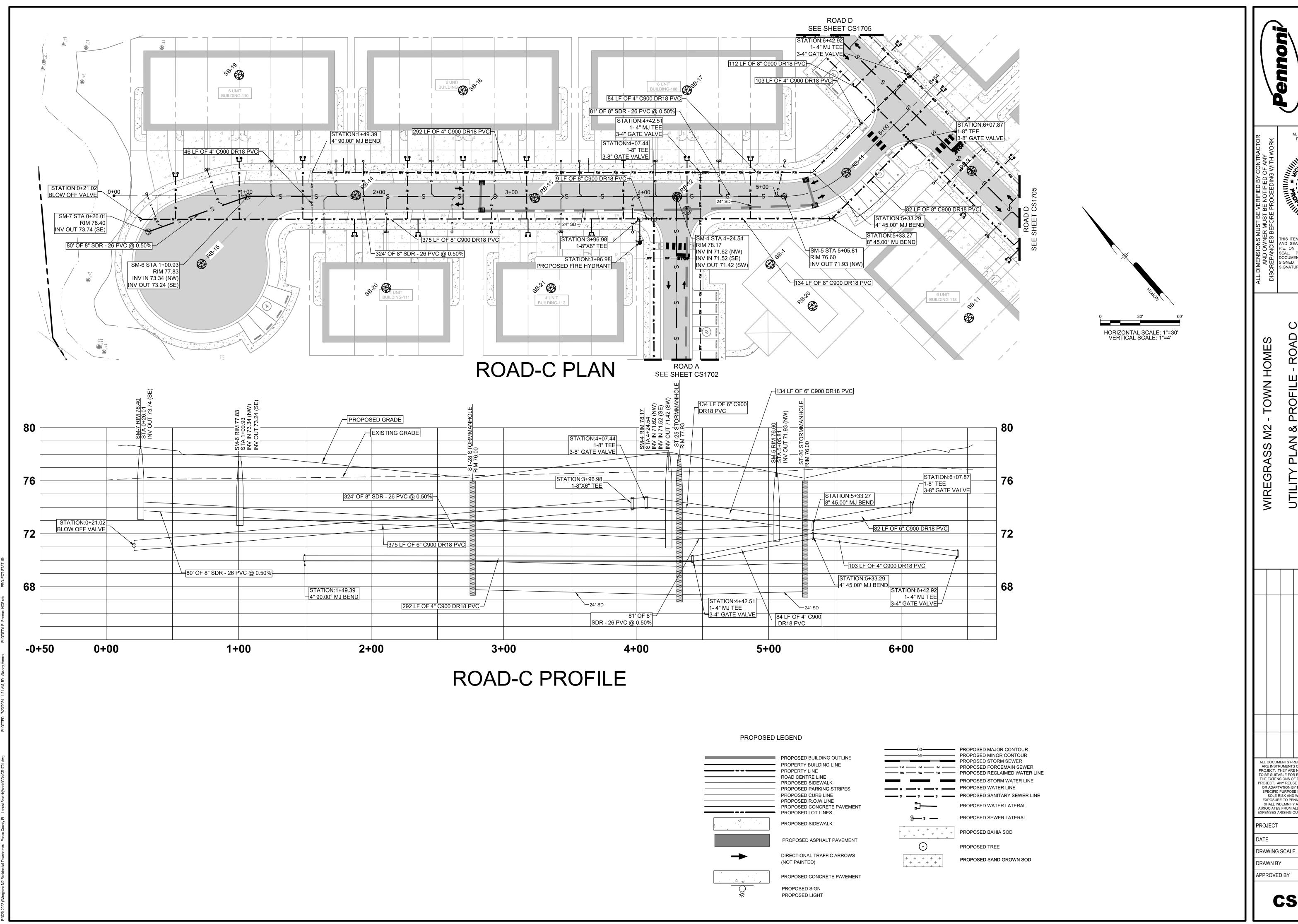
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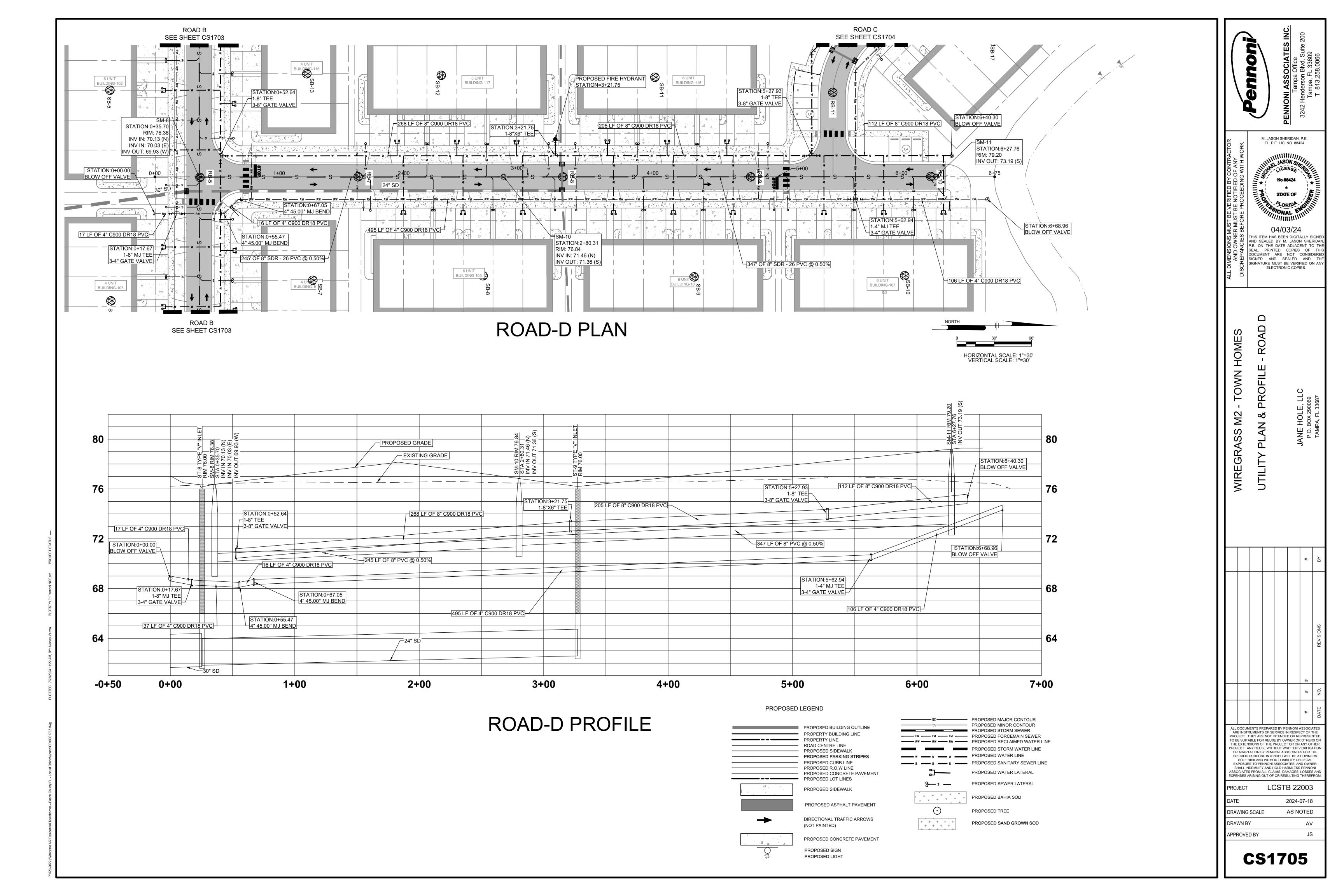
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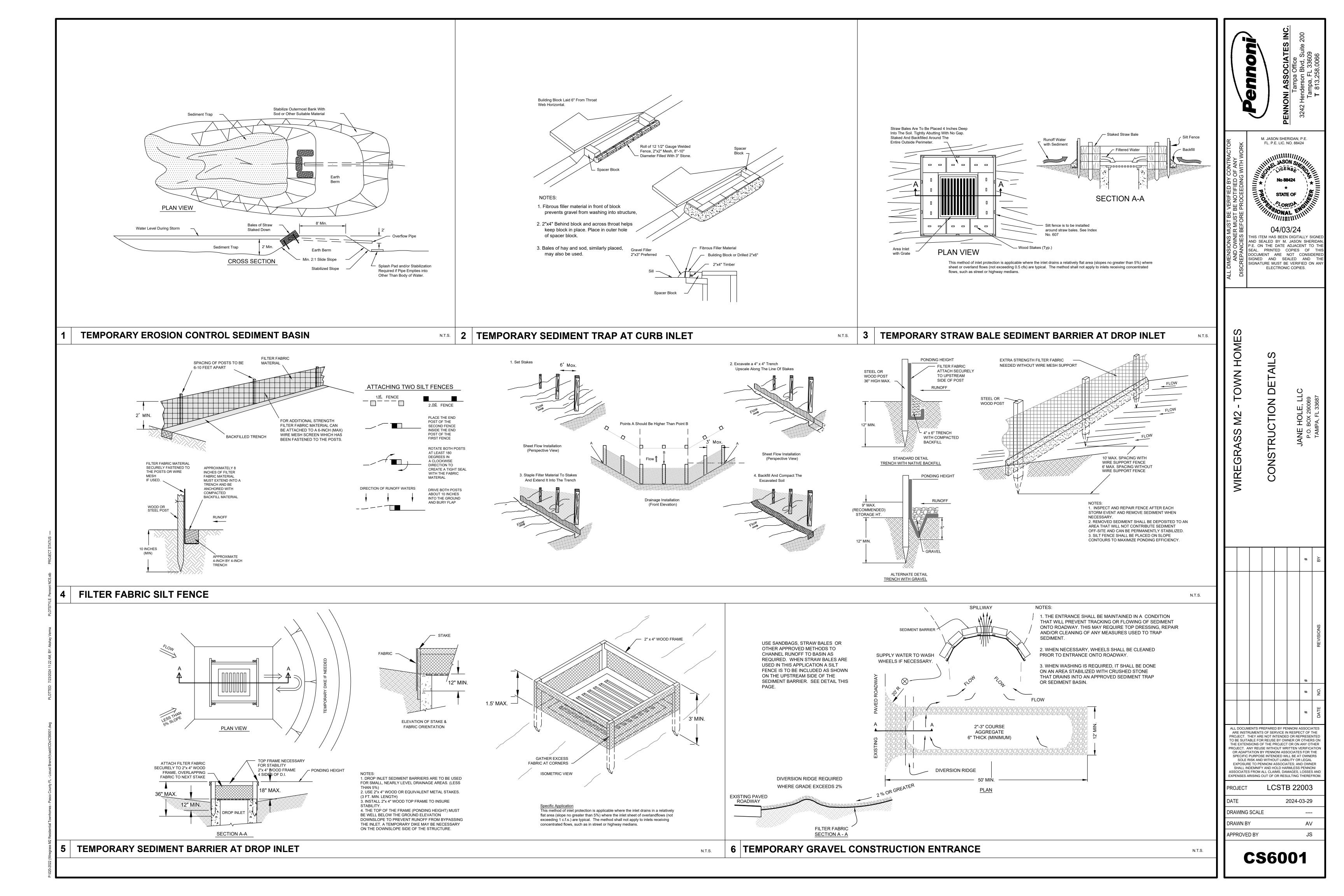
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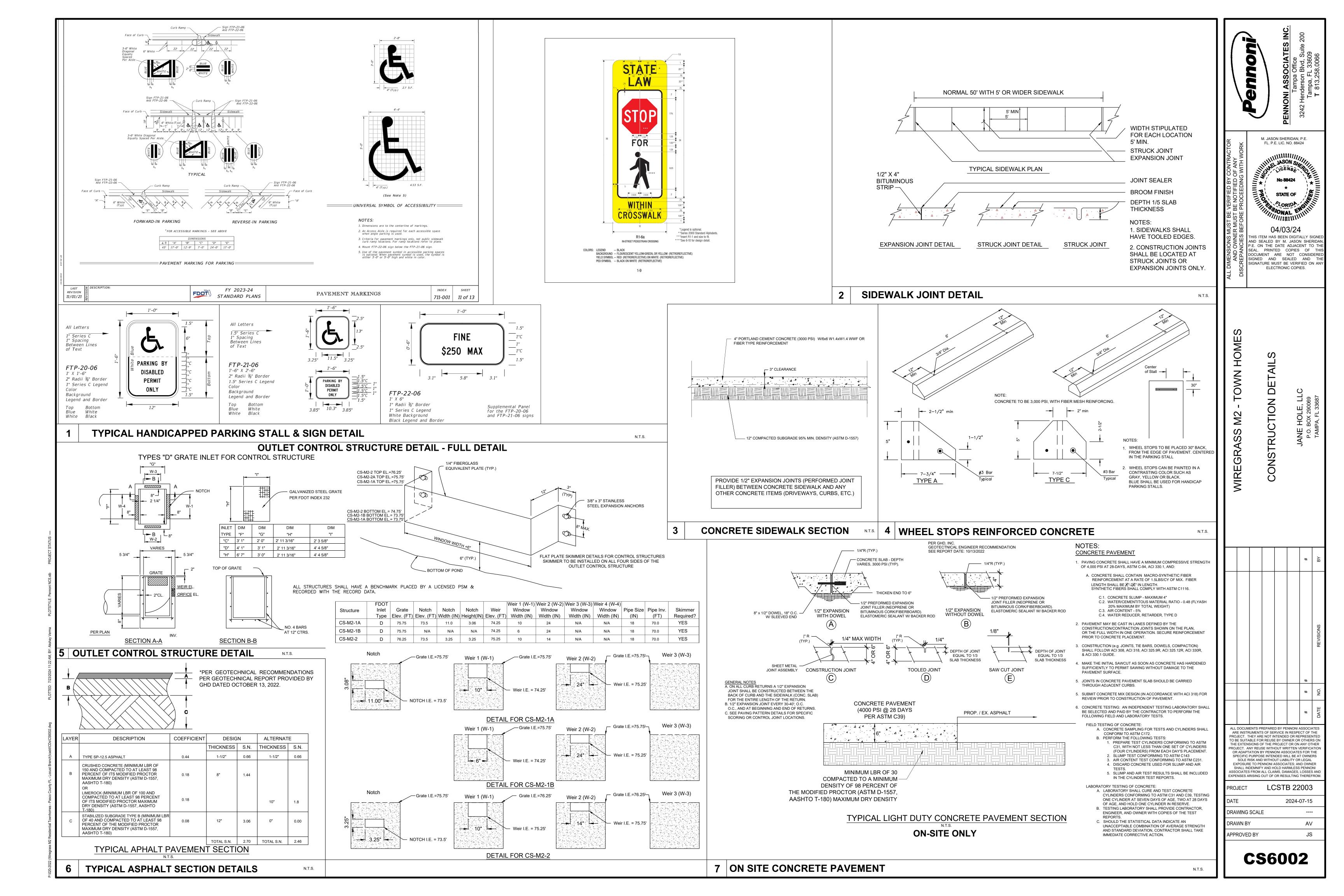
PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION
OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AN EXPENSES ARISING OUT OF OR RESULTING THEREFROM

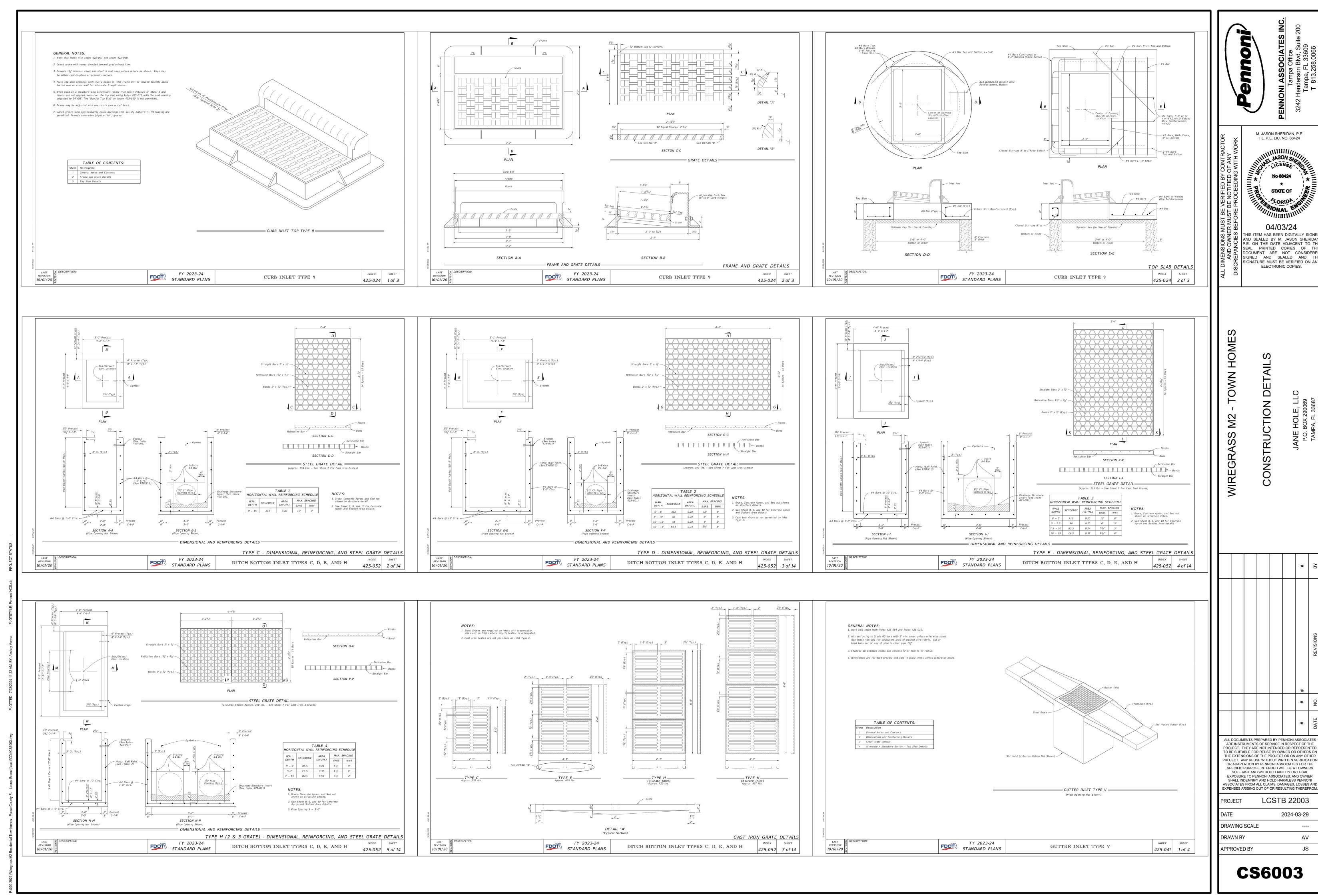
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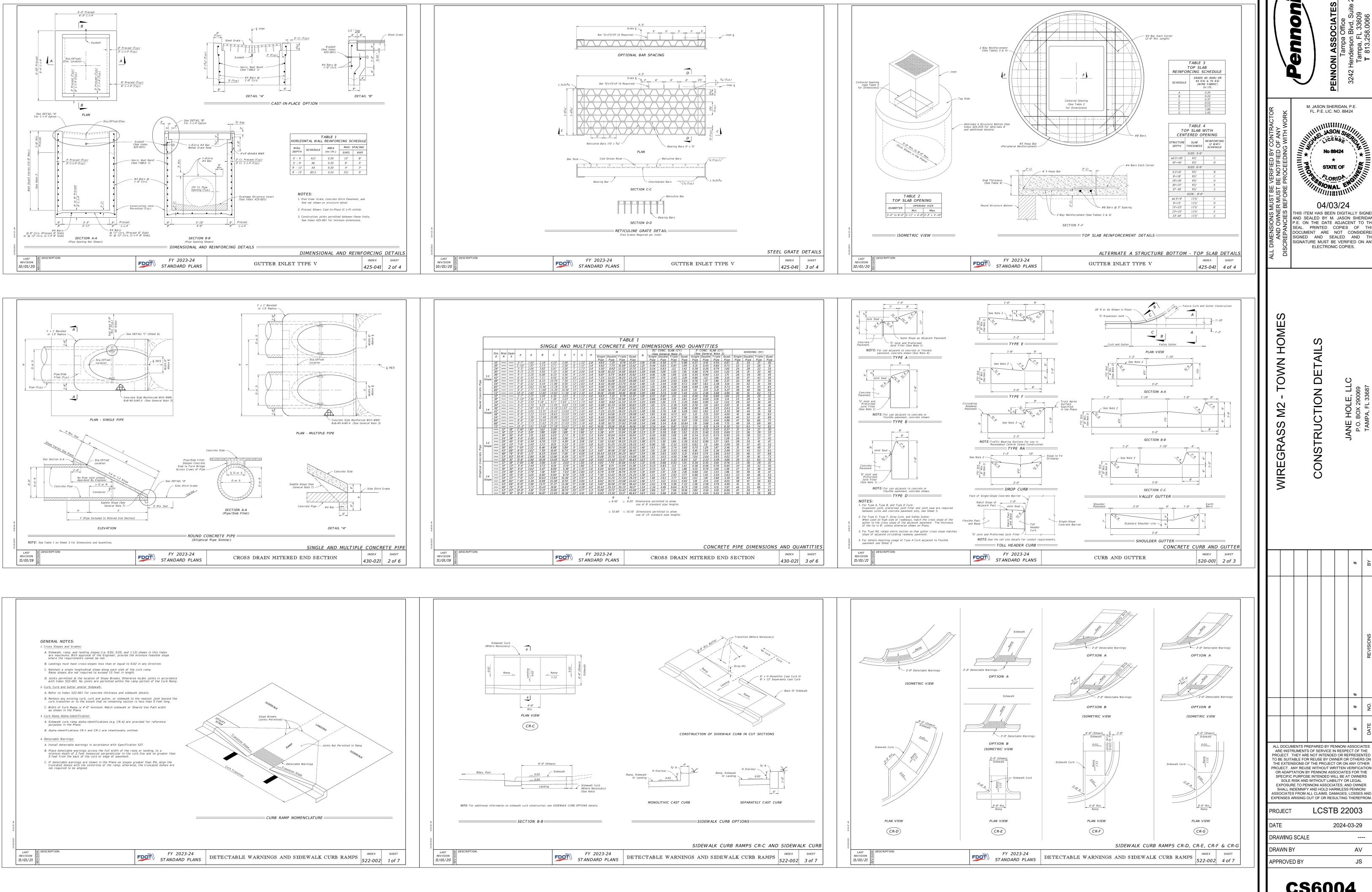






**CS6003** 

2024-03-29



**CS6004** 

LCSTB 22003

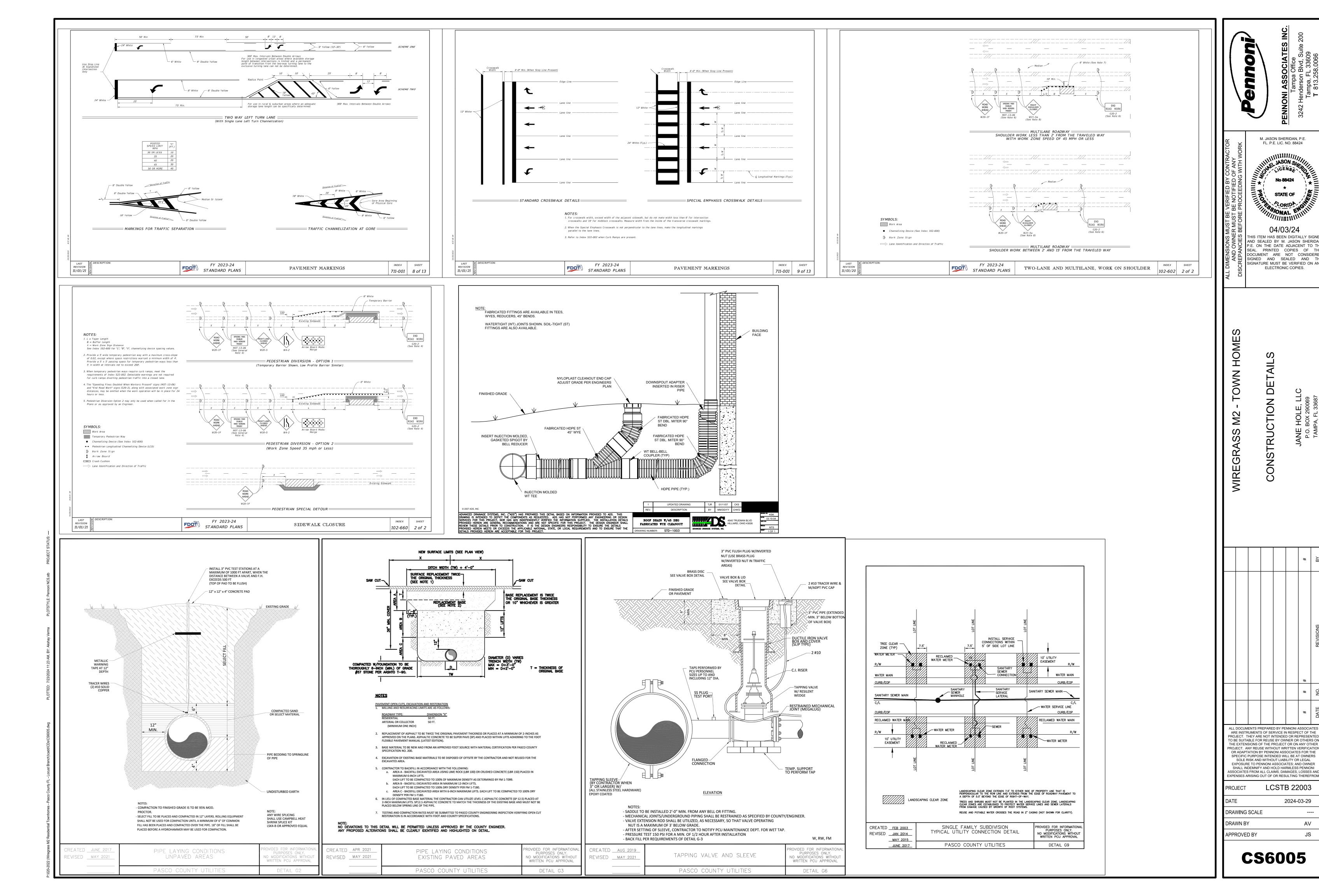
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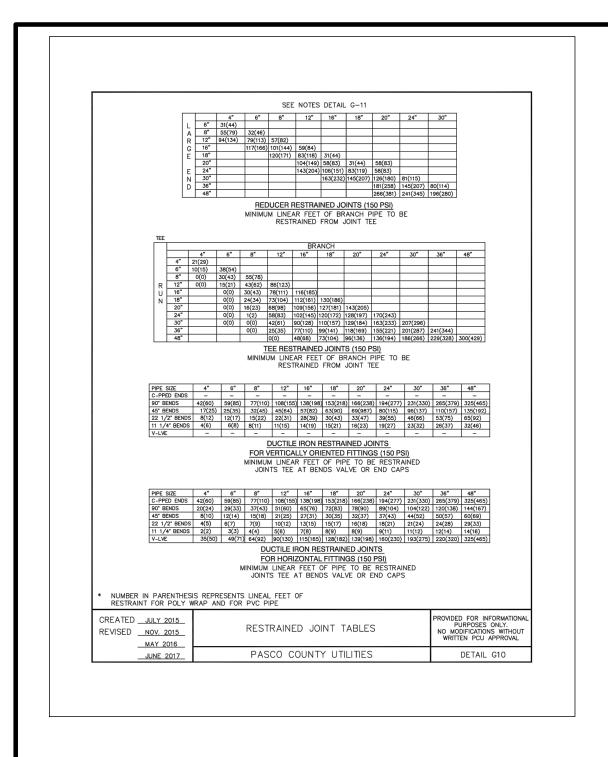
PENNONI ASSOCIATES
Tampa Office
3242 Henderson Blvd, Suite
Tamna Fl 33609

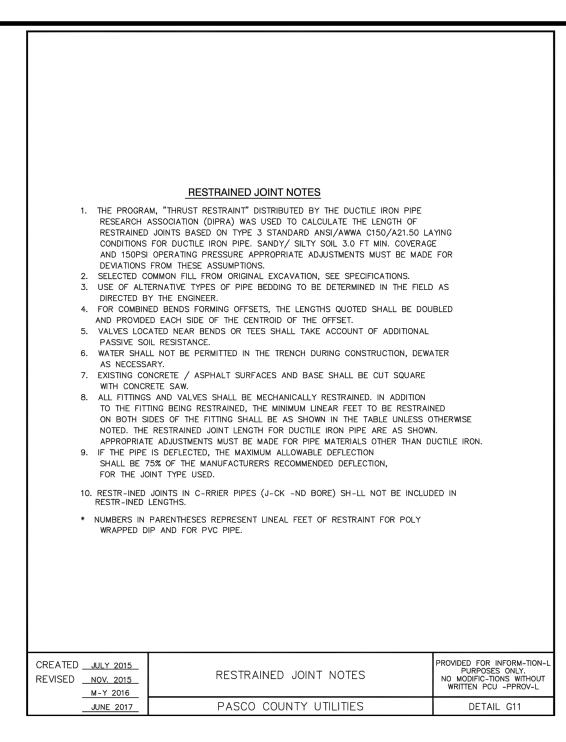
M. JASON SHERIDAN, P.E. FL. P.E. LIC. NO. 88424

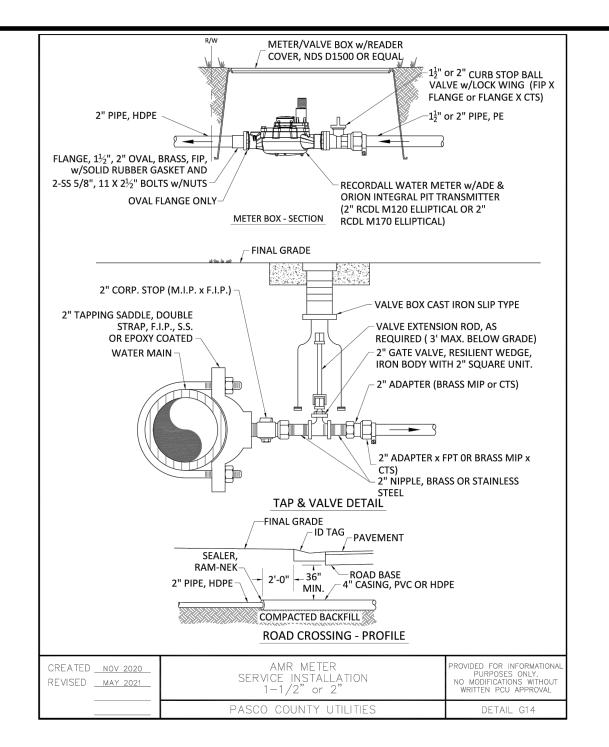
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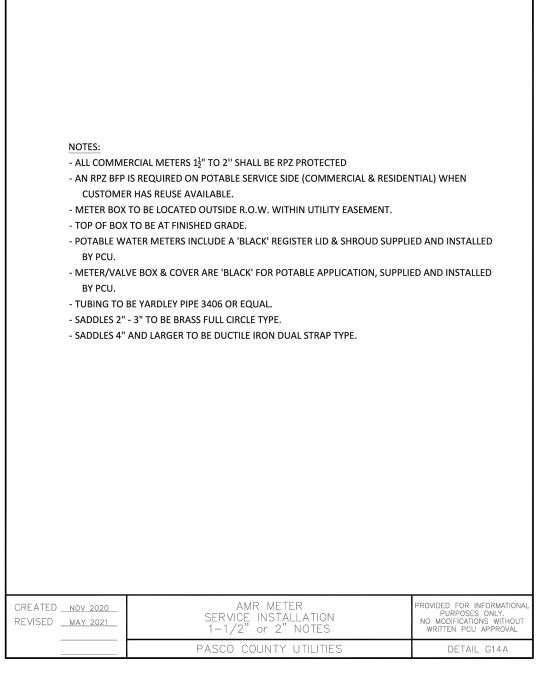


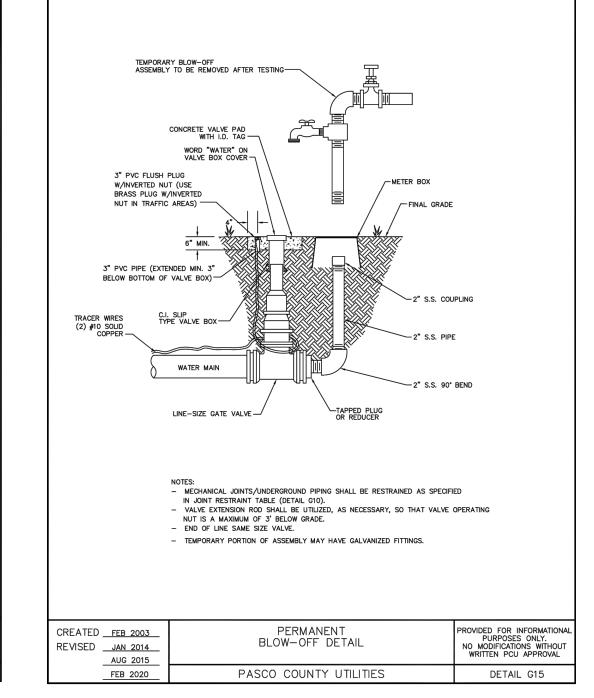
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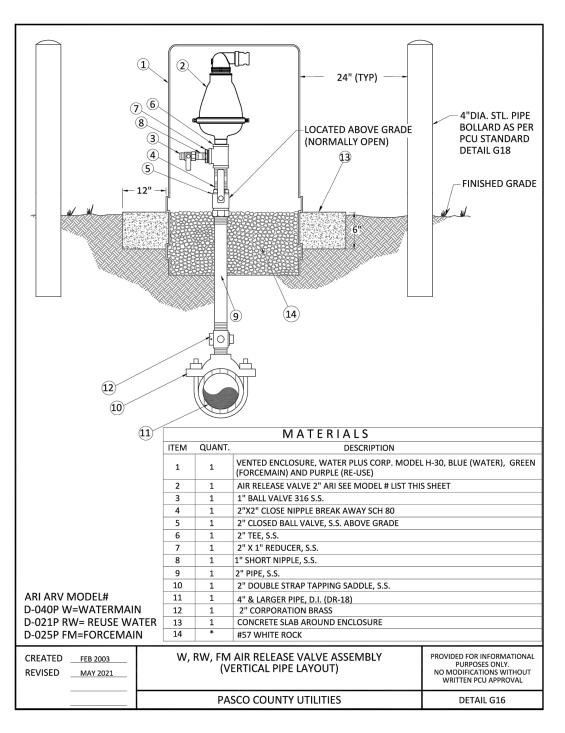


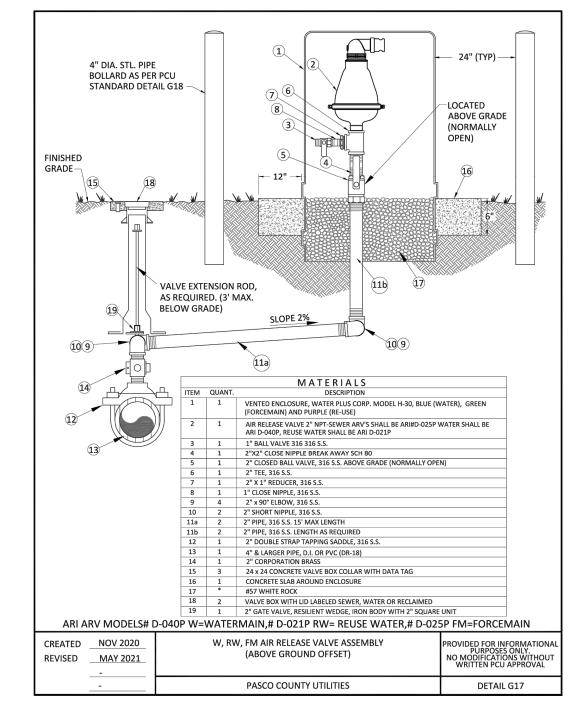


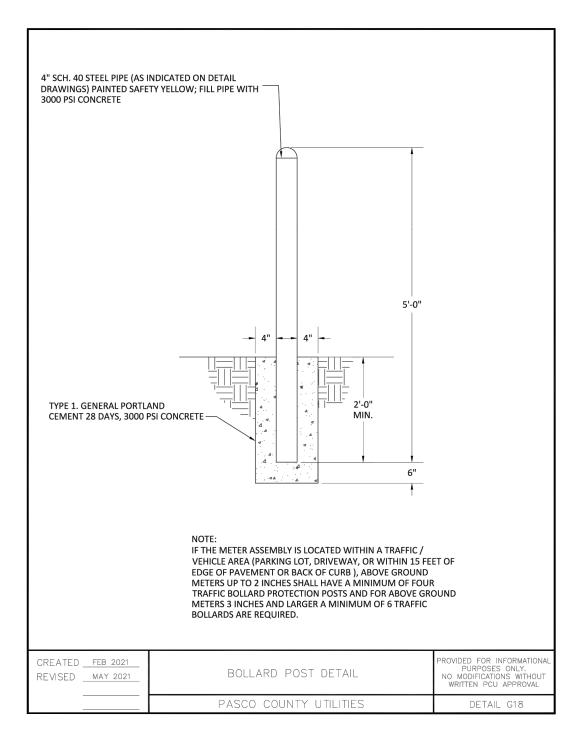




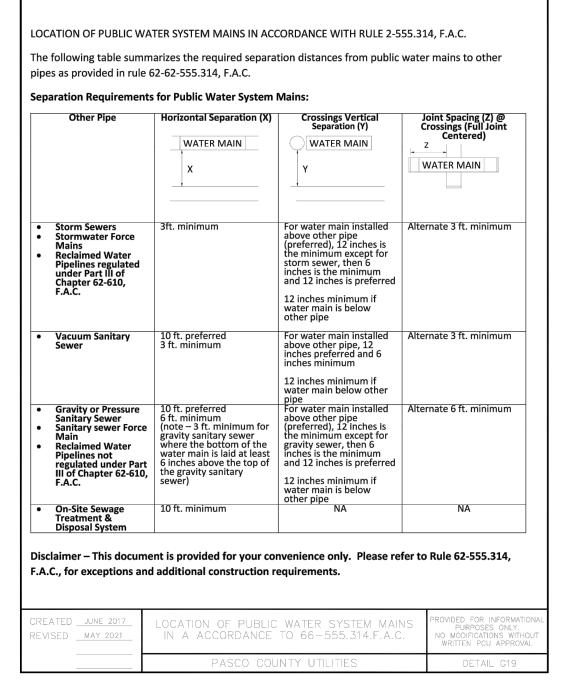


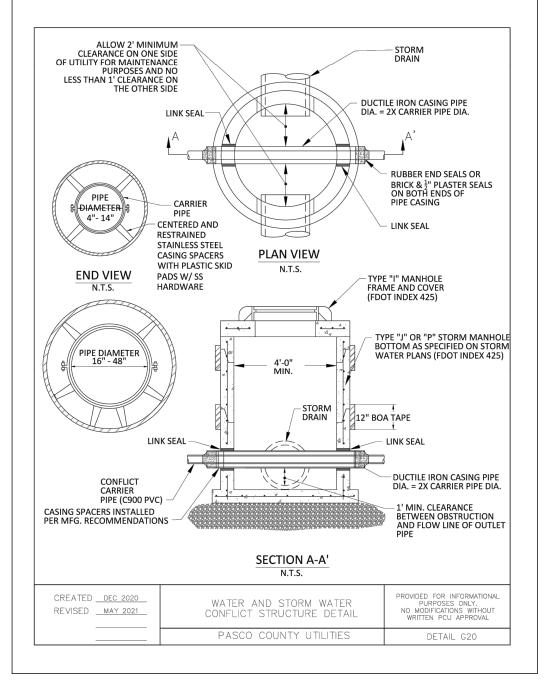


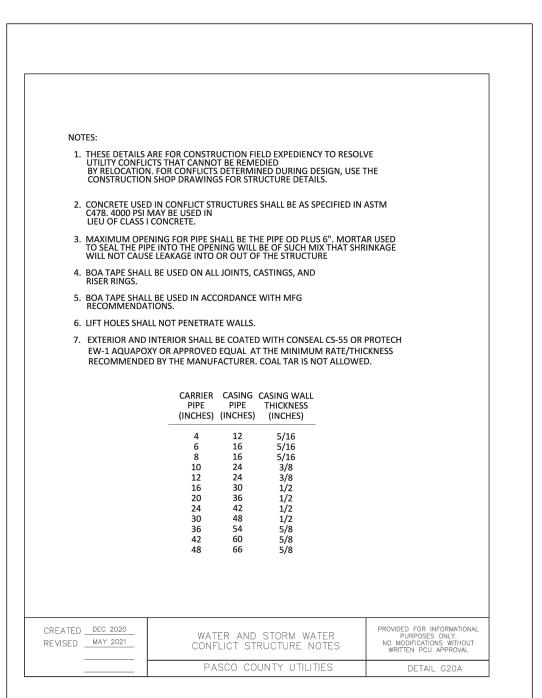


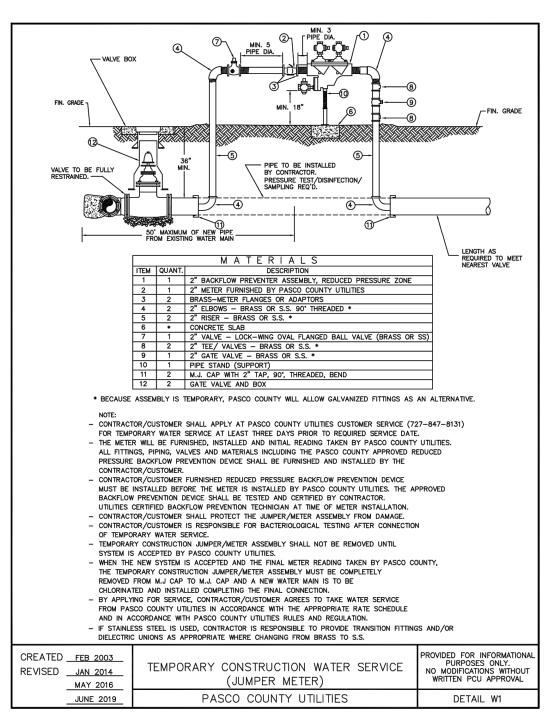


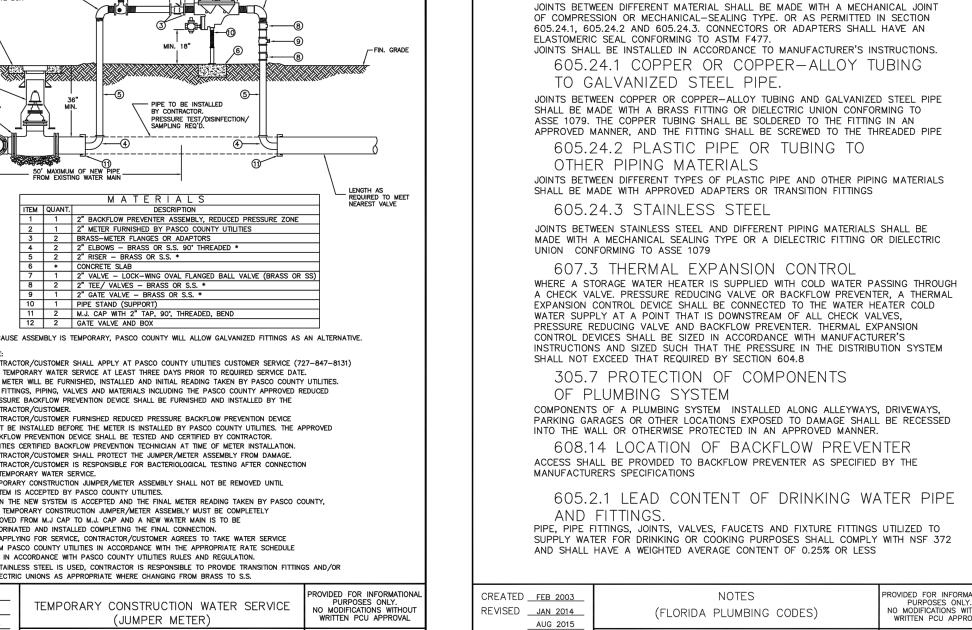
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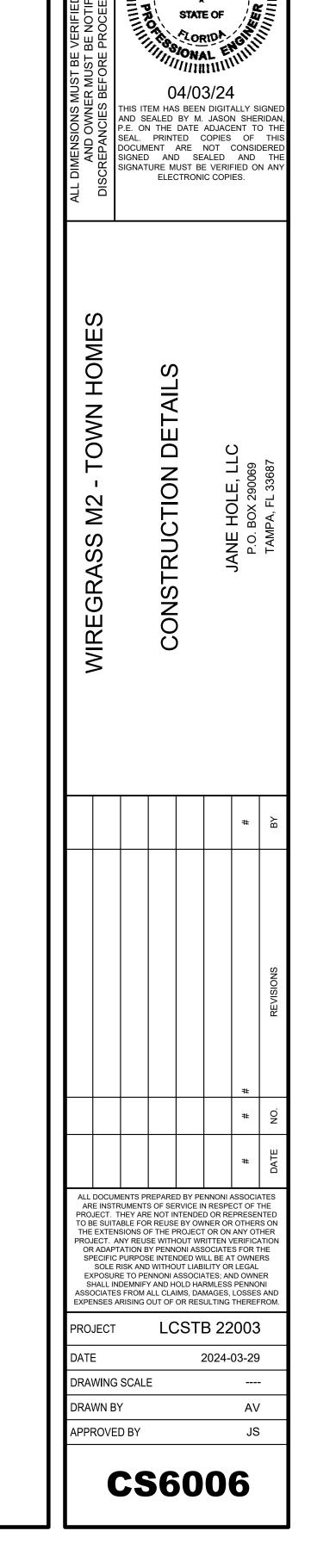








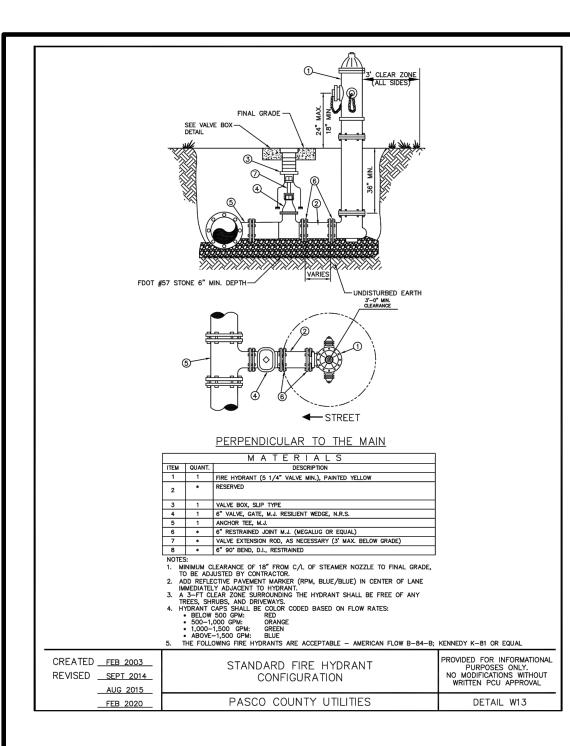
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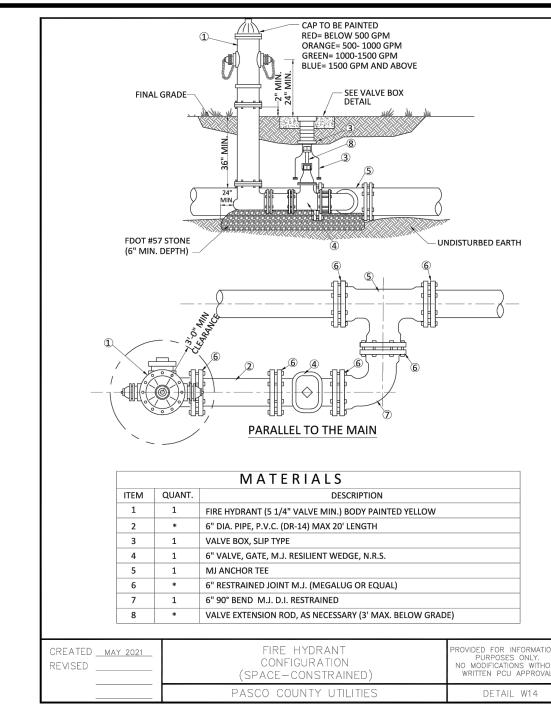


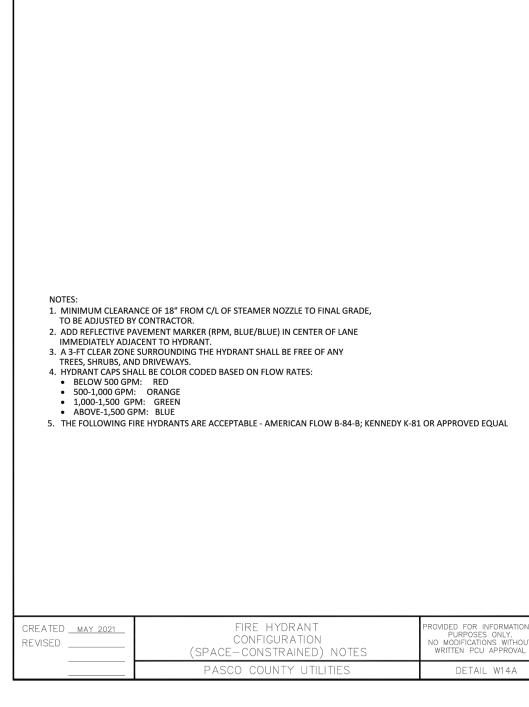
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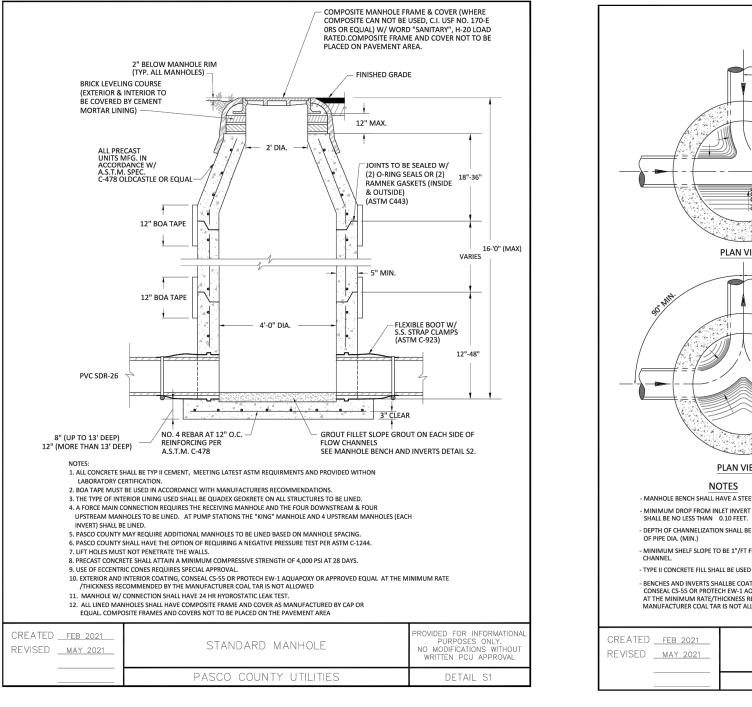
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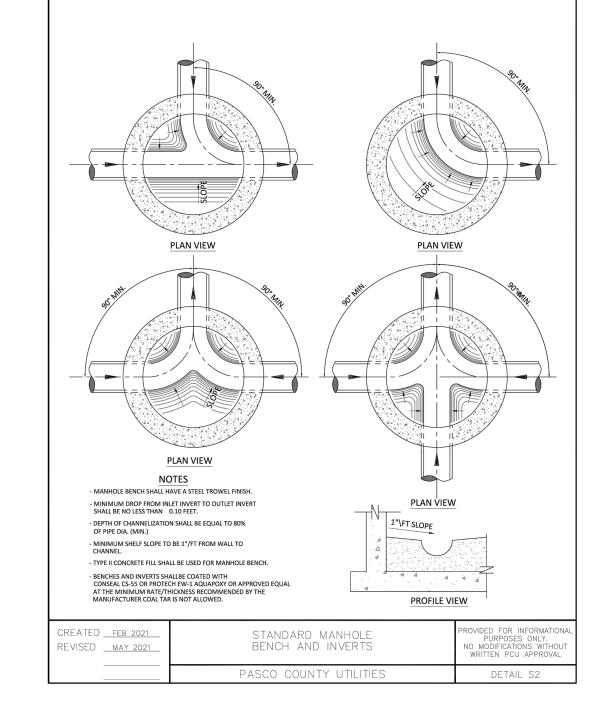
PASCO COUNTY UTILITIES DETAIL W4

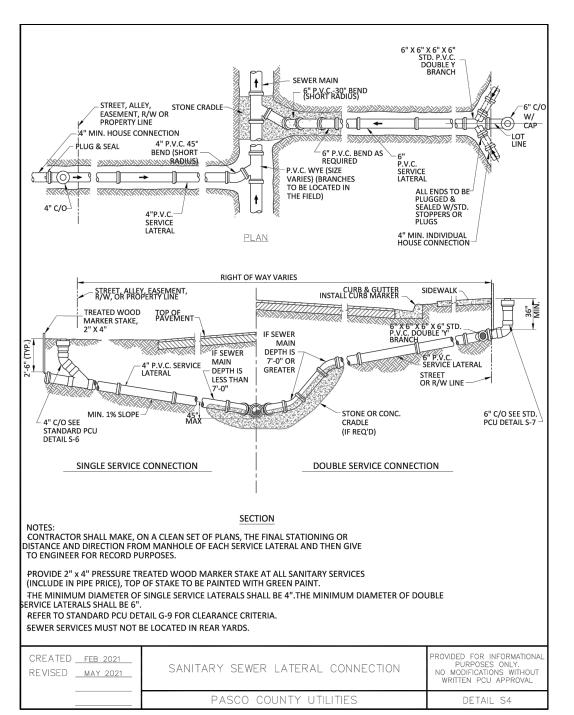


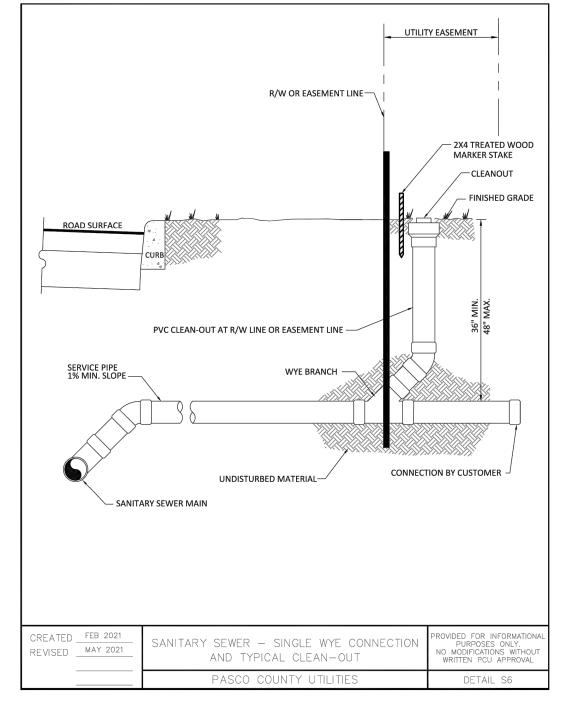


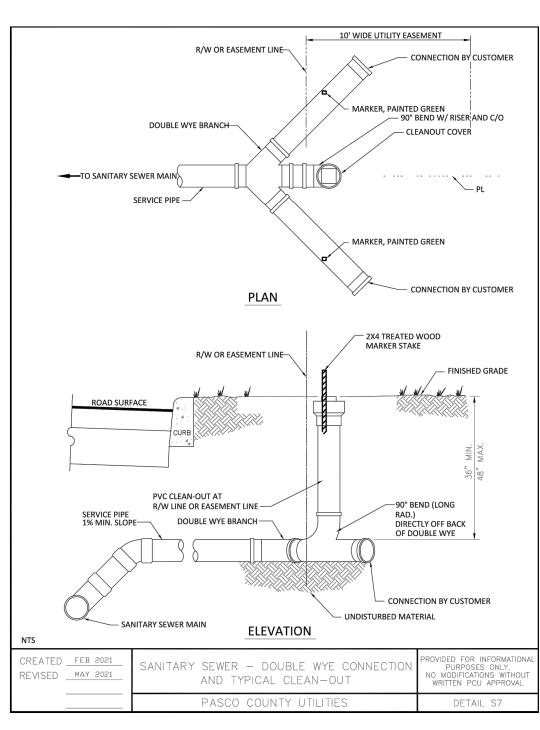




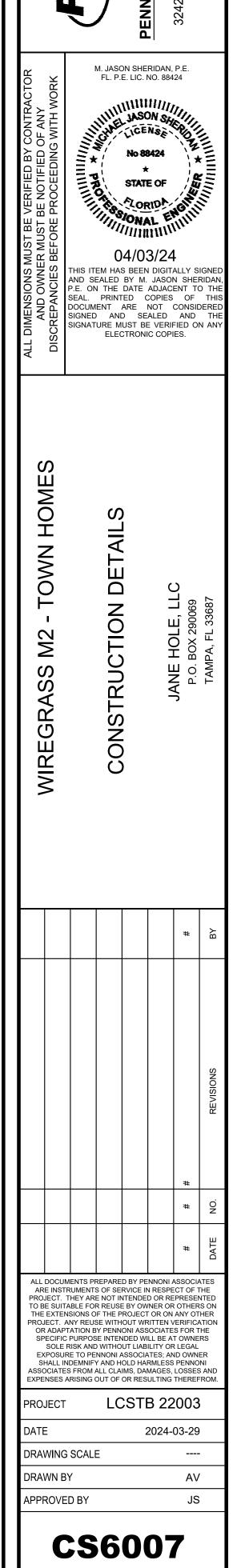












#### NOTE: COMPLETE SYSTEM TO BE SUPPLIED BY:

## RILEY & COMPANY, INC. SANFORD, FL 32773 (407)265-9963

### NO SUBSTITUTIONS - NO ALTERNATES LIFT STATION WILL BE PRIVATELY OWNED AND MAINTAINED.

The H-20 Load Rated Fiberglass Wetwell Must Be Manufactured By L.F. Manufacturing, Giddings, Texas, Which Includes a 20 Yr. Warranty. Certification of the wetwell H-20 load rating must be supplied with submittals. H-20 certification must be signed and sealed by an engineer registered in the

After the H-20 load rated wetwell has been installed, the ASTM Certification Number and Serial Tracking Number must be visible inside wetwell.

#### PUMPS: (3 YR. WARRANTY)

Submersible grinder pumps shall be GRUNDFOS Model RC98280862. The pumps shall be installed in the H-20 GP FRP wetwell utilizing a slide rail system. The grinder unit shall be capable of macerating materials normally found in domestic and commercial sewage into a fine slurry which will pass through the

Stator winding shall be open type with Class H insulation and shall be heatshrink fitted into the stator housing. The use of pins, bolts, or other fastening devices is not acceptable.

A heat sensor thermostat shall be attached to the top end of the motor winding and shall be connected in series with the magnetic contactor coil in the control panel to stop motor if winding temperature exceeds 140 C., but shall automatically reset when the winding temperature returns to normal. Two heat sensor thermostats shall be used on three phase motors.

The pump motor grinder shaft shall be AISI 430F SS threaded to take the pump impeller and the grinder impeller.

Upper & lower mechanical seals shall be Silicon Carbide vs Silicon Carbide.

#### **DUPLEX CONTROL PANEL: (3 YR. WARRANTY)**

pump and the HDPE discharge piping.

To insure complete unit and warranty responsibility the electrical control panel must be manufactured and built by the pump supplier. The pump supplier must be a TUV (UL508A CERTIFIED) manufacturing facility, with a minuimum of 10 years history in the manufacturing of electrical control panels.

The Enclosure shall be NEMA 4X, minimum 30" high x 30" wide x 10" deep fiberglass with 5 point latching system.

The enclosure shall have external mounting feet to allow for wall mounting.

The following components shall be mounted through the enclosure:

1- ea. Red Alarm Beacon (Light) 4" x 4" Minimum Diameter

1- ea. Alarm Horn (minimum 95 DCB)

1- ea. Generator Receptacle w/ weatherproof cover(SCM460 -UL 1686)

1- ea. Alarm Silence Pushbutton

The back panel shall be fabricated from .125, 5052-H32 marine alloy aluminum. All components shall be mounted by machined stainless steel

The following components shall be mounted to back panel:

1- ea. Phase Monitor (3 Ph) w/2 N/O & 1 N/C Contacts

1- ea. Control Transformer (480 Volt Only) (Min. 500VA) 1- ea. Lightning Arrestor

1- ea. Silence Relay Module

1- ea. Duplex Alternator w/ Pump Selector Switch

1- ea. Model RCBB5AH Battery Back-Up w/ Smart Charger For The High Level Alarm System

20- ea. Terminals For Field Connections 6- ea. Terminals For Motor Connections (Single Phase Only)

7- ea. Grounding Lugs

1- ea. Seal Failure Relay

The inner door shall be fabricated from .080, 5052-H32 marine alloy aluminum. The inner door shall have a continuous aluminum piano

The following components shall be mounted through the inner door:

1- ea. Main Circuit Breaker

1- ea. Emergency Circuit Breaker

1- ea. Mechanical Interlock For Emergency And Main Breakers (UL Listed)

2- ea. Short Circuit Protectors w/ Auxiliary Contacts

1- ea. Control Circuit Breaker

2- ea. Seal Failure Indicator Lights

1- ea. Hand-Off-Auto Selector Switches

2- ea. Pump Run Pilot Lights

1- ea. Power On Pilot Light

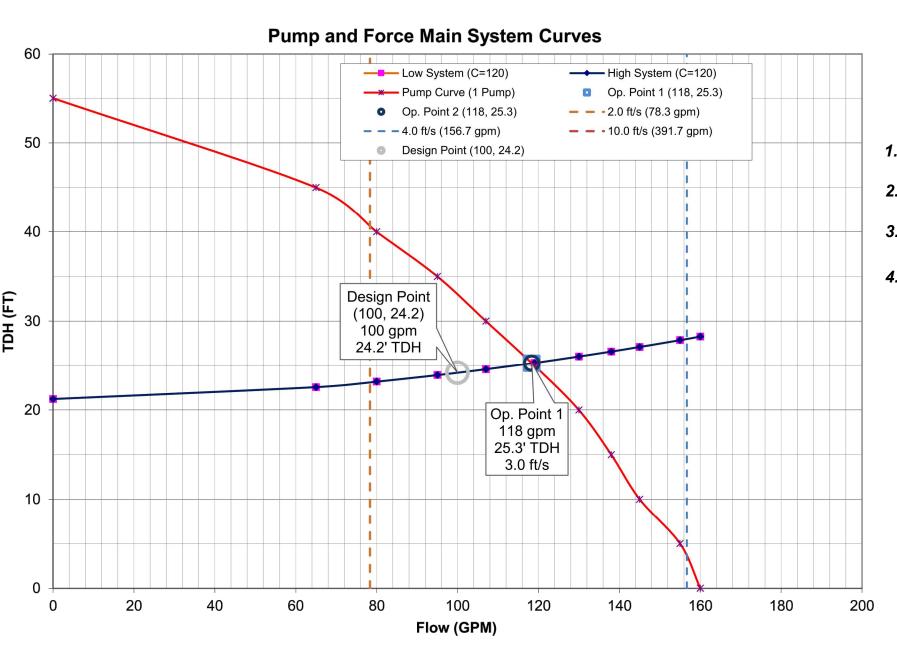
2- ea. Elapse Time Meters (Non-Resetable) 1- ea. GFI Duplex Convenience Outlet

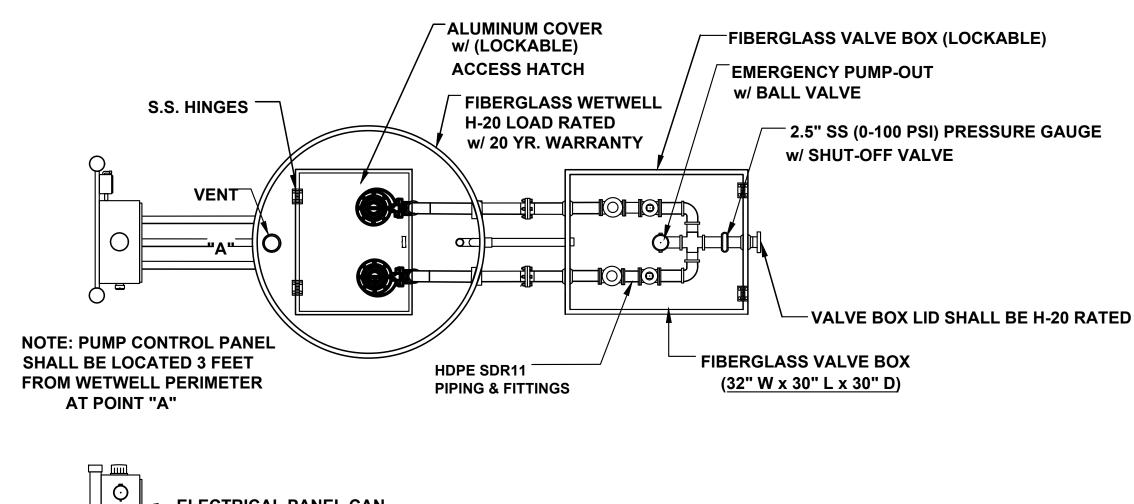
# RILEY & Company, Inc. (H-20 GP)

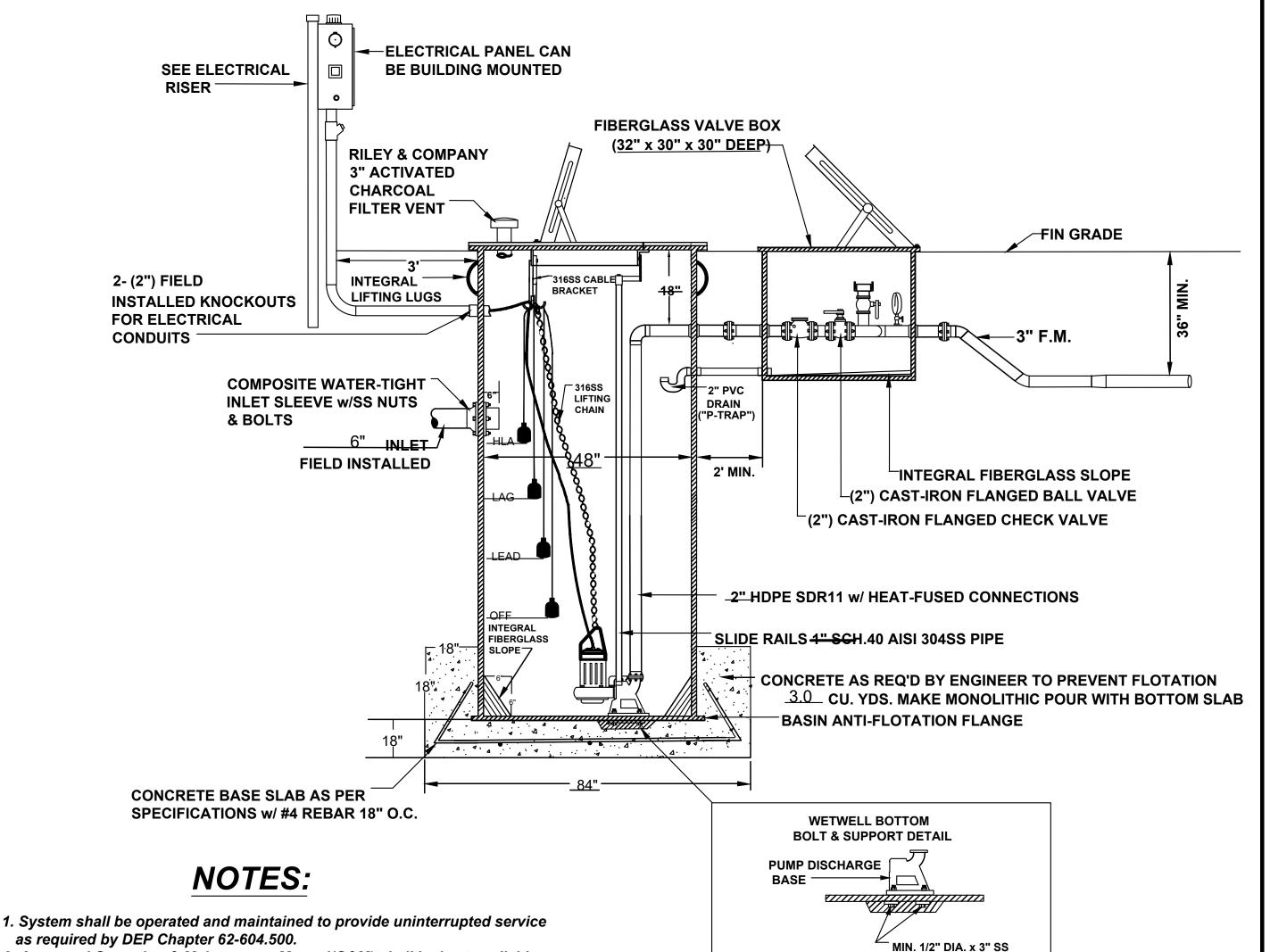
w/ BATTERY BACK-UP FOR AUDIO AND VISUAL ALARMS

ELEVATIONS	
TOP OF WET WELL	78.5 FT
INLET INVERT	67.77 FT
HIGH WATER ALARM	65.77 FT
LAG PUMP ON	64.77 FT
LEAD PUMP ON	64.27 FT
PUMP OFF	62.27 FT
BOTTOM OF WET WELL	60.27 FT

PUMP DA	TA TA	ABLE			
PUMP MODEL GRUNDFOS-RC9828086					
IMPELLER DIAMETER		2.5-INCH	1		
PUMP DESIGN CAPACITY		100	GPM		
PUMP DESIGN TDH		12	FT_		
SECONDARY CAPACITY		N/A	GPM		
SECONDARY TDH		N/A	FT_		
HORSEPOWER		3	HP_		
VOLTAGE		230	V		
PHASE		THREE	PH		
DISCHARGE SIZE	•	3	"		
NOTES: -	•				







**BOLTS WELDED TO A** 

EMBEDDED IN FIBERGLASS

**SS ANCHOR PLATE** 

(2" x 18" x 1/4")

2. Approved Operation & Maintenance Manual(O&M) shall be kept available for operation and maintenance personnel 3. A weather resistant emergency contact sign shall be installed at the lift

station and made visible to the public (Lettering shall be min. 2" in height. 4. INSPECTION & TESTING: A factory representative shall be provide for a one (1) time start-up and shall have complete knowledge of the proper operation and maintenance for the complete system.

M. JASON SHERIDAN, P.E. GNATURE MUST BE VERIFIED ON A ELECTRONIC COPIES. ALL DOCUMENTS PREPARED BY PENNONI ASSOCIATE ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS O THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS EXPOSURE TO PENNONI ASSOCIATES: AND OWNER ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM LCSTB 22003 2024-04-04 DRAWING SCALE **DRAWN BY** APPROVED BY

#### SITE DESCRIPTION

PROJECT NAME: M2 WIREGRASS LAT. = 28°13'44.5" N LONG.= 82°20'17.6" W DEVELOPER'S NAME: JHP REAL ESTATES PARTNERSHIP &
FLYCATCHER RMTERPRISES LLC LTD

DEVELOPER'S ADDRESS: JHP REAL ESTATES PARTNERSHIP &
FLYCATCHER RMTERPRISES LLC LTD
3217 TURMAN LOOP, SUITE 102

WESLEY CHAPEL, FL 33544

DESCRIPTION OF NATURE OF CONSTRUCTION ACTIVITY

CONSTRUCTION OF NEW MULTI-FAMILY APARTMENT BUILDING WITH ASPHALT PARKING, STORMWATER SYSTEM AND

SOIL DISTURBING ACTIVITIES INCLUDE:

INSTALLING STABILIZED CONSTRUCTION ENTRANCES, CONSTRUCTION OF EROSION AND SEDIMENT CONTROLS, CLEARING AND GRUBBING, GRADING, CONSTRUCTION OF STORM SEWER, SANITARY COLLECTION, WATER DISTRIBUTION SYSTEM INSTALLATION, ROAD AND PARKING AREA CONSTRUCTION, AND PREPARATION FOR FINAL LANDSCAPING.

RUNOFF COEFFICIENT: THE FINAL COEFFICIENT OF RUNOFF FOR THE SITE WILL BE C=0.90  $\,$ 

LIMITS OF CONSTRUCTION AREA: ±14.47 ACRES

SEQUENCE OF MAJOR ACTIVITIES

1. PRIOR TO COMMENCEMENT OF CLEARING FOR CONSTRUCTION, SITE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL DEVICES AND NECESSARY TREE BARRICADES CALLED FOR ON PLANS AROUND THE SITE.

2. UPON COMPLETION OF THE INSTALLATION, THE SITE CONTRACTOR MAY BEGIN SITE CLEARING, EARTHWORK, DRAINAGE, UTILITY AND ROADWAY CONSTRUCTION ACTIVITIES WITHIN THE CONTRIBUTING BASIN. THE SITE CONTRACTOR SHALL STABILIZE ALL AREAS DISTURBED WITHIN FIVE DAYS OF ME COMPLETION OF GRADING ACTIVITIES OF THE DISTURBED AREA.

3. DURING CONSTRUCTION, THE SITE CONTRACTOR SHALL PERFORM REQUIRED MAINTENANCE AND INSPECTIONS OF THE

4. THE SITE CONTRACTOR SHALL REMOVE ALL EROSION PROTECTION DEVICES WITHIN EACH CONTRIBUTING AREA FOLLOWING PERMANENT STABILIZATION OF ALL DISTURBED AREAS.

#### NAME OF RECEIVING WATER: TROUT CREEK WATERSHED

#### CONTROLS

#### EROSION AND SEDIMENT CONTROLS

#### STABILIZATION PRACTICES

#### WIND EROSION STABILIZATION:

THE CONTRACTOR SHALL DENUDE ONLY AREAS WHERE IT IS EXPECTED TO GRADE OR ALTERED WITHIN A TWO (2) WEEK TIME-FRAME. FINAL GRADES SHALL BE PERFORMED AND TEMPORARY OR PERMANENT SOIL STABILIZATION SHALL BE APPLIED. AREAS WHERE CONSTRUCTION OPERATIONS WILL BE CONTINUOUS, FUGITIVE DUST SHALL BE MANAGED BY APPLYING A WATER SPRAY TO SATURATED THE SURFACE SOILS ON A DAILY BASIS, OR AS NEEDED TO MAINTAIN MINIMAL DUST TRANSPORT. FUGITIVE DUST SHALL BE MONITORED CONTINUOUSLY AND ADDITIONAL MEASURES MAY NEED TO BE TAKEN TO CONTROL OFF-SITE TRANSPORT OF UNACCEPTABLE LEVELS OF DUST.

#### TEMPORARY STABILIZATION:

TOP OF SOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 21 DAYS WILL BE STABILIZED WITH TEMPORARY GRASS AND MULCH NO LATER THAN 5 DAYS FROM THE LAST CONSTRUCTION ACTIVITY. GRASS SEED SHALL BE A MIXTURE OF 20 PARTS OF BERMUDA SEED AND 80 PARTS OF PENSACOLA BAHIA. THE SEPARATE TYPES OF SEED USED SHALL BE THOROUGHLY DRY MIXED IMMEDIATELY BEFORE SOWING. SEED WHICH HAS BECOME WET SHALL NOT BE USED. THE MULCH MATERIAL USED SHALL NORMALLY BE DRY MULCH. DRY MULCH SHALL BE STRAW OR HAY, CONSISTING OF OAT, RYE OR WHEAT STRAW, OR OF PANGOLA, PEANUT, COASTAL BERMUDA OR BAHIA GRASS HAY. ONLY UNDETERIORATED MULCH WHICH CAN BE READILY CUT INTO THE SOIL SHALL BE USED. AREAS OF THE SITE WHICH ARE TO BE PAVED WILL BE TEMPORARILY STABILIZED BY APPLYING STABILIZATION AND BASED MATERIAL.

#### PERMANENT STABILIZATION

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASES SHALL BE STABILIZED WITH SOD NO LATER THAN 5 DAYS AFTER THE LAST CONSTRUCTION.

#### STRUCTURAL PRACTICES

#### STAKE SILT FENCES:

THE STAKED SILT FENCES WILL BE CONSTRUCTED ALONG THE PERIMETER AS PREVIOUSLY EXPLAINED. THESE DEVICES WILL STOP AND DIVERT RUNOFF TO THE SEDIMENT BASINS.

#### SEDIMENT BASINS:

THE STORM WATER MANAGEMENT AREAS WILL ACT AS SEDIMENT BASINS DURING CONSTRUCTION. THE SEDIMENT BASINS WILL BE CONSTRUCTED TO THE DESIGN CROSS-SECTION, OR A MINIMUM OF 2' BELOW EXISTING GROUND AT THE CONTRACTORS DISCRETION TO ALLOW SILTS TO BE COLLECTED AND REMOVED PRIOR TO COMPLETION OF THE GRADING.

#### STORM WATER MANAGEMENT

STORM WATER DRAINAGE WILL BE PROVIDED BY A CURB, SWALE, STORM SEWER, AND CATCH BASIN SYSTEM FOR THE DEVELOPED AREAS. SWALES TO BE SODDED AND INCLUDE CHECK DAMS AND RIPRAP TO CONTROL RUNOFF VELOCITY AND TRANSPORT OF SEDIMENT. WHEN CONSTRUCTION IS COMPLETE THE IMPROVED PORTION OF THE SITE WILL DRAIN TO STORM WATER PONDS. THE PONDS WILL BE IN THE LOCATION OF THE TEMPORARY SEDIMENT BASINS. WHEN UPSLOPE AREAS ARE STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASINS. THE PONDS HAVE BEEN DESIGNED BY A PROFESSIONAL ENGINEER TO LIMIT PEAK FLOW RATES FROM THE DESIGN STORM EVENT AT OR BELOW PRE-DEVELOPMENT RATES, AND CONSTRUCTION PER DETAILS SHOWN IN THE PLANS IS IMPERATIVE.

#### OTHER CONTROLS

#### WASTE DISPOSAL

#### WASTE MATERIALS:

ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN DUMPSTERS PER PASCO COUNTY SOLID WASTE REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTERS. THE DUMPSTERS WILL BE EMPTIED A MINIMUM OF ONCE A WEEK OR MORE OFTEN IF NECESSARY, AND THE TRASH WILL BE HAULED TO A REGISTERED LANDFILL FOR DISPOSAL. NO CONSTRUCTION MATERIALS WILL BE BURIED ON-SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE ON-SITE OFFICE TRAILER AND THE CONSTRUCTION MANGER RESPONSIBLE OR THE DAY-TO-DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

#### HAZARDOUS WASTE'

SANITARY WASTE'

ALL HAZARDOUS WASTE MATERIALS, IF ENCOUNTERED, WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS. THE CONTRACTOR WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

ALL SANITARY WASTE WILL BE COLLECTED FROM PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION.

#### OFFSITE VEHICLE TRACKING

STABILIZED CONSTRUCTION ENTRANCES SHALL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREETS WILL BE CLEANED AS NEEDED TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM OR TO THE SITE WILL BE COVERED WITH A TARPAULIN AT ALL TIMES.

#### TIMING OF CONTROL MEASURES

AS INDICATED IN THE SEQUENCE OF MAJOR ACTIVITIES, STAKED SILT BARRIERS, STABILIZED CONSTRUCTION ENTRANCES AND SEDIMENT BASINS WILL BE CONSTRUCTED PRIOR TO CLEARING OR GRADING OF ANY OTHER PORTIONS OF THE SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR MORE THAN 21 DAYS WILL BE STABILIZED WITH TEMPORARY GRASS AND MULCH WITHIN 5 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTED ACTIVITY CEASES PERMANENTLY IN THAT AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SOD. AFTER THE ENTIRE SITE IS STABILIZED, THE ACCUMULATED SEDIMENT WILL BE REMOVED FROM THE TRAPS AND THE STAKED SILT BARRIERS WILL BE REMOVED.

#### CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS

THE STORM WATER POLLUTION PREVENTION PLAN REFLECTS THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICTS (SWFWMD) REQUIREMENTS FOR STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL, AS ESTABLISHED BY THE FLORIDA ADMINISTRATIVE CODE, CHAPTER 40D-4 AND 40D-40. TO ENSURE COMPLIANCE, THIS PLAN WAS PREPARED IN ACCORDANCE WITH SWFWMD'S "BASIS OF REVIEW FOR SURFACE WATER MANAGEMENT PERMIT APPLICATIONS WITHIN THE SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT". THIS PLAN ALSO REFLECTS THE REQUIREMENTS OF THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR WORK IN BRANCH 6.

#### MAINTENANCE INSPECTION PROCEDURES

#### EROSION AND SEDIMENT CONTROL INSPECTION AND MAINTENANCE PRACTICES

THESE ARE THE INSPECTION AND MAINTENANCE PRACTICES THAT SHALL BE USED TO MAINTAIN EROSION AND SEDIMENT CONTROL

ALL CONTROL MEASURES IN DISTURBED AREAS WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND WITHIN 24 HOURS OF THE END OF ANY STORM EVENT OF 0.25 INCHES OR GREATER BY A CONTRACTORS REPRESENTATIVE. WHERE SITES HAVE BEEN FINALLY STABILIZED SUCH INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER; IF A REPAIR IS NECESSARY, IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE. SILT FENCE WILL BE INSPECTED REGULARLY FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND. THE SEDIMENT BASINS WILL BE INSPECTED FOR DEPTH OF SEDIMENT, AND BUILT UP SEDIMENT WILL BE REMOVED WHEN IT REACHES 10 PERCENT OF THE DESIGN CAPACITY OR AT THE END OF THE JOB. TEMPORARY AND PERMANENT GRASSING, MULCHING AND SODDING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH. A MAINTENANCE INSPECTION REPORT SHALL BE MADE AFTER EACH INSPECTION BY THE CONTRACTOR AND SHALL BE KEPT IN AN ACTIVE LOG READILY AVAILABLE AT THE JOB SITE CONSTRUCTION TRAILER. THE SITE SUPERINTENDENT WILL SELECT INDIVIDUALS WHO WILL BE RESPONSIBLE FOR MAINTENANCE AND REPAIR ACTIVITIES. FILLING OUT THE INSPECTION AND MAINTENANCE REPORT WILL BE BY THE CONTRACTOR, PERSONNEL SELECTED FOR MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT. THEY WILL BE TRAINED IN ALL MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ON-SITE IN GOOD WORKING ORDER.

#### NON-STORM WATER DISCHARGES

IT IS EXPECTED THAT THE FOLLOWING NON-STORM WATER DISCHARGES WILL OCCUR FROM THE SITE DURING THE CONSTRUCTION PERIOD:

WATER FROM FIRE FIGHTING ACTIVITIES. FIRE HYDRANT FLUSHING, WATER LINE FLUSHING, WATER USED TO SPRAY OFF LOOSE SOILS FROM VEHICLES, DUST CONTROL, PAVEMENT WASH WATERS (WHERE NO SPILLS OR LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE OCCURRED). ALL NON-STORM WATER DISCHARGES WILL BE DIRECTED TO THE SEDIMENT BASIN PRIOR TO DISCHARGE.

GROUNDWATER DEWATERING ACTIVITIES ARE NOT COVERED BY THIS PERMIT. THE CONTRACTOR MUST APPLY FOR COVERAGE UNDER THE GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE ACTIVITY PURSUANT TO 62-621.300 (2), F.A.C.

#### INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED, BUT NOT LIMITED, TO BE PRESENT ON-SITE DURING CONSTRUCTION:

CONCRETE
DETERGENTS
PAINTS (ENAMEL AND LATEX)
METAL STUDS
GLASS
TAB

FERTILIZERS
PETROLEUM BASED PRODUCTS AND FUELS
CLEANING SOLVENTS
WOOD
MASONRY BLOCK
ROOFING SHINGLES

#### SPILL PREVENTION

#### MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR OTHER ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORM WATER RUNOFF.

STONE

#### GOOD HOUSEKEEPING:

SAND

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES SHALL BE FOLLOWED ON-SITE DURING THE CONSTRUCTION PROJECT.

AN EFFORT SHALL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT. ORDERLY MANNER IN THE JOB APPROPRIATE CONTAINERS AND, IF POSSIBLE, UNDER A ROOF OR OTHER CONTAINED ENCLOSURE. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL MANUFACTURER'S LABELED CONTAINERS. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF A PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER. MANUFACTURERS' RECOMMENDATIONS FOR PROPER USE AND DISPOSAL SHALL BE FOLLOWED. THE SITE SUPERINTENDENT SHALL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON-SITE.

#### HAZARDOUS PRODUCTS:

THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.

PRODUCTS SHALL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION. IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL AND STATE RECOMMENDED METHODS OF PROPER DISPOSAL SHALL BE

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON-SITE:

#### PETROLEUM PRODUCTS:

ALL ON-SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON-SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

#### FERTILIZERS:

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. STORAGE WILL BE IN A COVERED SHED. THE CONTENTS OR ANY PARTIALLY USED BAGS OF FERTILIZER WILL BE TRANSFERRED TO A SEALABLE PLASTIC BIN TO AVOID SPILLS.

#### PAINTS:

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM SEWER SYSTEM BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

#### CONCRETE TRUCKS:

CONTRACTOR SHALL DESIGNATE AN AREA FOR DISCHARGE OF SURPLUS CONCRETE OR DRUM WASH WATER AND SHALL INSTALL A CONTAINMENT BERM AROUND THIS AREA TO PREVENT RUNOFF TO THE REMAINDER OF THE SITE. HARD DEBRIS SHALL BE DISPOSED OF BY CONTRACTOR UPON COMPLETION OF THE PROJECT.

#### SPILL CONTROL PRACTICES

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTION OF THE PLAN, THE FOLLOWING PRACTICES SHALL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUP:

MANUFACTURES' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE

MADE AWARE OF THE PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.

MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON-SITE.
EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES,
KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.

ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.

THE SPILL AREAS WILL BE KEPT WELL VENTILATED AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FORM CONTACT WITH A HAZARDOUS SUBSTANCE.

SPILLS OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY. REGARDLESS OF SIZE.

THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURES TO PREVENT THIS TYPE OF SPILL FROM REOCCURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURES WILL ALSO BE INCLUDED.

THE SITE SUPERINTENDENT RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS, WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATION. THEY WILL DESIGNATE OTHER PERSONNEL WHO WILL RECEIVE SPILL PREVENTION AND CLEANUP TRAINING. THESE INDIVIDUALS WILL EACH BECOME RESPONSIBLE FOR A PARTICULAR PHASE OF PREVENTION AND CLEANUP. THE NAMES OF RESPONSIBLE SPILL PERSONNEL WILL BE POSTED IN THE MATERIAL STORAGE AREA AND IN THE OFFICE TRAILER ON-SITE.

#### NOTICE OF TERMINATION

A NOTICE OF TERMINATION WILL BE SUBMITTED TO EPA AFTER THE CONSTRUCTION HAS BEEN COMPLETED AND THE SITE HAS UNDERGONE FINAL STABILIZATION.

#### POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT THESE CONSTRUCTION PLANS, THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM, AS SHOWN ON THESE CONSTRUCTION PLANS, DESIGNED TO ASSURE THAT APPROPRIATE POLLUTION PREVENTION MEASURES ARE IMPLEMENTED DURING CONSTRUCTION AND TO ASSURE THAT THE QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOW VIOLATIONS.

DEVELOPER:	
SIGNED:	
NAME AND TITLE:	JHP REAL ESTATES PARTNERSHIP & FLYCATCHER RMTERPRISES LLC LTD
COMPANY:	JHP REAL ESTATES PARTNERSHIP & FLYCATCHER RMTERPRISES LLC LTD
ADDRESS:	3217, TURMAN LOOP, SUITE 102
	WESLEY CHAPEL , FL 33544
DATE:	

#### POLLUTION PREVENTION PLAN CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERIC STORM WATER PERMIT ISSUED PURSUANT TO SECTION 403.0885, F.S., THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

SIGNATURE	FOR	RESPONSIBLE FOR
NAME: TITLE:	ADDRESS:	GENERAL CONTRACTOR
NAME: TITLE: DATE:	ADDRESS:	TEMPORARY AND PERMANENT STABILIZATION
NAME: TITLE: DATE:	ADDRESS:	TEMPORARY AND PERMANENT STABILIZATION

Pennoni

PENNONI ASSOCIATES II

Tampa Office
3242 Henderson Blvd, Suite 20
Tampa, FL 33609

M. JASON SHERIDAN, P.E. FL. P.E. LIC. NO. 88424

NO. 88424

STATE OF

ORIDAR ENGINEERING

U4/U3/24

THIS ITEM HAS BEEN DIGITALLY SIGNE AND SEALED BY M. JASON SHERIDA P.E. ON THE DATE ADJACENT TO TH SEAL. PRINTED COPIES OF TH DOCUMENT ARE NOT CONSIDERE SIGNED AND SEALED AND TH SIGNATURE MUST BE VERIFIED ON AN ELECTRONIC COPIES.

ER POLLUTION AND PREVER

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ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTEL TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS OF THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED WILL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONI ASSOCIATES; AND OWNER SHALL INDEMNIFY AND HOLD HARMLESS PENNONI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES ANI EXPENSES ARISING OUT OF OR RESULTING THEREFROM

PROJECT LCSTB 22003

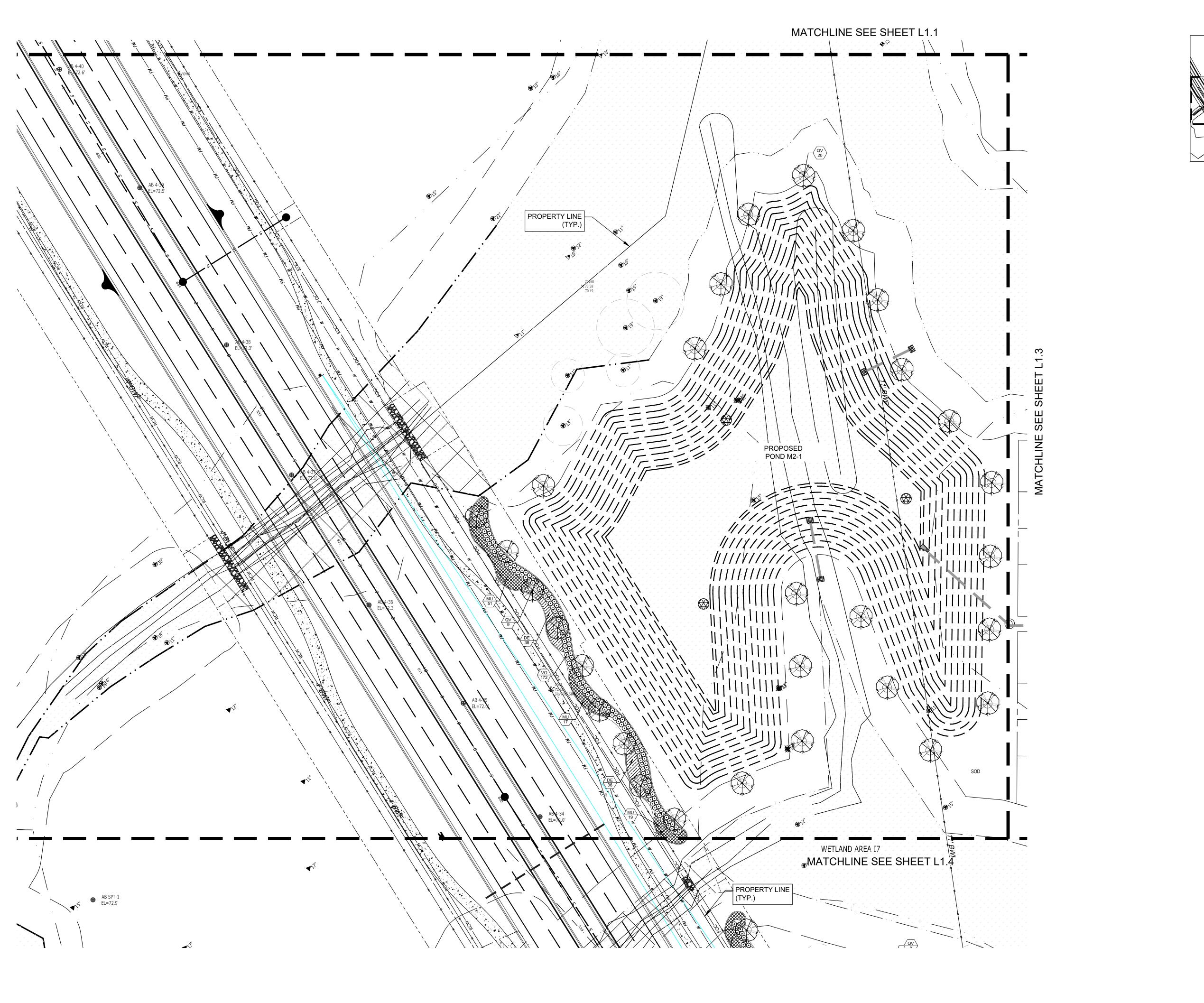
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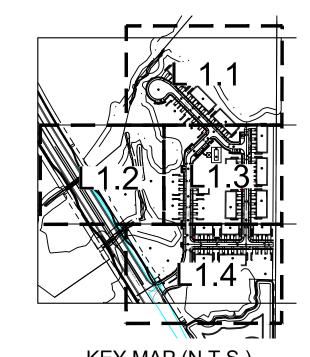
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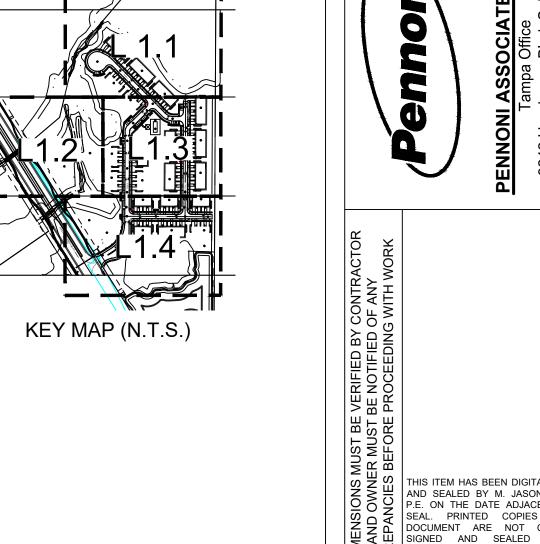
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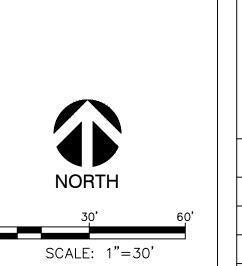
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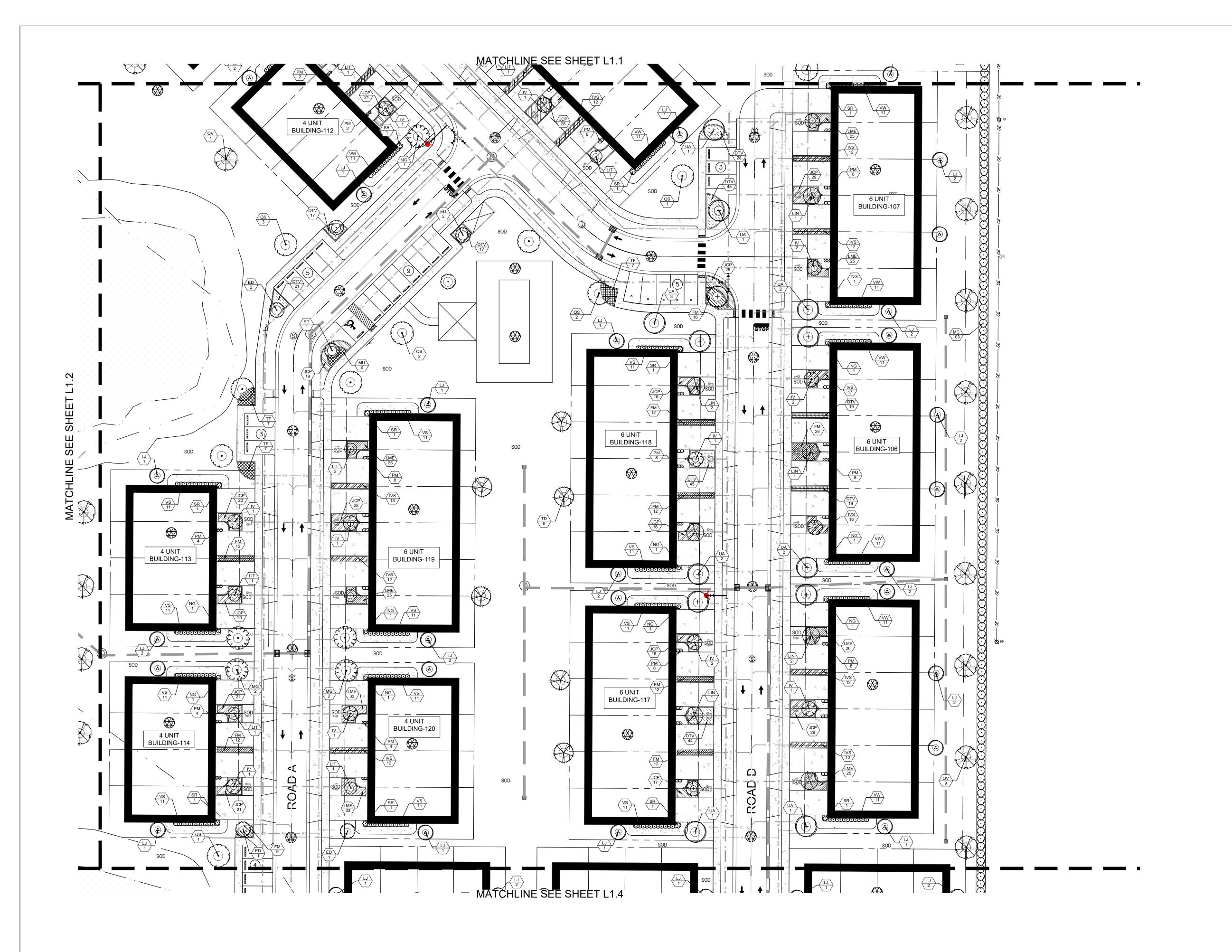




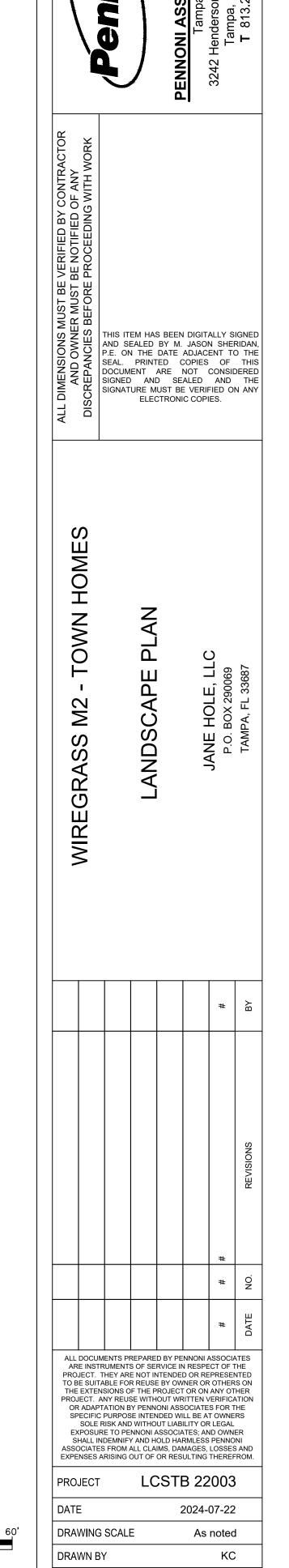


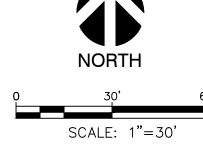
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WIREGRASS M2 - TOWN HOMES		LANDSCAPE PLAN			P.O. BOX 290069	TAMPA, FL 33687
					#	ВУ
					#	REVISIONS
					#	N O
					#	DATE
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APPROV	ED BY				JER	<b>!</b>

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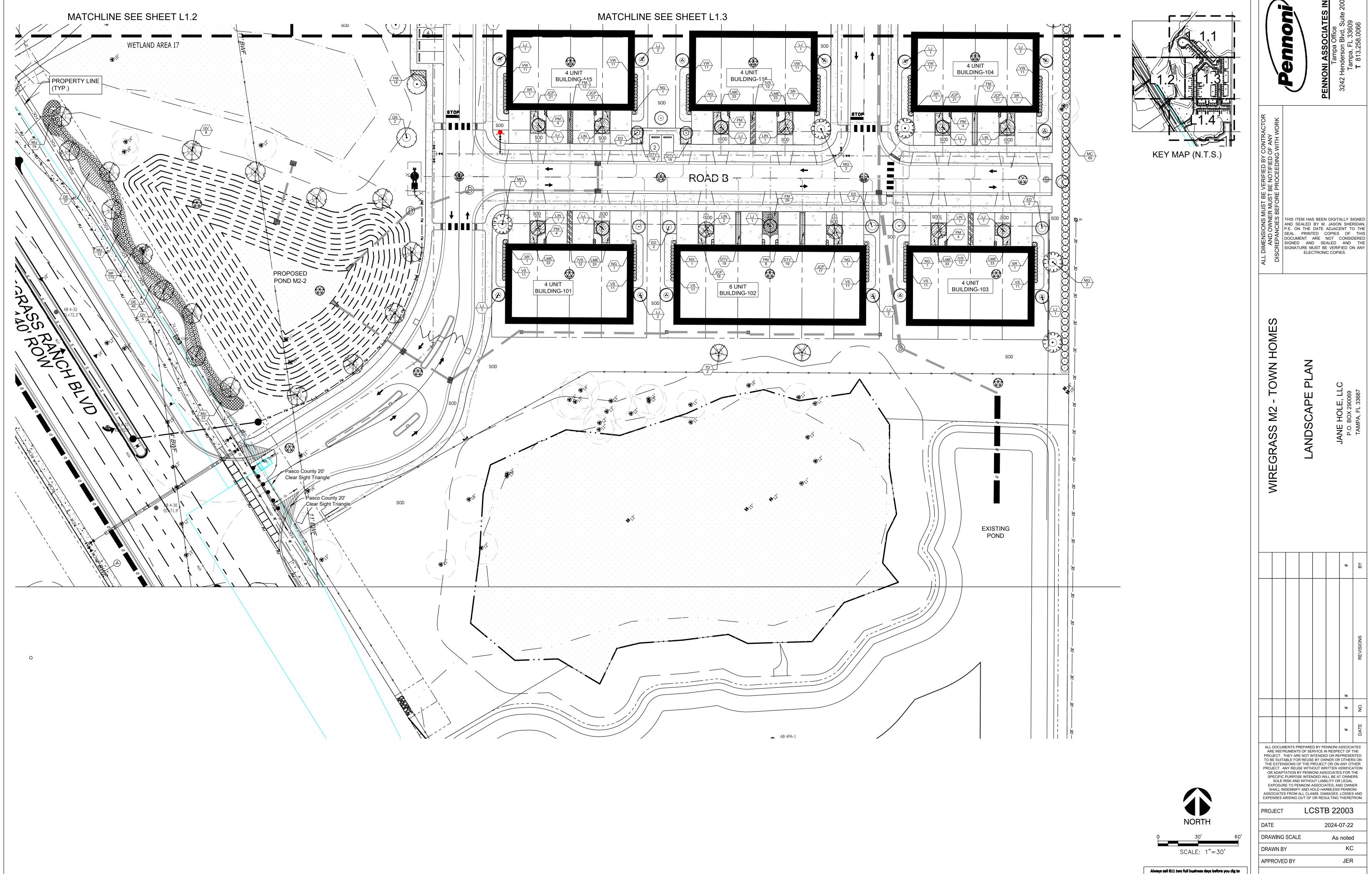
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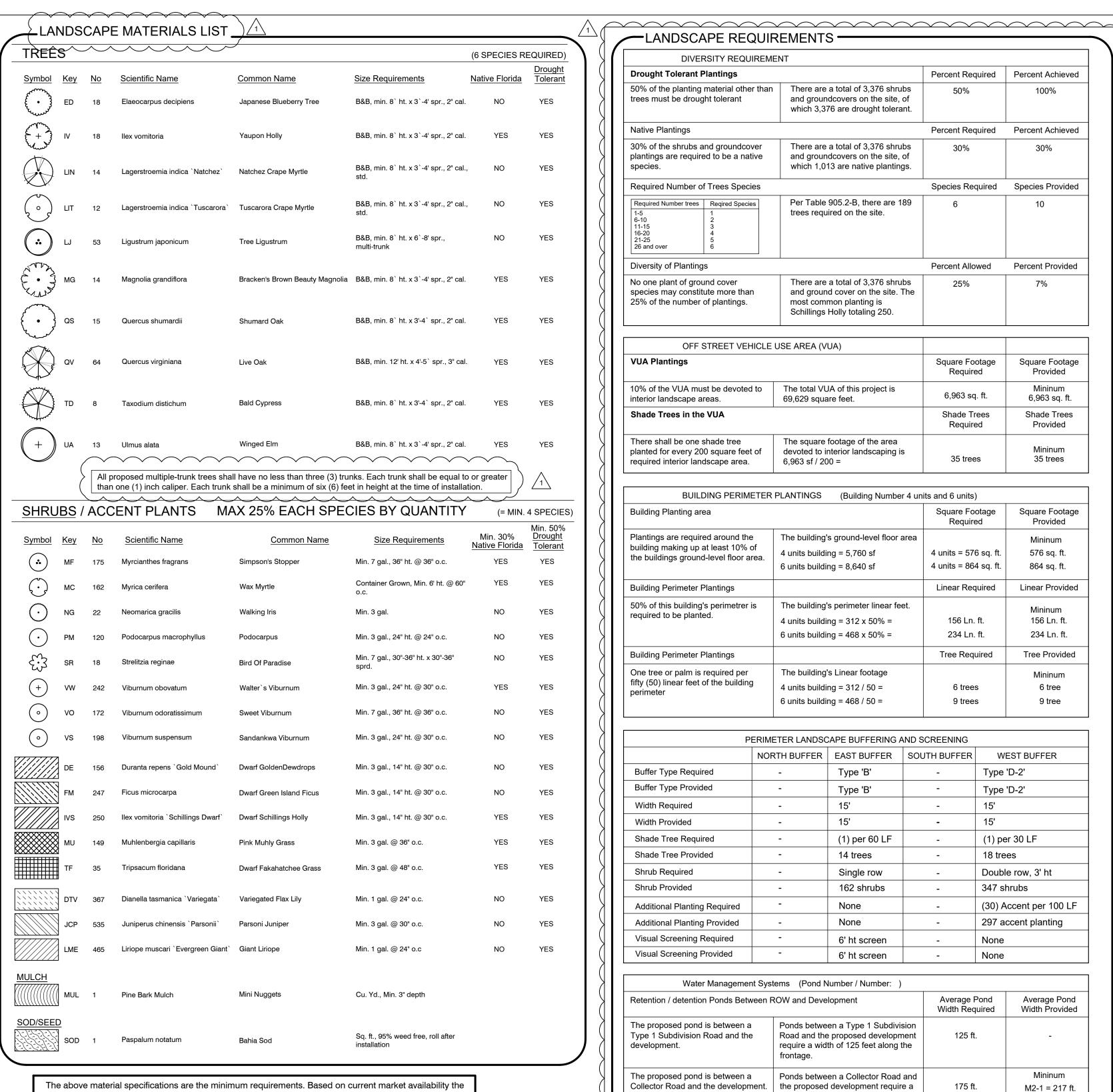
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Always call \$11 two full business days before you dig to have underground utilities located and marked.

Sunshine 811.Com



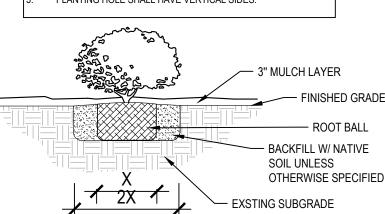
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contractor shall price and install larger container sizes as needed to meet this criteria at installation.

ALL STALKING SHALL BE CONTAINED WITHIN MULCHED RINGS. ADJUST SIZE AS NEEDED.

SPACING VARIES, SEE PLAN/SCHEDULE. PLANT SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE IN THE CONTAINER. PLANTING HOLE SHALL HAVE VERTICAL SIDES.



SHRUB/GROUND COVER PLANTING DETAIL NOT TO SCALE STAKING PLAN NOT TO SCALE CABLE CLAMPS -GALVANIZED AIRCRAFT CABLE. REFER TO TABLE FOR APPROPRIATE CABLE DIAMETER MN. MULCHED TREE RING — SHALL BE 5' DIAMETER.

- (3) FLAGGING TAPE MARKERS - ¾" X 3" ZINC-PLATED TURNBUCKLE  $\sim$  REMOVE TOP  $\frac{1}{3}$  BURLAP, AS APPLICABLE — 3" MULCH LAYER - 3" WATER RETENTION SAUCER BACKFILL W/ NATIVE SOIL UNLESS

ROOT BALL SET 3"-4" ABOVE GRADE - FORESIGHT PRODUCTS DUCKBILI LEARTH ANCHOR, REFER TO TABLE FOR REQUIRED MODEL NUMBER.

Retention / detention Ponds located in a Required Buffer

a proposed buffer, assuming a

and the ROW.

5-feet-wide level planting area is

maintained between the development

Ponds may encroach up to 70% into The Buffer is required to be 15 feet

DIVERSITY REQUIREMENT

OFF STREET VEHICLE USE AREA (VUA)

Percent Required

Percent Required

Species Required

Percent Allowed

25%

Square Footage

6,963 sq. ft.

Shade Trees

Required

35 trees

Required

4 units = 576 sq. ft.

4 units = 864 sq. ft.

Linear Required

156 Ln. ft.

234 Ln. ft.

Tree Required

6 trees

9 trees

-

-

-

-

Width Required

125 ft.

175 ft.

Encroachment

Allowed

There are a total of 3,376 shrubs

and groundcovers on the site, of

which 3,376 are drought tolerant.

There are a total of 3,376 shrubs

and groundcovers on the site, of

which 1,013 are native plantings.

Per Table 905.2-B, there are 189

There are a total of 3,376 shrubs

and ground cover on the site. The

most common planting is

The total VUA of this project is

The square footage of the area

BUILDING PERIMETER PLANTINGS (Building Number 4 units and 6 units)

4 units building = 5,760 sf

6 units building = 8,640 sf

devoted to interior landscaping is

The building's ground-level floor area

The building's perimeter linear feet.

4 units building = 312 x 50% =

6 units building = 468 x 50% =

The building's Linear footage

4 units building = 312 / 50 =

6 units building = 468 / 50 =

PERIMETER LANDSCAPE BUFFERING AND SCREENING

Type 'B'

Type 'B'

14 trees

None

None

Ponds between a Type 1 Subdivision

require a width of 125 feet along the

Ponds between a Collector Road and

width of 175 feet along the frontage

wide. The pond is encroaching 0'

feet into the buffer.

Road and the proposed development

Water Management Systems (Pond Number / Number: )

Single row

162 shrubs

6' ht screen

6' ht screen

(1) per 60 LF

15'

15'

NORTH BUFFER | EAST BUFFER | SOUTH BUFFER |

69,629 square feet

6,963 sf / 200 =

Schillings Holly totaling 250.

trees required on the site.

Percent Achieved

Percent Achieved

30%

Species Provided

Percent Provided

7%

Square Footage

Mininum

6,963 sq. ft.

Shade Trees

Provided

Mininum

35 trees

Square Footage

Provided

Mininum

576 sq. ft.

864 sq. ft.

Linear Provided

Mininum

156 Ln. ft.

234 Ln. ft.

Tree Provided

Mininum

6 tree

WEST BUFFER

Type 'D-2'

Type 'D-2'

(1) per 30 LF

Double row, 3' ht

(30) Accent per 100 LF

Average Pond

Width Provided

Mininum

M2-1 = 217 ft.

M2-2 = 210 ft.

Encroachment

Proposed

297 accent planting

18 trees

347 shrubs

None

None

15'

15'

TYPICAL TREE PLANTING AT GRADE NOT TO SCALE THE DUCKBILL ANCHORING SYSTEM IS DESIGNED TO BE USED WITH MANUFACTURER-SUPPLIED COMPONENTS. INSTALL ANCHORS AS PER MANUFACTURERS SPECIFICATIONS.

DUCKBILL EARTH ANCHOR TABLE						
TREE CALIPER	MODEL NUMBER	RATED CAPACITY	MINIMUM DEPTH OF INSTALLATION			
UP TO 3"	40-DTS	300 LBS. EA.	20"			
UP TO 6"	68-DTS	1,100 LBS. EA.	30"			
UP TO 11"	88-DTS	3,000 LBS. EA.	42"			
NOT RATED	138-DTS	5,000 LBS. EA.	60"			
		NOTE: RATED FOR	R WINDS UP TO 50 MF			

NOTE: ALL TREES SHALL BE WATERED THOROUGHLY WITH A HIGH PRESSURE WATER NOZZLE AND PACKED WITH SOIL TO REMOVE EXISTING AIR POCKETS AND TO PREVENT FURTHER TREE

PASCO COUNTY LANDSCAPING NOTES — (Pasco LDC 905.2)

- Maintenance Responsibility. The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. (LDC
- Clear-Sight Triangle. Where a driveway/accessway intersects a road right-of-way or where two (2) road rights-of-way intersect, vegetation, structures, and non-vegetative visual screens shall not be located so as to interfere with the clearsight triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is more restrictive. (LDC 905.2-C.1.b)
- Sustainable Practices. Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements. Plant groupings based on water requirements are drought tolerant, natural, and oasis. (LDC 905.2-C.1.c)
- Diversity. A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirements of this subsection shall be native Floridian species, suitable for growth in the county. (LDC 905.2-C.1.d)
- Diversity. No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area. (LDC
- Quality. All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)
- Avoid Easements. Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process. (LDC
- Mulch shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required for annual beds. Stone or gravel may be used to cover a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.d)
- Quality Practices. All landscaping shall be installed in accordance with standards and practices of the Florida Nursery, Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture. (LDC 905.2-C.3.e)
- 10. All portions of a lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days. (LDC 905.2-C.3.g)
- 1. All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code. (LDC 905.2-E.2)
- 12. Ongoing maintenance to prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)
- 13. Ground cover plants shall be spaced so as to present a finished appearance and to obtain a reasonably complete coverage within one (1) year after planting. Nonliving ground cover, such as mulch, gravel, rocks, etc., shall be used in conjunction with living plants so as to cover exposed soil and suppress fugitive dust.
- > 14. Landscaping shall be planted in such a manner as not to impede the access for maintenance and storm-water run-off flow to or in a ditch, swale, or pond.
- 15. All the trees overhang to the public Right Of Way/or trees within the ROW shall be trimmed and pruned to maintain a minimum vertical clear height of 8' from the finished ground surface of the sidewalk to the bottom of Canopy/ 16.6' clear height above the

— GENERAL LANDSCAPE NOTES: —

- All landscape material shall be fla. no. 1 grade or better, as specified in grades and standards for nursery plants, parts I and II, by Division of Plant Industry, Florida Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurseryman Standards for Nursery Stock. Landscape material shall be planted according to sound nursery practices.
- Shrubs grown in appropriately sized containers shall have the ability to be a minimum of twenty-four (24) inches in height within one (1) year of planting (unless otherwise required) and shall maintain that height. Shrubs shall be a minimum of eighteen (18) inches in height at the time of installation. Shrubs shall be spaced a distance appropriate to the species to create a continuous appearance within one (1) year of planting, but at no more than thirty-six (36) inches on center at the time
- All required shade trees shall be a minimum of 6' overall height, with a min. 2" trunk caliper at time of planting. Adjust tree locations as necessary to avoid utilities, obstructions, etc. see materials list for exact specifications.
- Dwarf variety of shrubs grown in the appropriate-sized containers shall be a minimum of ten (10) inches in height at the time of installation. Dwarf shrubs shall be placed a distance appropriate to the species to create a continuous appearance within one (1) year of planting, but at no more than thirty-six (36) inches on center at the time of installation.

All required trees shall be located a minimum of 5 feet from impervious surfaces, all shrubs 2 feet.

The contractor shall sod all disturbed areas. All planting shall be mulched to a 3"

materials such as rocks, branches, building materials or unacceptable soils prior to

- An automatic underground irrigation system shall be installed to maintain the
- landscape area in a healthy manner and provide 100% coverage.
- minimum depth. The contractor shall be responsible for the clean up of premises and removal of all
- discarded and surplus materials, and rubbish. Verify the locations of existing trees, lawns, and shrubs. Remove extraneous
- Contractor shall become acquainted with the related paving, site grading, and all utilities (including water, sewer, and electrical supply) to preclude any

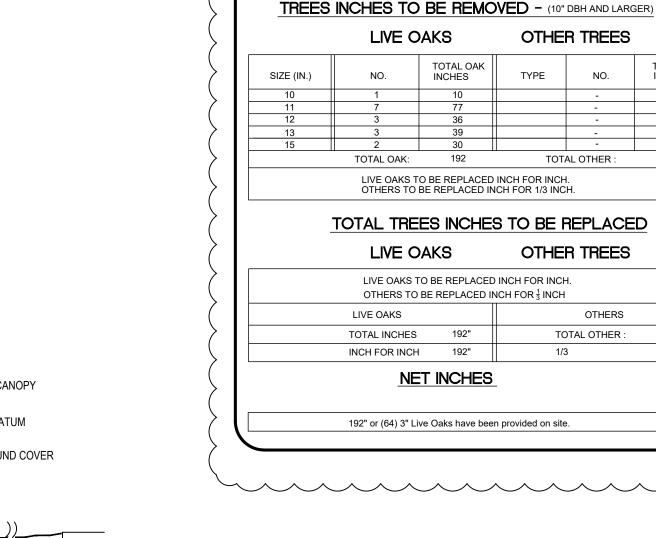
planting sod, trees, and shrubs, where encountered.

misunderstandings and ensure a trouble free installation.

- 10. The exact location of all existing structures, underground utilities, and pipes may not be as indicated on drawings; the contractor shall determine the location of these items and shall conduct his work in a manner to prevent interruption or damage to existing systems which must remain operational. The contractor shall protect existing structures and utility services which must remain operational and shall be responsible for their replacement if damaged by him.
- 11. Contractor shall call Sunshine State One-Call at least 48 hours prior to digging. (1-800-432-4770).
- 12. Quantities on plan take precedence over materials list. Quantities on materials list are provided as a courtesy only.
- 13. All landscape material shall be maintained in perpetuity to provided all required FDOT and local site clearance distances for vehicles.
- 14. Install a minimum 5' diameter mulch ring for all new trees. Mulch ring diameter shall be enlarged as needed to contain tree staking within mulched area.
- 15. A Tree Permit will be required prior to any construction, native vegetative removal within the dripline of a tree and / or tree removal.
- 16. A landscape warranty shall be provided for all installed landscaping which at a minimum shall include the following: (1) one year for trees, (90) ninety days for all shrubs, groundcover and sod.
- Soil testing shall be provided by the landscape contractor to confirm ph and soil nutrient composition throughout the project. Base on these tests, contractor shall determine if any soil amendments or additional fertilization will be needed for successful plant of sod establishment.

TREE REMOVAL & REPLACEMENT——

& MITIGATION The tree inventory of identified trees by type and size (not including palm and pine tree, except for longles



 $\sim$ BOTTOM OF CANOPY ✓ SIGHT LINE DATUM -3.5' ABOVE RESPECTIVE TOP OF GROUND COVER **PAVEMENTS** 

THE INTENT OF THIS STANDARD IS TO PROVIDE A WINDOW WITH VERTICAL LIMITS OF NOT LESS THAN 5' ABOVE AND 1'-6" BELOW THE SIGHT LINE DATUM, AND HORIZONTAL LIMITS DEFINED BY THE LIMITS OF CLEAR SIGHT.

3 \ PICTORIAL WINDOW DETAIL  $(L^{1.5})$  (FDOT index 546 detail)

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY M. JASON SHERIDAN. P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

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LCSTB 22003 PROJECT DATE 2024-07-22 DRAWING SCALE As noted KC DRAWN BY JER APPROVED BY