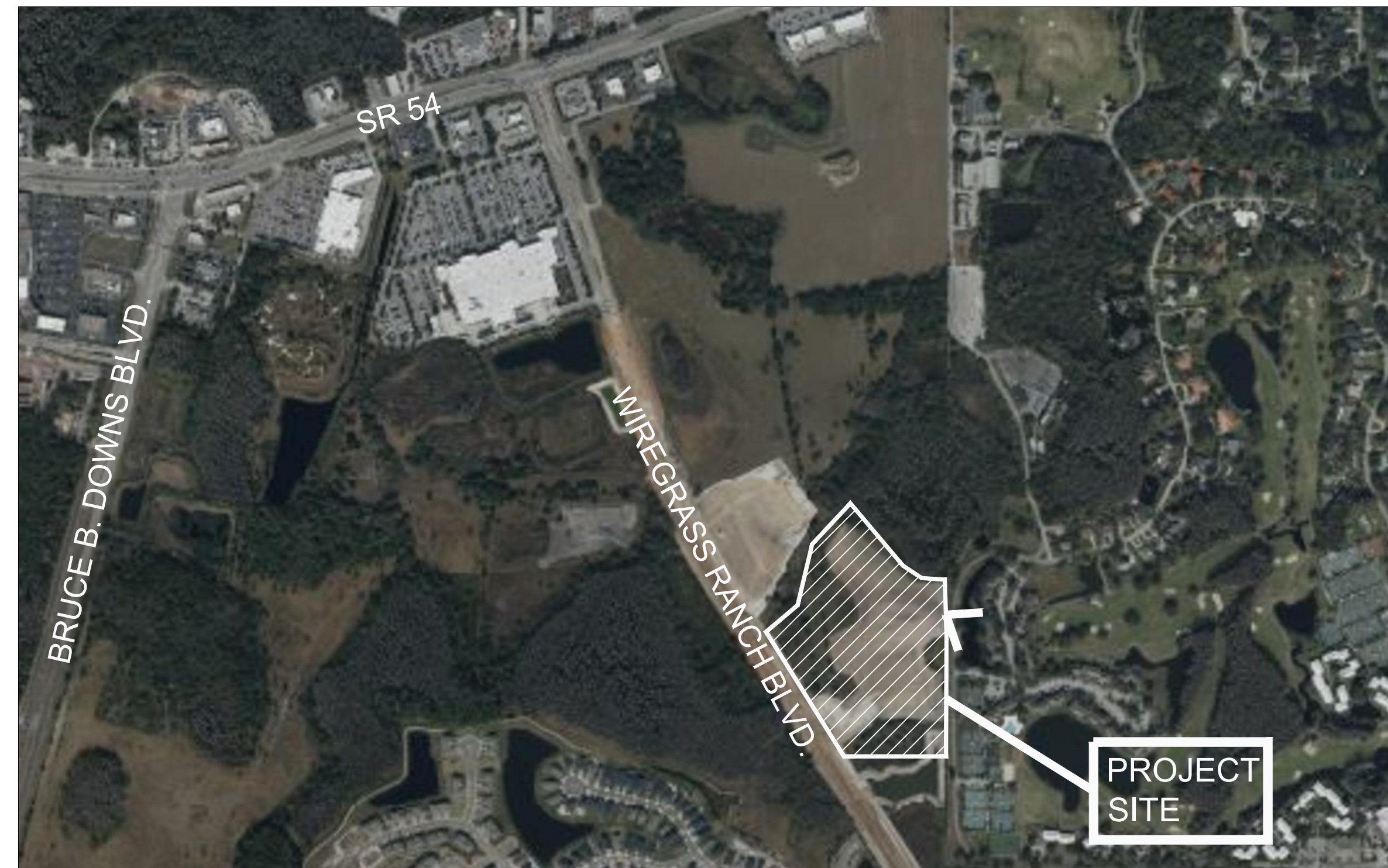


# SECTIONS 7 & 18, TOWNSHIP 26 SOUTH, RANGE 20 EAST PRELIMINARY DEVELOPMENT/CONSTRUCTION/STORMWATER MANAGEMENT PLAN AND REPORT WIREGRASS RANCH PARCEL M2 TOWNHOMES

## WESLEY CHAPEL PASCO COUNTY, FLORIDA



VICINITY MAP



**PROPERTY LOCATION:** 28898 STATE ROAD 54, WESLEY CHAPEL, FL 33543  
**PARCEL NO.:** 07-26-20-0000-00200-0050  
**EXISTING FOLIO:** PORTION OF 18-26-20-0000-00100-0050, 07 26 20 0000 00200 0050, AND 18 26 20 0000 00100 0051

**PROPERTY SITE AREA:** ±103.23 ACRES  
**TOTAL PROJECT AREA:** ±14.47 ACRES  
**EXISTING LAND USE:** VACANT  
**PROPOSED LAND USE:** MULTI-FAMILY RESIDENTIAL

**PROPERTY ZONING:** MPUD (MASTER PLANNED UNIT DEVELOPMENT) - WIREGRASS RANCH  
 MPUD RZ 7073 - APPROVED 02/25/2021  
 PD (PLANNED DEVELOPMENT)

**FUTURE LAND USE:** 100 TOWNHOMES  
**TOTAL NUMBER OF UNITS:** ZERO (0)  
**NO. OF EXISTING UNITS:** TOWNHOMES  
**UNITS PROPOSED:** 45' (PER CODE)  
**MAX BUILDING HEIGHT:** FLOOD ZONE: THE PARCEL SHOWN HEREON APPEARS TO FALL WITHIN FLOOD ZONE "A AND X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP 12101C, COMMUNITY PANEL NUMBER 0427 F, MAP REVISED 09-26-2014.

**BUILDING SETBACKS:** FRONT: 25'  
 SIDE: 0'  
 REAR: 5'

**SITE AREA DATA (EXISTING):** 6,30,603.05 SF = 14.47 AC

PERVIOUS AREA	6,25,829.66 SF	(±14.36 AC)	98.77%
IMPERVIOUS AREA	7,773.39 SF	(±0.11 AC)	1.23%
POND AREA	0 SF	(±0.00 AC)	0%
<b>TOTAL AREA =</b>	<b>6,30,603.05 SF</b>	<b>(±14.47 AC)</b>	<b>100.0 %</b>

**SITE AREA DATA (PROPOSED):** 6,30,603.05 SF = 14.47 AC

PERVIOUS AREA	2,22,124.34 SF	(±5.10 AC)	35.22%
IMPERVIOUS AREA	3,22,808.35 SF	(±7.41 AC)	51.19%
POND AREA	85,670.36 SF	(±1.97 AC)	13.59%
<b>TOTAL AREA =</b>	<b>6,30,603.05 SF</b>	<b>(±14.47 AC)</b>	<b>100.0 %</b>

**UTILITY PROVIDERS:**

WATER AND SEWER	PHONE / DATA / CABLE	PHONE / DATA / CABLE
PASCO COUNTY UTILITIES 7530 LITTLE ROAD, NEW PORT RICHEY, FL 34654 813-235-6189 ED SIEDZIK	FRONTIER COMMUNICATIONS 3742 W WALNUT STREET TAMPA, FL 33607 (813) 875-1014 TONI CANNON	MCI 7000 WESTON PARKWAY CARY, NC 27513-2119
POWER	PHONE / DATA / CABLE	PHONE / DATA / CABLE
WITHLACOCOCHEE RIVER ELECTRIC COOPERATIVE, INC. 30461 COMMERCE DRIVE SAN ANTONIO, FL 33576 352-588-5115 MICHAEL GULVIN	CHARTER COMMUNICATIONS 700 CARILLON PARKWAY, STE. 6 ST. PETERSBURG, FL 33716 941-345-1348 JEREMY CORNETTE	ZAYO GROUP 130 N MAIN STREET BUTTE, MT 59701 406-496-6510 HENRY KLOBUCAR
FDOT	GAS SERVICE	
6021 ORIENT ROAD TAMPA, FL 33610 813-620-3938 EXT. 320 KEVIN McCAFFREY	TECO PEOPLES GAS 8416 PALM RIVER ROAD TAMPA, FL 33619 813-275-3783 JOAN DOMNING	
FIRE SERVICE	TRAFFIC OPERATIONS	
PASCO COUNTY 4111 LAND O LAKES BLVD SUITE 208 LAND O LAKES, FL 34639 813-929-2750	PASCO CO TRAFFIC OPERATIONS 7536 STATE STREET ROOM 124 NEW PORT RICHEY, FL 34654 727-847-8139 VENKAT VATTIKUTI	

**PROJECT TEAM:**

<b>OWNER/DEVELOPER:</b> JHP REAL ESTATE PARTNERSHIP & FLYCATCHER RMPERPRISES LLC LTD 3217 TURMAN LOOP, SUITE 102 WESLEY CHAPEL, FL 33544 SCOTT SHERIDAN SCOTT@THEWIREGRASSRANCH.COM	<b>LANDSCAPE ARCHITECT:</b> PENNONI ASSOCIATES, INC 3242 HENDERSON BLVD, #200 TAMPA, FL 33609 813-258-0066 JASON RINARD JRINARD@PENNONI.COM
<b>CIVIL ENGINEER:</b> PENNONI ASSOCIATES, INC 3242 HENDERSON BLVD, #200 TAMPA, FL 33609 813-258-0066 JASON SHERIDAN, P.E. JSHERIDAN@PENNONI.COM	<b>SURVEYOR:</b> FLORIDA DESIGN CONSULTANTS, INC 20525 AMBERFIELD DRIVE, SUITE 201, LAND O LAKES, FL 34638 (800) 532-1047 JARED T. PATENAUDE JPATENAUDE@FLDESIGN.COM

**LEGAL DESCRIPTION:**

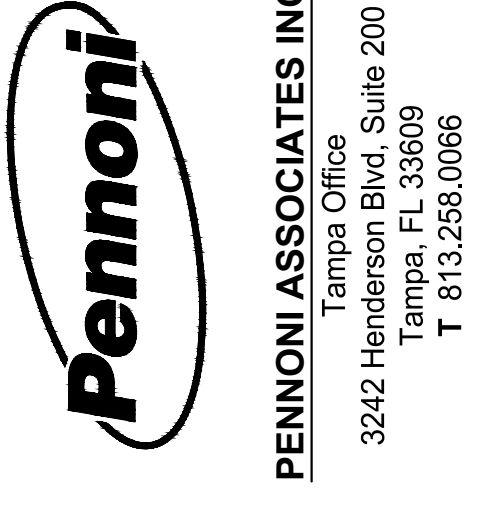
PARCEL-07-26-20-0000-00200-0050  
 EAST 160 ACRES OF THAT POR OF SEC LYING SOUTH OF SR NO 54 EXC FOLL DESC PROP: COM AT NE COR OF SEC TH ALG E BDY OF SEC S00DG2945°W 1530.63 FT TO SLY R/W LINE OF SR 54 TH SWLY ALG SAID RW 838.31 FT ALG ARC CV L RAD S769°58' FT CHD S740EG 54°16'W 637.98 FT TH CONT ALG SAID RW S71DEG41°13'W 68 FT TH S00DG2944°W 264.57 FT TH N80DEG30°16'W 189.57 FT TH N00DEG2944°E 414.40 FT TO SLY R/W OF SR54 TH N71DEG41°13'E 244.27 FT ALG ARC OF CV L RAD 5679.58 FT CHD S74DG54°16'W 637.98 FT TH S71DG 41°13'W 979.45 FT FOR POB TH S00DG30°04'W 397.39 FT TH N88DG8°57'W 286.12 FT TH N0DG2944°E 74.78 FT TH N71DG41°13'E 68 FT TH N05DG39°25'W 211.89 FT TH N71DG41°13'E 258.21 FT TO POB & LESS PCLS IN 5673/282 & EXC PCL IN 7644/404 EXC THAT PORTION LYING WITHIN PARCEL DESC IN OR 9064 PG 210 & LESS PCL DESC IN OR 9863 PG 3902 SUBJECT TO NON-EXCLUSIVE INGRESS & ACCESS EASEMENT AGREEMENT PER OR 9070 PG 2902 & LESS POR DESC IN OR 10737 PG 1555 & LESS POR DESC IN OR 10940 PG 0538.  
 PARCEL-18-26-20-0000-00100-0050  
 THAT POR OF FOLLOWING DESC PCL LYING NORTH OF PCL DESC IN OR 10900 PG 832:BEG AT NE COR OF SAID SEC 18 TH ALG EAST LINE OF SAID SEC 18 S00DEG 17°04'W 1322.21 FT TH S89DEG 54°52'W 122.50 FT TO EAST R/W LINE OF PROPOSED WIREGRASS RANCH BLVD TH N32DEG 00°57'W 1560.30 FT TO NORTH LINE OF SAID SEC 18 TH S89DEG 58°10' E 956.27 FT TO POB AKA WIREGRASS RANCH PARCEL M2

**MUMS CERTIFICATION:**

THE PLANS HAVE BEEN PREPARED IN ACCORDANCE WITH THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE OF STREETS AND HIGHWAYS, STATE OF FLORIDA, IN EFFECT AT THE TIME OF PASCO COUNTY APPROVAL AND ARE IN COMPLIANCE WITH THE STANDARDS THEREIN.

Sheet List Table	
Sheet Number	Sheet Title
CS0001	COVER SHEET
CS0002	GENERAL NOTES
CS0201	EXISTING CONDITIONS PLAN
CS0501	OVERALL DEMOLITION PLAN
CS1000	PRELIMINARY SITE PLAN
CS1001	ZONING PLAN
CS1002	SITE PLAN
CS1003	SITE PLAN
CS1005	STRIPPING AND SIGNAGE PLAN
CS1004	MODEL CENTER PARKING DETAIL
CS1501	OVERALL PAVING, GRADING AND DRAINAGE PLAN
CS1502	PAVING, GRADING AND DRAINAGE PLAN
CS1503	PAVING, GRADING AND DRAINAGE PLAN
CS1504	PAVING, GRADING AND DRAINAGE PLAN-CROSS-SECTION
CS1505	PAVING, GRADING AND DRAINAGE PLAN & PROFILE - ROAD A
CS1506	PAVING, GRADING AND DRAINAGE PLAN & PROFILE - ROAD A & B
CS1507	PAVING, GRADING AND DRAINAGE PLAN & PROFILE - ROAD C
CS1508	PAVING, GRADING AND DRAINAGE PLAN & PROFILE - ROAD D
CS1509	ROAD CROSS-SECTIONS
CS1510	FLOOD PLAN CALCULATIONS
CS1701	OVERALL UTILITY PLAN
CS1702	UTILITY PLAN & PROFILE - ROAD A
CS1703	UTILITY PLAN & PROFILE - ROAD A & B
CS1704	UTILITY PLAN & PROFILE - ROAD C
CS1705	UTILITY PLAN & PROFILE - ROAD D
CS8001	CONSTRUCTION DETAILS
CS8002	CONSTRUCTION DETAILS
CS8003	CONSTRUCTION DETAILS
CS8004	CONSTRUCTION DETAILS
CS8005	CONSTRUCTION DETAILS
CS8006	CONSTRUCTION DETAILS
CS8007	CONSTRUCTION DETAILS
CS8008	CONSTRUCTION DETAILS
CS9501	STORMWATER POLLUTION AND PREVENTION PLAN
L.1.1	LANDSCAPE PLAN
L.1.2	LANDSCAPE PLAN
L.1.3	LANDSCAPE PLAN
L.1.4	LANDSCAPE PLAN
L.1.5	LANDSCAPE PLAN

PERMIT TYPE	PERMIT NO.	STATUS	APPROVAL DATE	EXPIRATION DATE
PASCO COUNTY	RESUB-2024-00048	IN REVIEW		
SWFWMD	893209	IN REVIEW		



M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

**Professional Engineer Seal:**  
 MICHAEL JASON SHERIDAN  
 LICENSE No 88424  
 STATE OF FLORIDA  
 PROFESSIONAL ENGINEER

04/03/24

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WIREGRASS M2 - TOWN HOMES  
COVER SHEET

JANE HOLE, LLC  
 P.O. BOX 290689  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

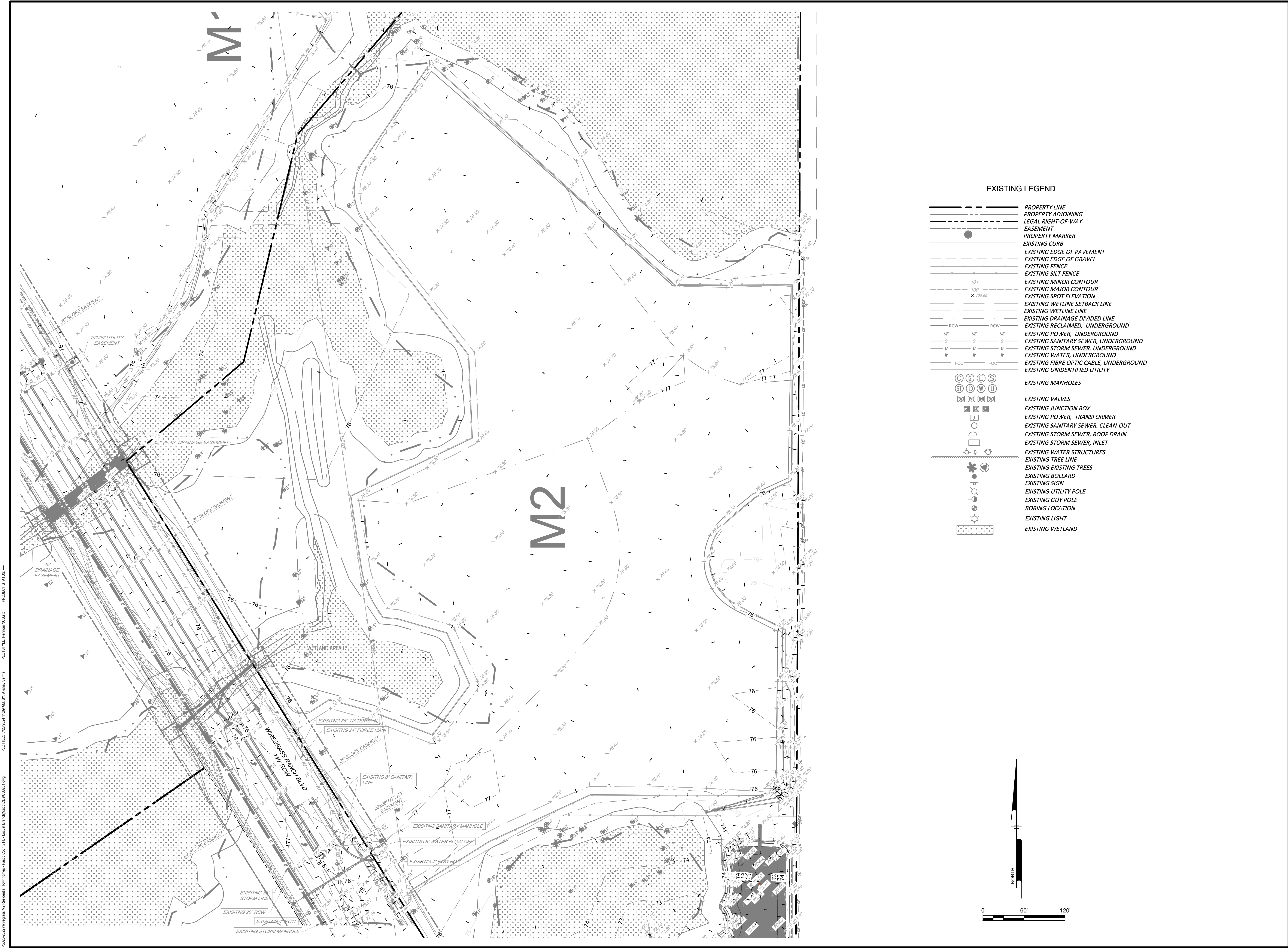
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PROJECT: LCSTB 22003  
 DATE: 2024-07-22  
 DRAWING SCALE: ---  
 DRAWN BY: AV  
 APPROVED BY: JS

CS0001

P:\02\_2024\0240722\024 LCSTB 22003\0240722 LCSTB 22003.dwg  
 PLOTTED: 7/22/2024 11:08 AM BY: Ashley Verna  
 PLOTTED: 7/22/2024 11:08 AM BY: Ashley Verna  
 PROJECT STATUS: ---  
 PLOTTED: 7/22/2024 11:08 AM BY: Ashley Verna





**EXISTING LEGEND**

	PROPERTY LINE
	PROPERTY ADJOINING
	LEGAL RIGHT-OF-WAY
	EASEMENT
	PROPERTY MARKER
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING EDGE OF GRAVEL
	EXISTING FENCE
	EXISTING SILT FENCE
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING SPOT ELEVATION
	EXISTING WETLINE SETBACK LINE
	EXISTING WETLINE LINE
	EXISTING DRAINAGE DIVIDED LINE
	EXISTING RECLAIMED, UNDERGROUND
	EXISTING POWER, UNDERGROUND
	EXISTING SANITARY SEWER, UNDERGROUND
	EXISTING STORM SEWER, UNDERGROUND
	EXISTING WATER, UNDERGROUND
	EXISTING FIBRE OPTIC CABLE, UNDERGROUND
	EXISTING UNIDENTIFIED UTILITY
	EXISTING MANHOLES
	EXISTING VALVES
	EXISTING JUNCTION BOX
	EXISTING POWER, TRANSFORMER
	EXISTING SANITARY SEWER, CLEAN-OUT
	EXISTING STORM SEWER, ROOF DRAIN
	EXISTING STORM SEWER, INLET
	EXISTING WATER STRUCTURES
	EXISTING TREE LINE
	EXISTING EXISTING TREES
	EXISTING BOLLARD
	EXISTING SIGN
	EXISTING UTILITY POLE
	EXISTING GUY POLE
	BORING LOCATION
	EXISTING LIGHT
	EXISTING WETLAND

M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

**04/03/24**

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WIREGRASS M2 - TOWN HOMES

EXISTING CONDITIONS PLAN

JANE HOLE, LLC  
 P.O. BOX 290669  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

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PROJECT: **LCSTB 22003**

DATE: 2024-07-16

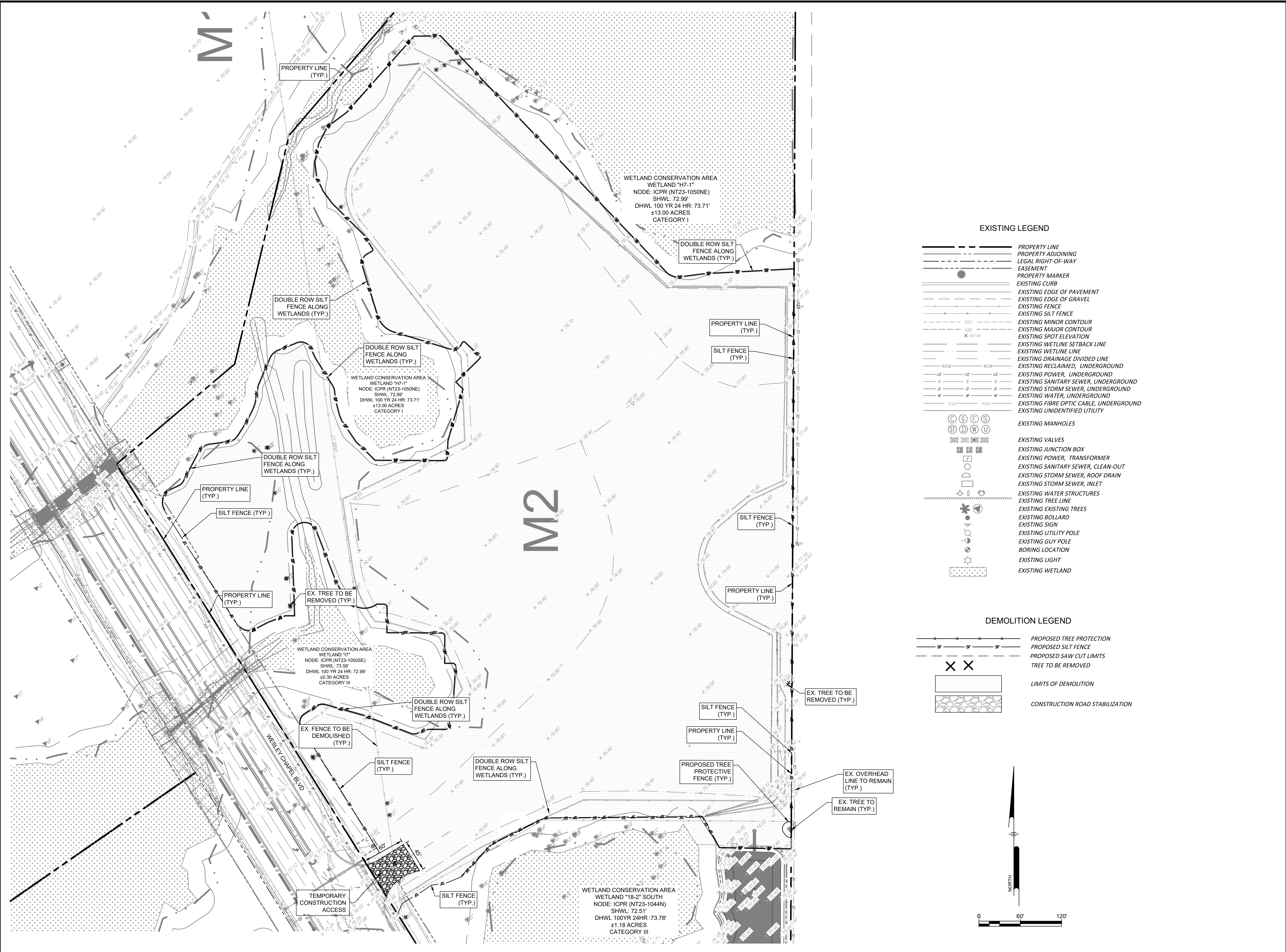
DRAWING SCALE: 1"=60'

DRAWN BY: AV

APPROVED BY: JS

CS0201

P: 02/2023 (Mingos) M2 Residential Townhomes - Pennoni Associates, LLC  
 PLOTTED: 7/23/2024 11:08 AM BY: Ashley Verma  
 PROJECT STATUS: PLOTTED: Pennoni K25-48

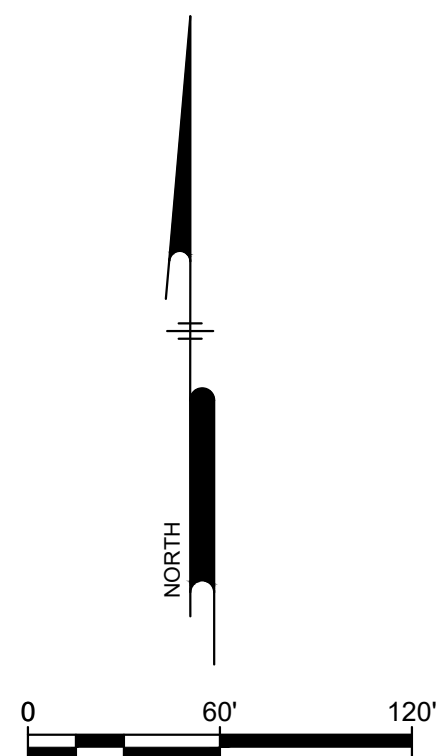


**EXISTING LEGEND**

- PROPERTY LINE
- PROPERTY ADJOINING
- LEGAL RIGHT-OF-WAY
- EASEMENT
- PROPERTY MARKER
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING EDGE OF GRAVEL
- EXISTING FENCE
- EXISTING SILT FENCE
- EXISTING MINOR CONTOUR 101
- EXISTING MAJOR CONTOUR 100
- EXISTING SPOT ELEVATION X 100.55
- EXISTING WETLINE SETBACK LINE
- EXISTING WETLINE LINE
- EXISTING DRAINAGE DIVIDED LINE
- EXISTING RECLAIMED, UNDERGROUND
- EXISTING POWER, UNDERGROUND UE
- EXISTING SANITARY SEWER, UNDERGROUND S
- EXISTING STORM SEWER, UNDERGROUND D
- EXISTING WATER, UNDERGROUND W
- EXISTING FIBRE OPTIC CABLE, UNDERGROUND FOC
- EXISTING UNIDENTIFIED UTILITY
- EXISTING MANHOLES
- EXISTING VALVES
- EXISTING JUNCTION BOX
- EXISTING POWER, TRANSFORMER
- EXISTING SANITARY SEWER, CLEAN-OUT
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- EXISTING BOLLARD
- EXISTING SIGN
- EXISTING UTILITY POLE
- EXISTING GUY POLE
- BORING LOCATION
- EXISTING LIGHT
- EXISTING WETLAND

**DEMOLITION LEGEND**

- PROPOSED TREE PROTECTION
- PROPOSED SILT FENCE
- PROPOSED SAW CUT LIMITS
- TREE TO BE REMOVED
- LIMITS OF DEMOLITION
- CONSTRUCTION ROAD STABILIZATION



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

M. JASON SHERIDAN, P.E.  
FL. P.E. LIC. NO. 88424

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WIREGRASS M2 - TOWN HOMES  
OVERALL DEMOLITION PLAN

JANE HOLE, LLC  
P.O. BOX 290669  
TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

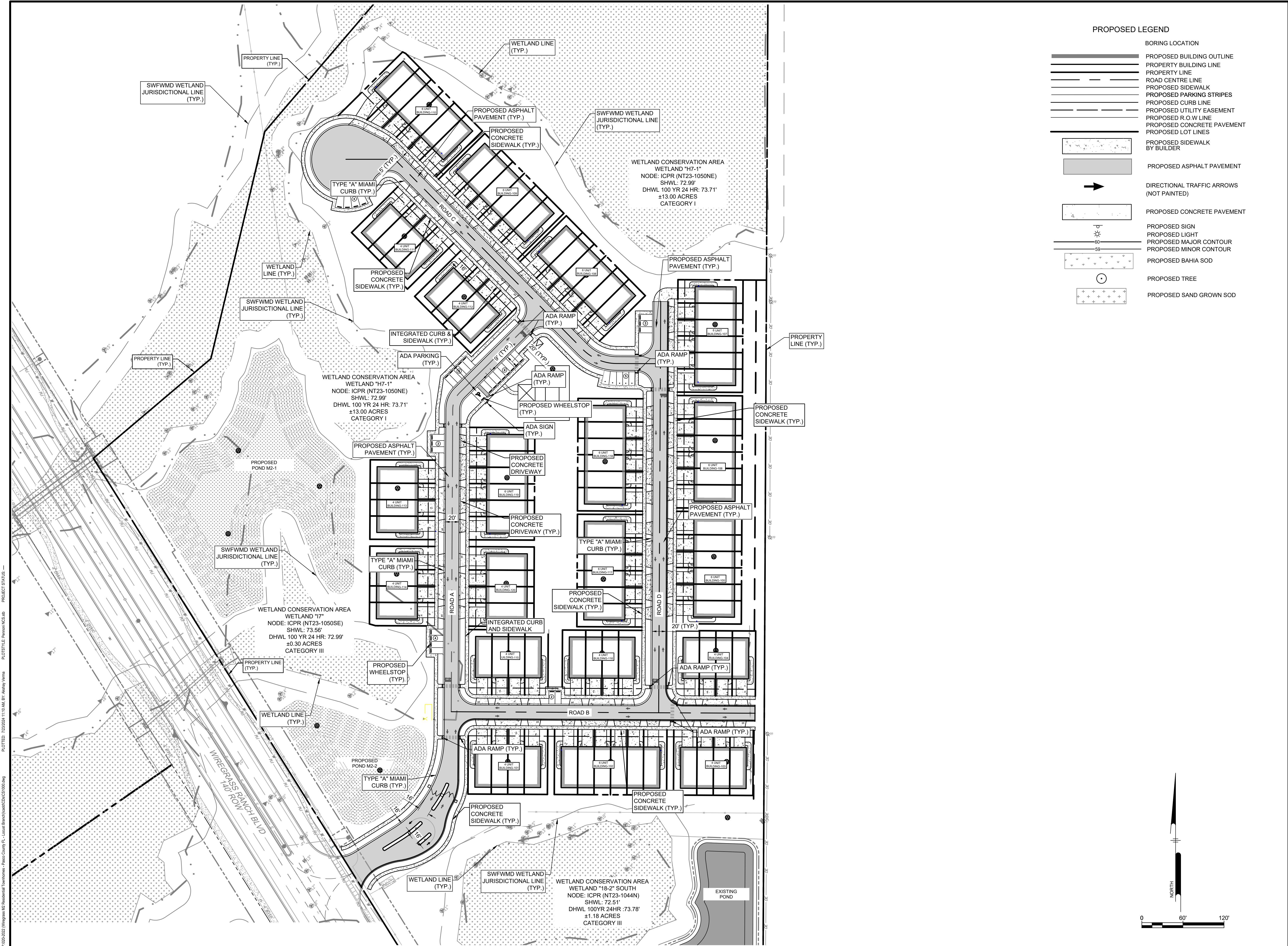
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PROJECT	LCSTB 22003
DATE	2024-07-09
DRAWING SCALE	1"=60'
DRAWN BY	AV
APPROVED BY	JS

CS0501

**PENNONI ASSOCIATES INC.**  
Tampa Office  
3242 Henderson Blvd., Suite 200  
Tampa, FL 33609  
T 813.255.0066

P: 0205 2023 (M) 813.255.0066 F: 813.255.0066  
PROJECT STATUS: ACTIVE  
PROJECT: WIREGRASS M2 - TOWN HOMES  
DRAWING: OVERALL DEMOLITION PLAN  
DATE: 04/03/24  
DRAWN BY: AV  
CHECKED BY: JS  
SCALE: 1"=60'  
PROJECT LOCATION: 11800 N. WIREGRASS BLVD., TAMPA, FL 33613



PROPOSED LEGEND

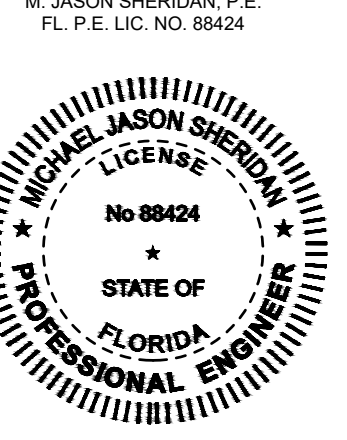
- BORING LOCATION
- PROPOSED BUILDING OUTLINE
- PROPERTY BUILDING LINE
- PROPERTY LINE
- ROAD CENTRE LINE
- PROPOSED SIDEWALK
- PROPOSED PARKING STRIPES
- PROPOSED CURB LINE
- PROPOSED UTILITY EASEMENT
- PROPOSED R.O.W LINE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED LOT LINES
- PROPOSED SIDEWALK BY BUILDER
- PROPOSED ASPHALT PAVEMENT
- DIRECTIONAL TRAFFIC ARROWS (NOT PAINTED)
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED BAHIA SOD
- PROPOSED TREE
- PROPOSED SAND GROWN SOD

WIREGRASS M2 - TOWN HOMES

PRELIMINARY SITE PLAN

JANE HOLE, LLC  
P.O. BOX 290669  
TAMPA, FL 33687

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**Pennoni**  
PENNONI ASSOCIATES INC.  
Tampa Office  
3242 Henderson Blvd., Suite 200  
Tampa, FL 33609  
T 813.255.0066

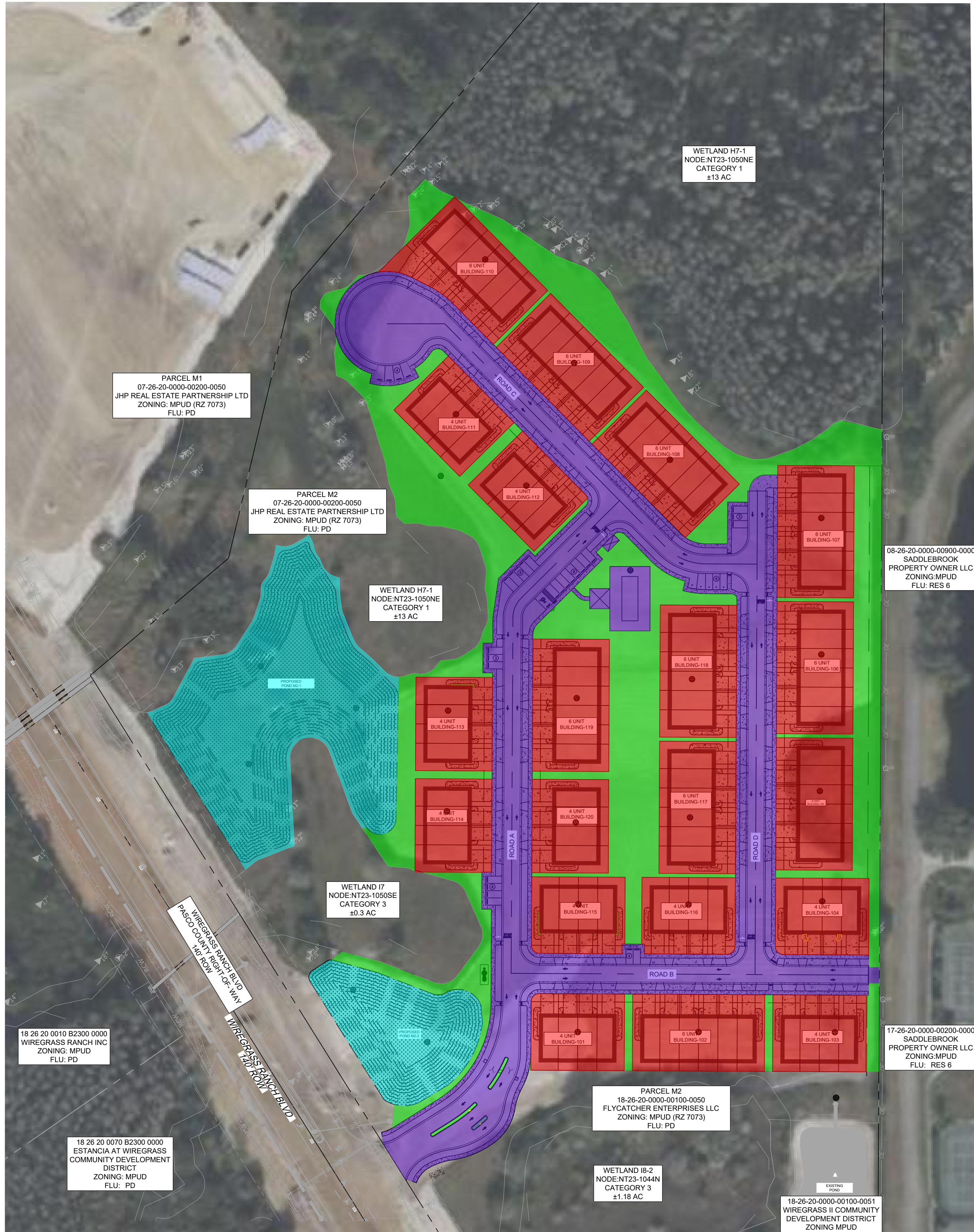
NO.	DATE	REVISIONS	BY

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PROJECT LCSTB 22003  
DATE 2024-07-17  
DRAWING SCALE 1"=60'  
DRAWN BY AV  
APPROVED BY JS

**CS1000**

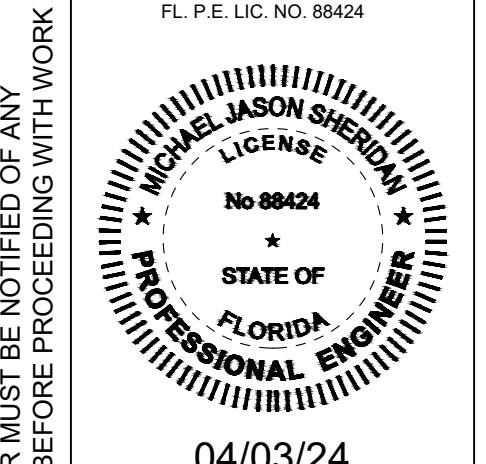
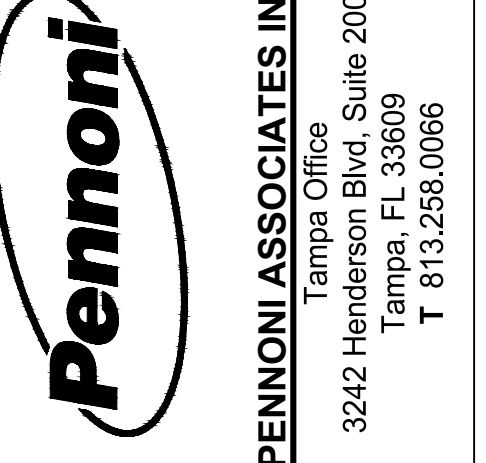
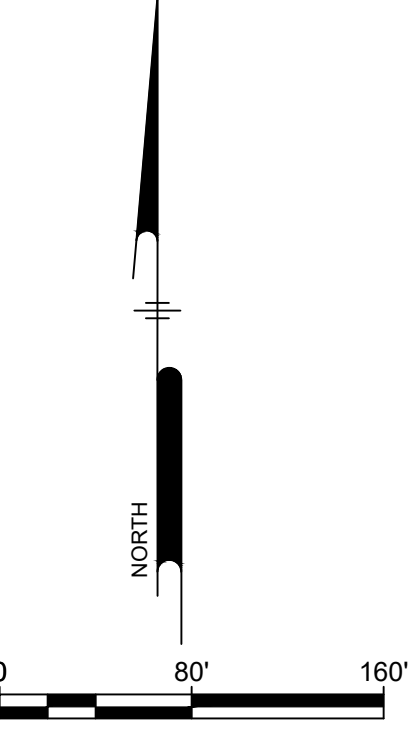
P:020,2023 (M)gmpm,43 (R)revised,1 (T)ownhomes - Pennoni Associates, LLC - Project: Wiregrass M2 - Town Homes - 3242 Henderson Blvd., Suite 200, Tampa, FL 33609 - 813.255.0066



TRACT	USE	AREA	MAINTENANCE RESPONSIBILITY
TRACT 1	COMMON AREA	±2.82 AC	POA
TOWNHOMES	MPUD Uses	±6.12 AC	Property Owner
TRACT 2	Access/ROW	±3.43 AC	POA
TRACT 3	Drainage/ Utilities	±2.60 AC	POA

\* ACREAGE SHOWN ON THIS PRELIMINARY DEVELOPMENT PLAN ARE FOR INFORMATIONAL PURPOSES ONLY AND MAY BE MODIFIED WITH CONSTRUCTION PLAN PERMITTING AND SUBJECT TO PLATTING.

REQUIRED AND PROVIDED PARKING CALCULATIONS:				
REQUIRED PARKING				
HOUSING PRODUCT	UNITS	SPACES PER UNIT	TOTAL	
RESIDENT REQ				
1,2,3 BEDROOM	100	2	200	
TOTAL RESIDENT REQ			200	
TOTAL VISITOR REQ	100	0.25	25	
TOTAL SPACES REQ			225	
PROVIDED PARKING				
HOUSING PRODUCT	UNITS	CARS IN DRIVEWAY	CARS IN GARAGE	TOTAL PARKING PROVIDED
1,2,3 BEDROOM	100	2	2	400
ONSTREET PARKING PROVIDED	100			35
TOTAL SPACES PROVIDED				435



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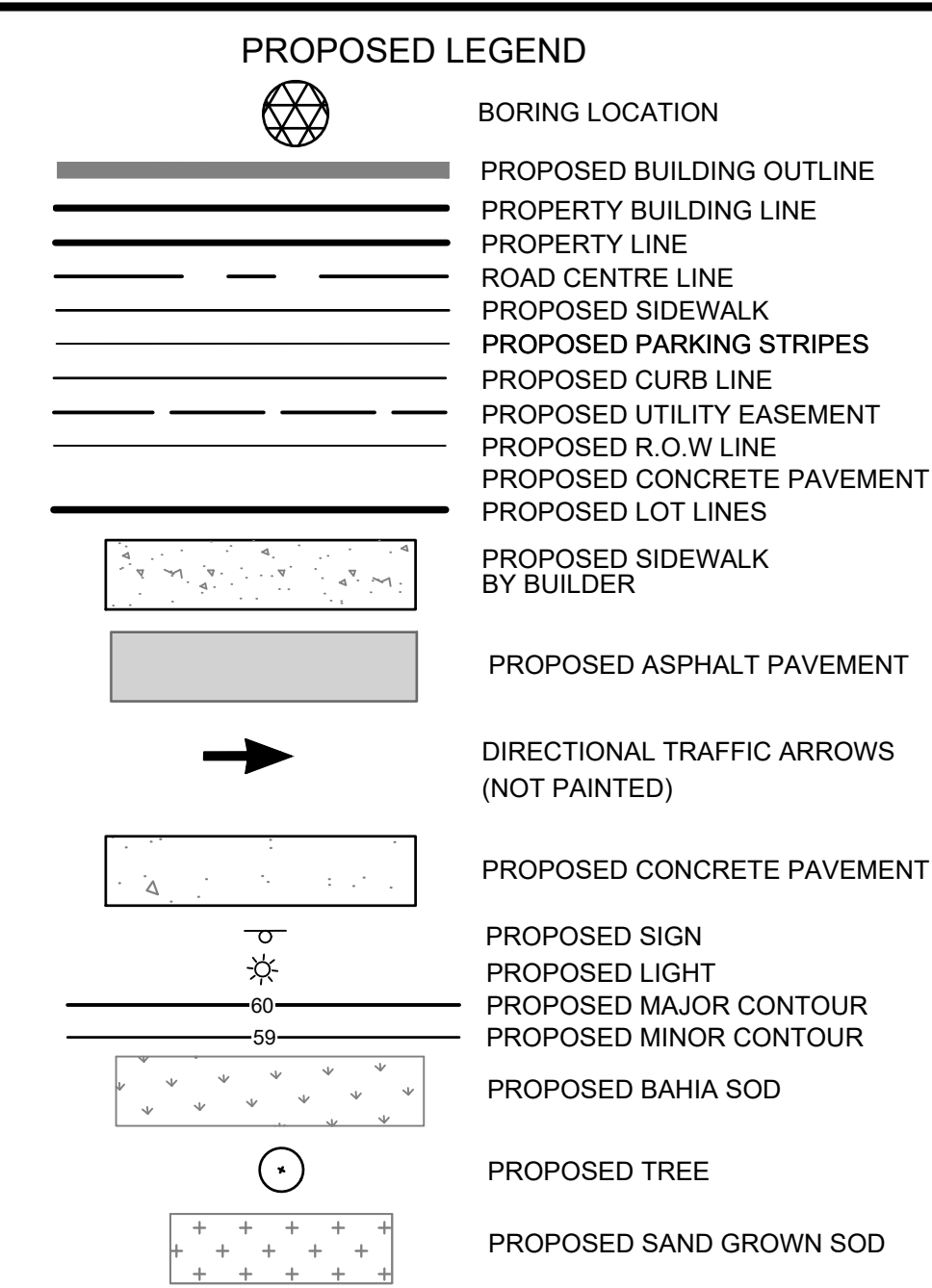
WIREGRASS M2 - TOWN HOMES  
 ZONING PLAN  
 JANE HOLE, LLC  
 P.O. BOX 280669  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

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PROJECT LCSTB 22003  
 DATE 2024-07-23  
 DRAWING SCALE 1"=80'  
 DRAWN BY AV  
 APPROVED BY JS

**CS1001**



**PENNONI ASSOCIATES INC.**  
 Tampa Office  
 3242 Henderson Blvd, Suite 200  
 Tampa, FL 33609  
 T 813.258.0066

M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

04/03/24  
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WIREGRASS M2 - TOWN HOMES

## SITE PLAN

JANE HOLE, LLC  
 P.O. BOX 290669  
 TAMPA, FL 33687

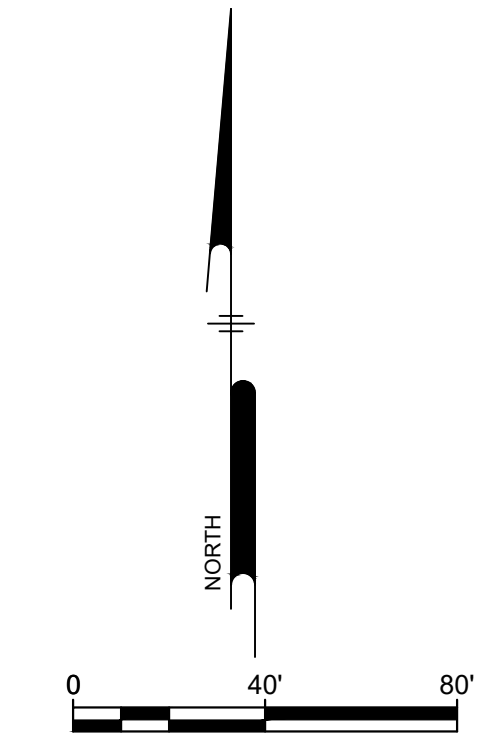
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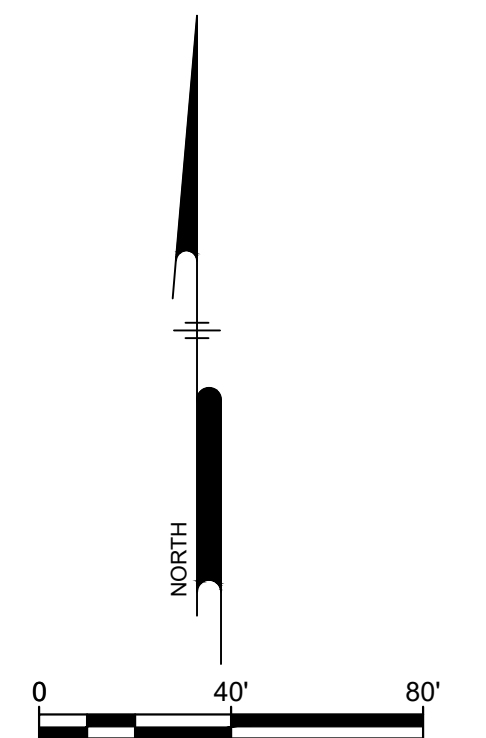
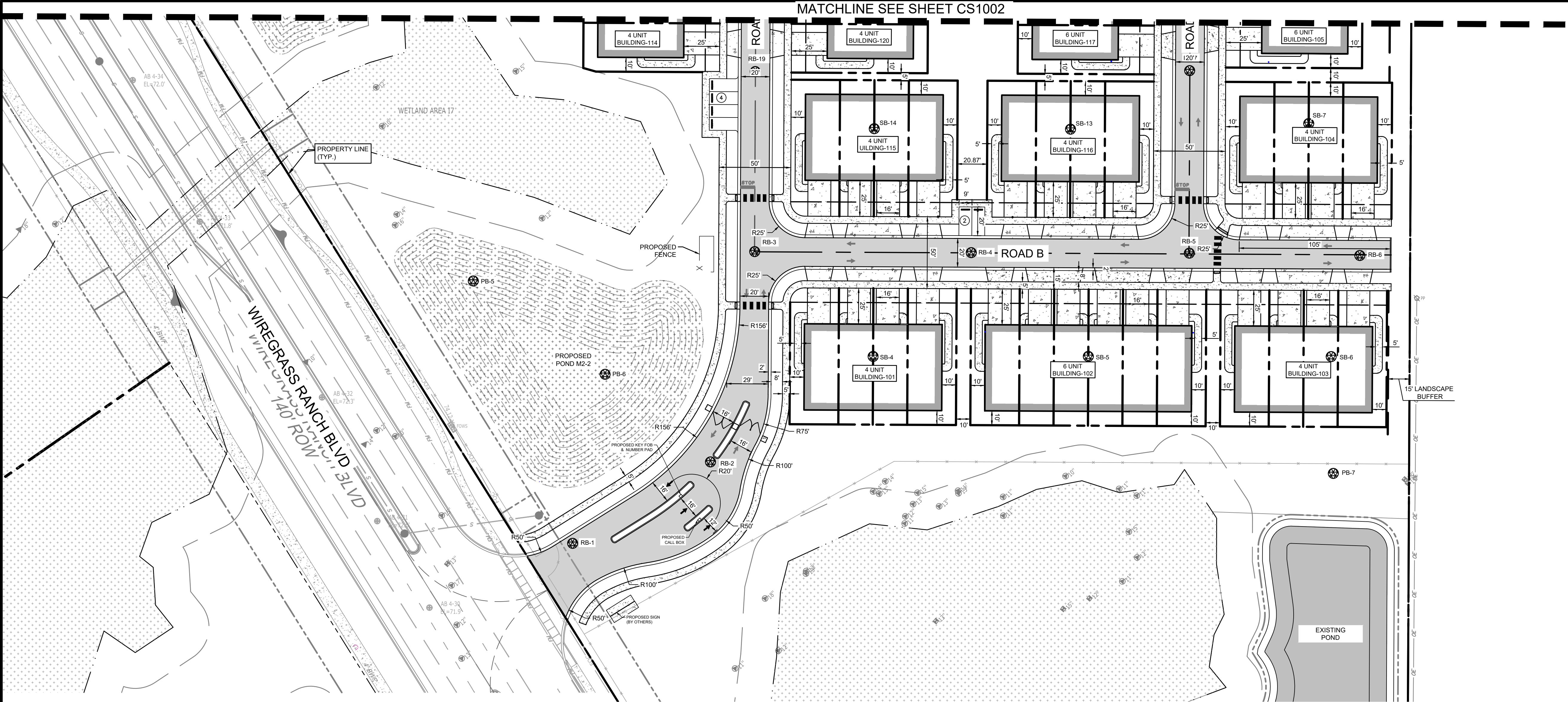
PROJECT: LCSTB 22003  
 DATE: 2024-03-29  
 DRAWING SCALE: 1"=40'  
 DRAWN BY: AV  
 APPROVED BY: JS

# CS1002

P:02/2023 (Wiregrass M2 Residential Townhomes - Pennoni Assoc) - Pennoni Assoc, FL - Licens Branch/State/DCS/CS1002.dwg  
 PLOTTED: 7/23/2024 11:03 AM BY: Ashley Verma  
 PLOTTED BY: Ashley Verma  
 PROJECT STATUS:



MATCHLINE SEE SHEET CS1002



**Pennoni**  
PENNONI ASSOCIATES INC.  
Tampa Office  
3242 Henderson Blvd., Suite 200  
Tampa, FL 33609  
T 813.256.0066

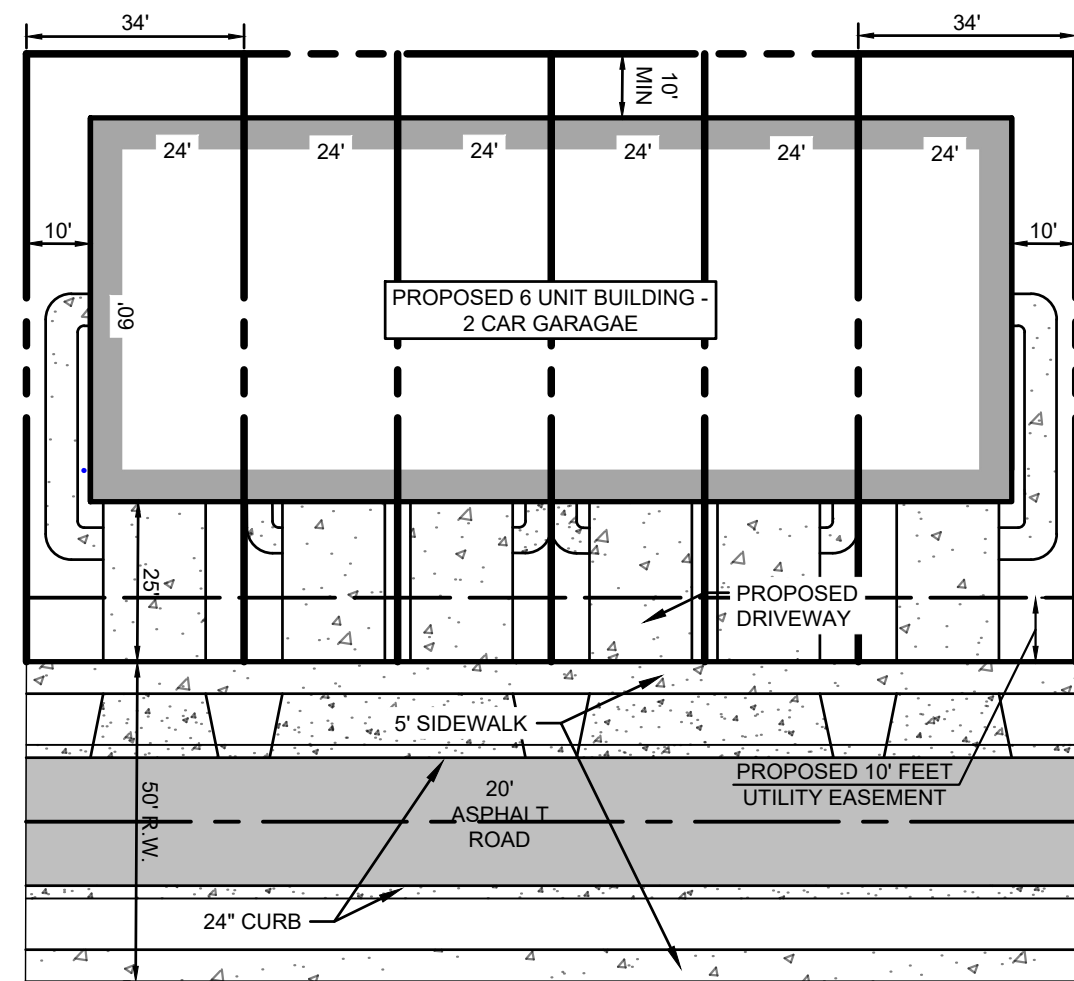
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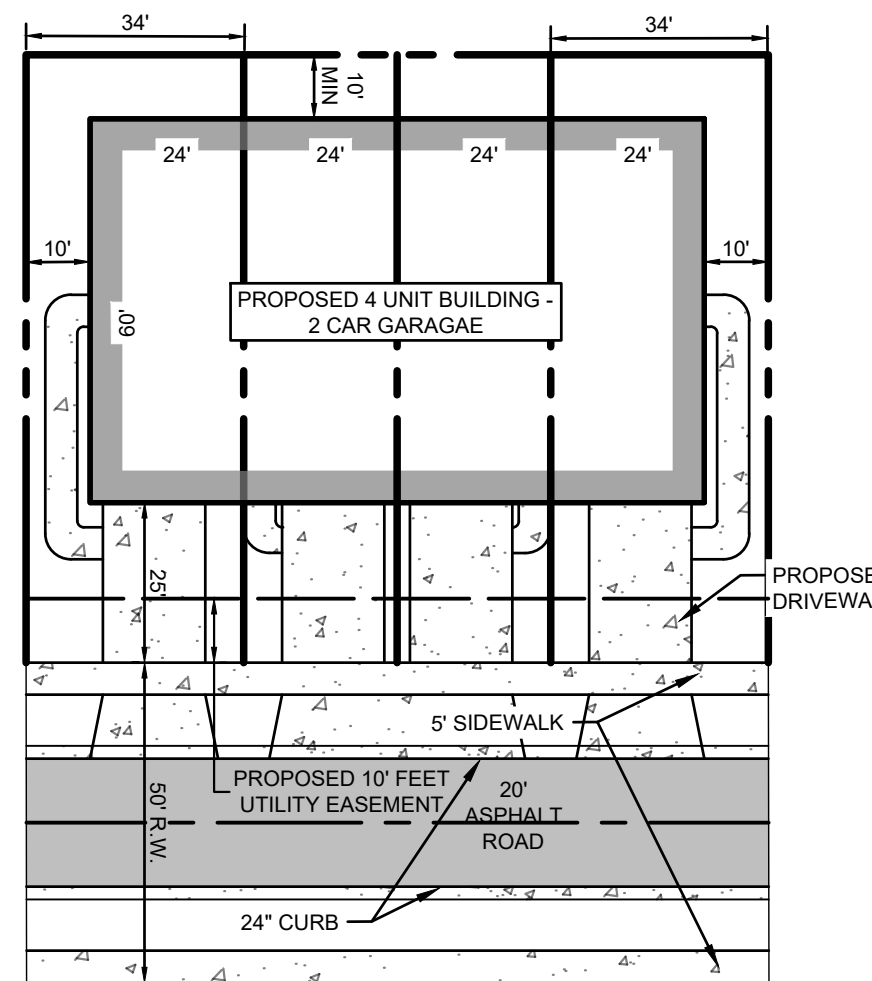
WIREGRASS M2 - TOWN HOMES  
SITE PLAN  
JANE HOLE, LLC  
P.O. BOX 290669  
TAMPA, FL 33687

PROPOSED LEGEND

- BORING LOCATION
- PROPOSED BUILDING OUTLINE
- PROPERTY BUILDING LINE
- PROPERTY LINE
- ROAD CENTRE LINE
- PROPOSED SIDEWALK
- PROPOSED PARKING STRIPES
- PROPOSED CURB LINE
- PROPOSED UTILITY EASEMENT
- PROPOSED R.O.W LINE
- PROPOSED CONCRETE PAVEMENT
- PROPOSED LOT LINES
- PROPOSED SIDEWALK BY BUILDER
- PROPOSED ASPHALT PAVEMENT
- DIRECTIONAL TRAFFIC ARROWS (NOT PAINTED)
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED BAHIA SOD
- PROPOSED TREE
- PROPOSED SAND GROWN SOD



DETAIL- TYPICAL 6 LOT LAYOUT  
SCALE: 1"=30'



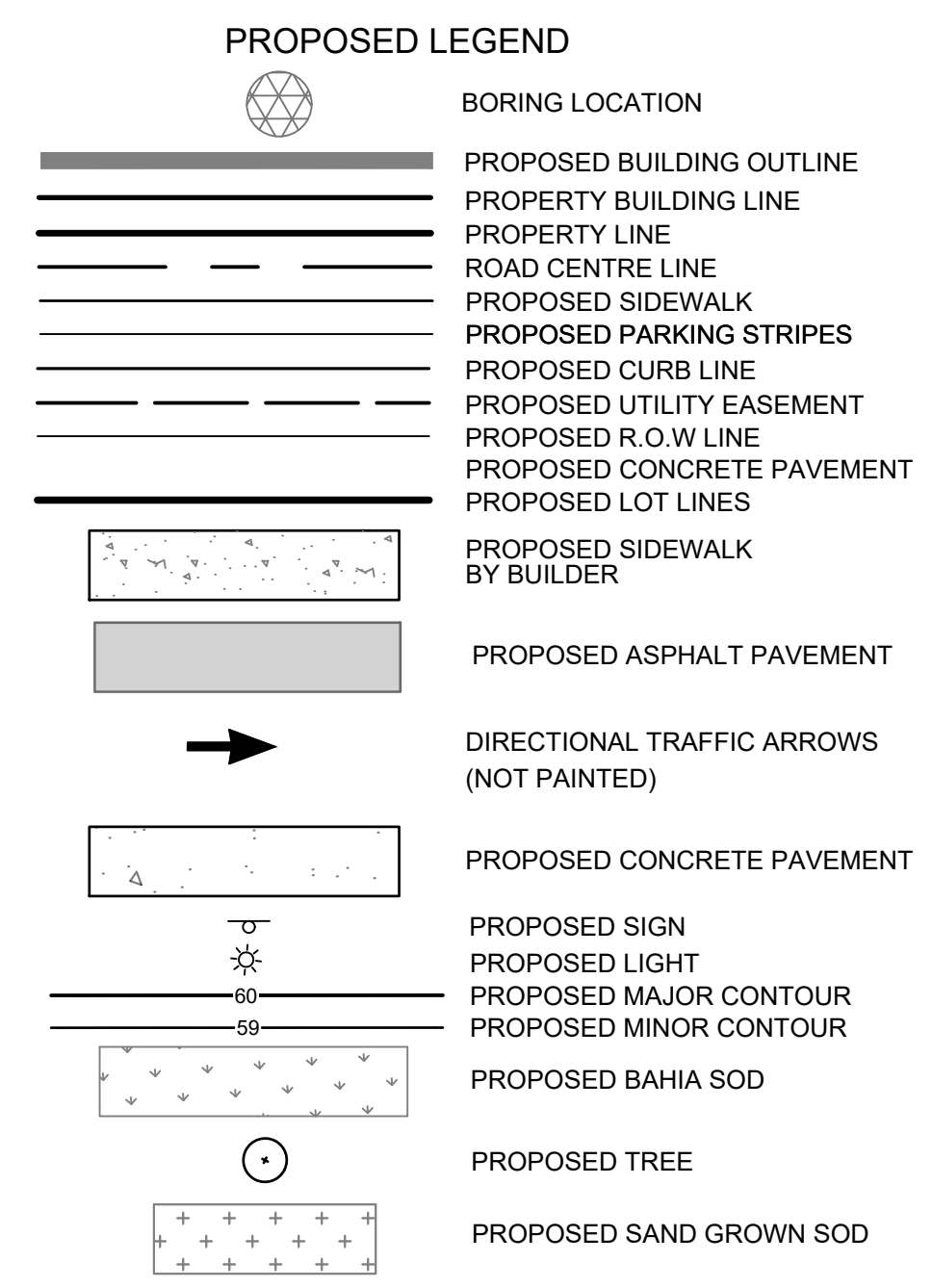
DETAIL- TYPICAL 4 LOT LAYOUT  
SCALE: 1"=30'

PROJECT STATUS: PLOTTED: 7/26/2024 11:11 AM BY: Ashley Verna PLOTTED: Pennoni KCS-48 PLOTTED: 08/14/2024 10:00 AM BY: J. L. SHERIDAN, P.E. - Pennoni Associates, Inc. - Pennoni Associates, Inc. - Pennoni Associates, Inc. - Pennoni Associates, Inc.

PROJECT	LCSTB 22003
DATE	2024-03-29
DRAWING SCALE	1"=40'
DRAWN BY	AV
APPROVED BY	JS

**CS1003**



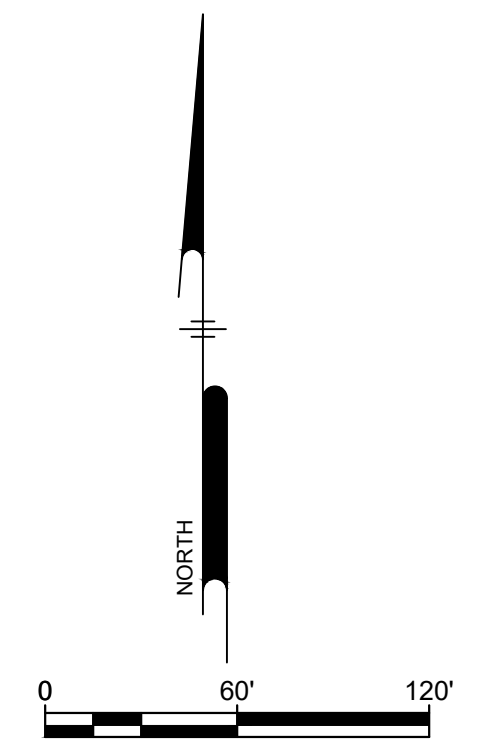


- ### STRIPING NOTES
- TYPICAL PARKING SPACE SHALL BE STRIPED WITH A 6" WHITE STRIPE
  - FLORIDA STATE STATUTE 316.0745 REQUIRES THAT ALL TRAFFIC CONTROL SIGNING AND MARKINGS ON PRIVATE PROPERTY OPENED TO THE GENERAL PUBLIC BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FLORIDA DEPARTMENT OF TRANSPORTATION STANDARDS.
  - ALL PARKING SPACES, PAVEMENT ARROWS, STOP BARS AND SIGNS SHALL BE IDENTIFIED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
  - ALL HANDICAPPED PARKING SPACES SHALL BE SIGNED AND MARKED IN ACCORDANCE WITH FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD PLAN FY 2019-2020, INDEX 711-001.
  - STREET NAME SIGNS SHALL BE 9-INCH ON ALL ROAD CLASSIFICATIONS. ALL SIGNS SHALL HAVE 6-INCH SERIES B LETTERS. ALL STREET NAME SIGNS ON PRIVATE ROADS SHALL BE STANDARD D3 STREET NAME SIGNS WITH THE COLORS REVERSED; WHITE BACKGROUND WITH GREEN LETTERS AND BORDER. AT INTERSECTIONS WITH COUNTY OR STATE MAINTAINED ROADS, THE COUNTY OR STATE MAINTAINED ROAD SHALL BE GREEN BACKGROUND WITH WHITE LETTERS AND BORDER.
  - STRIPING AND PAVEMENT MARKINGS TO BE PAINTED

### SIGN LEGEND

NO	TEXT OR SYMBOL	QTY
	HANDICAP SIGN	1
	STOP SIGN	4

ALL SIGNS SHALL CONFIRM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND FDOT STANDARDS



**Pennoni**  
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WIREGRASS M2 - TOWN HOMES

STRIPING AND SIGNAGE PLAN

JANE HOLE, LLC  
 P.O. BOX 290669  
 TAMPA, FL 33687

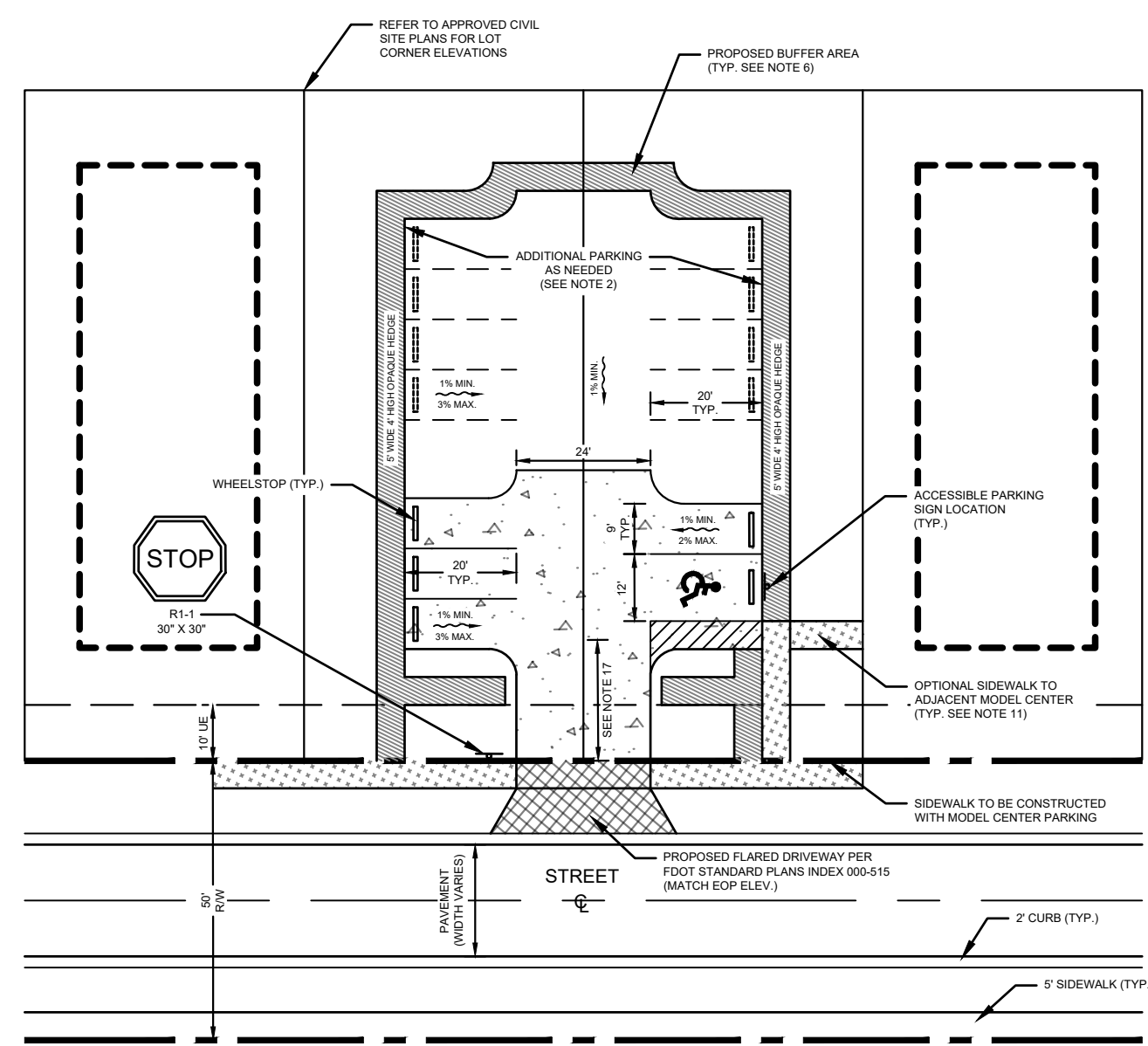
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 APPROVED BY: JS

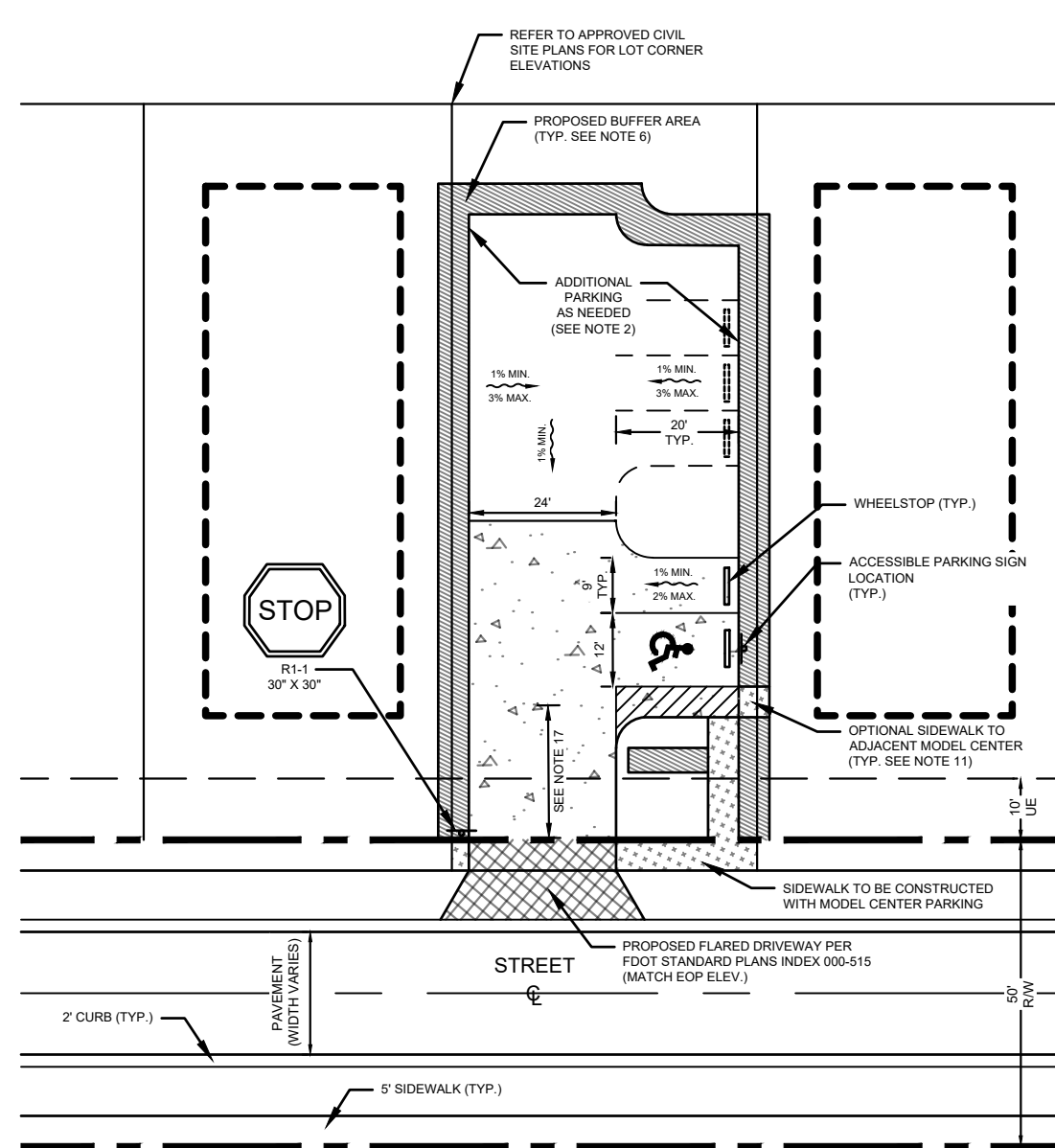
**CS1005**

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 PLOTTED: 7/23/2024 11:11 AM BY: Ashley Verma  
 PLOT STYLE: Pennoni\_VS2.ctb  
 PROJECT STATUS:



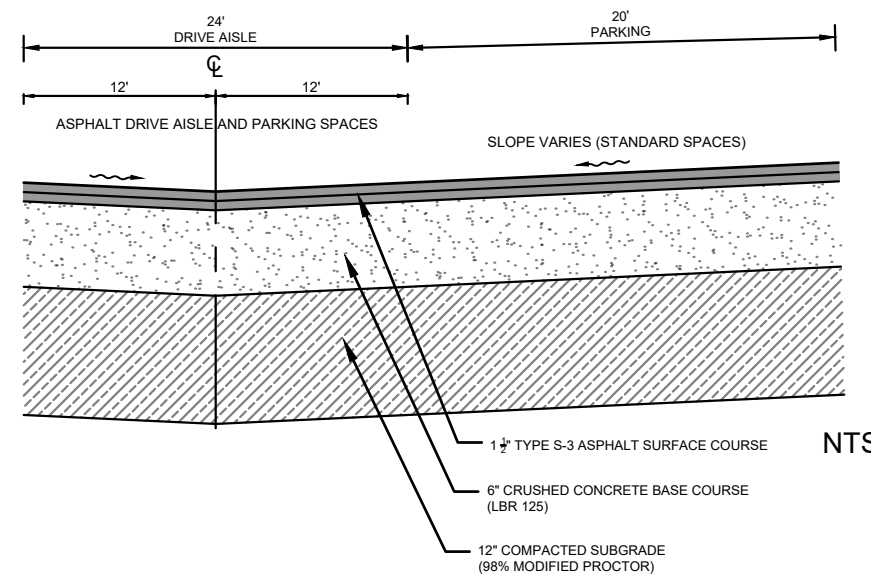
STANDARD LOT MODEL CENTER GRADING PLAN  
TYPICAL DOUBLE LOADED PARKING LOT

SCALE 1"=20'



STANDARD LOT MODEL CENTER GRADING PLAN  
TYPICAL SINGLE LOADED PARKING LOT

SCALE 1"=20'



**PARKING/DRIVE CROSS SECTION**  
ASPHALT SHOWN FOR REFERENCE ONLY. PARKING LOT SHALL BE DUST-FREE PER THE PASCO COUNTY LAND DEVELOPMENT CODE. DUST-FREE SURFACES MAY INCLUDE ASPHALT, CONCRETE, MULCH, ASPHALT MILLINGS, OR BRICK PAVERS. ALL HANDICAP PARKING SPACES SHALL BE HARDCAPE, WHEELCHAIR-TRAVERSABLE SURFACES, SUCH AS CONCRETE, ASPHALT, OR PAVERS

**NOTES:**

1. LAND USE DESIGNATION: PD ZONING: MPUD
2. PARKING SHALL BE PROVIDED AT A MINIMUM RATE OF 1 PARKING SPACE PER 2,500 SQUARE FEET OF MODEL HOME.
3. A MINIMUM OF 1 HANDICAP PARKING SPACE WITH ACCESS AISLE SHALL BE PROVIDED. IT SHALL BE CONSTRUCTED PER
4. FDOT STANDARD PLANS INDEX 711-001 AND SHALL BE CLEARLY MARKED WITH SIGNAGE AND PAVEMENT MARKING AS REQUIRED. PARKING AREAS SHALL BE GRADED FOR PROPER DRAINAGE AND BE MAINTAINED IN A DUST-FREE CONDITION (i.e. CONCRETE, ASPHALT, MILLINGS, SHELL, etc.). PARKING SHALL BE ARRANGED TO PROVIDE FOR ORDERLY AND SAFE ACCESS.
5. PROPOSED SIDEWALKS SHALL BE INSTALLED PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY FOR THE FIRST MODEL CENTER HOME.
6. PROPOSED BUFFERING OF PARKING FROM NON-MODEL CENTER AREAS SHALL BE 5' WIDE AND SHALL BE A PLANTING REACHING 4' HEIGHT AND 100% OPACITY. NOTE THAT ADDITIONAL BUFFERING MAY BE REQUIRED BEYOND THAT WHICH IS DEPICTED HEREON DEPENDING ON LOCATION OF ADJACENT NON-MODEL CENTER AREAS.
7. EROSION CONTROL FOR MODEL HOME LOTS SHALL BE PROPOSED BY AND INSTALLED BY HOME BUILDERS AS PART OF THE INDIVIDUAL BUILDING PERMITS.
8. THE PADS SHOWN HEREON ARE INTENDED TO INDICATE THE MAXIMUM BUILDING ENVELOPE THAT THE LOT WILL ACCOMMODATE AT MINIMUM SETBACKS. ACTUAL HOUSE FOOTPRINTS WILL BE DIFFERENT, BUT SHALL FIT WITHIN THESE MAXIMUM BUILDING ENVELOPES.
9. LIGHTING SHALL BE DESIGNED TO AVOID SPILL-OVER TO ADJOINING RESIDENCES AND THE PUBLIC RIGHT-OF-WAY.
10. CONCRETE PAVEMENT USED AS ACCESSIBLE PARKING ACCESS AISLES AND CONCRETE APRON FROM EDGE OF PAVEMENT IN RIGHT-OF-WAY SHALL BE 6" THICK, 3000 PSI CONCRETE.
11. THE SIDEWALKS SHOWN HEREON ARE INTENDED TO INDICATE THAT AN ADA ACCESSIBLE TRAVERSABLE PATH WILL BE ACCOMMODATED FOR ACCESS TO THE PROPOSED BUILDINGS. ACTUAL SIDEWALK ALIGNMENT COULD BE DIFFERENT. ONSITE SIDEWALKS ARE OPTIONAL. BUILDER MIGHT OPT TO CONNECT DIRECTLY TO SIDEWALK WITHIN THE LOCAL STREETS. SIDEWALK GRADING AND/OR ALIGNMENT MAY NEED TO BE FIELD ADJUSTED TO MEET ADA SLOPE CRITERIA (LONGITUDINAL SLOPE MAY NOT EXCEED 5% WITHOUT HANDRAILS AND CROSS-SLOPE SHALL NOT EXCEED 2%).
12. SELECT THE APPROPRIATE PARKING LOT GRADING PLAN BASED UPON THE SELECTED LOT SIZE AND PARKING CONFIGURATION. A SINGLE-LOADED PARKING LOT HAS A MINIMUM WIDTH OF 44 FEET (20' STALL PLUS 24' DRIVE AISLE), AND A DOUBLE-LOADED PARKING LOT HAS A MINIMUM WIDTH OF 64 FEET (TWO 20' STALLS PLUS A 24' DRIVE AISLE), SO PARKING LOTS MIGHT OCCUPY 2 LOTS DEPENDING ON LOT WIDTH AND DESIRED CONFIGURATION.
13. THE MINIMUM WIDTH OF LOT THAT CAN ACCOMMODATE A SINGLE-LOADED PARKING LOT ON A SINGLE LOT IS 50 FEET.
14. THE MINIMUM WIDTH LOT THAT CAN ACCOMMODATE A DOUBLE-LOADED PARKING LOT ON A SINGLE LOT IS 70 FEET.
15. PERIMETER LOT GRADES AND ADJACENT LOT PAD GRADES SHALL BE AS SHOWN ON THE APPROVED SUBDIVISION CONSTRUCTION PLANS.
16. PARKING LOT EDGE OF PAVEMENT ELEVATION GUIDELINES: (A) PARKING LOT EDGE OF PAVEMENT ELEVATIONS SHALL, AT A MINIMUM, BE 0.10 FEET ABOVE THE BOTTOM ELEVATION OF THE ADJACENT SIDE YARD SWALE; (B) PARKING LOT EDGE OF PAVEMENT ELEVATIONS SHALL NOT EXCEED AN ELEVATION THAT CAUSES THE SLOPE BETWEEN THE EDGE OF PAVEMENT AND THE BOTTOM OF THE SIDE YARD SWALE TO BE STEEPER THAN 1.5 VERTICAL TO 1.0 HORIZONTAL.
17. DRIVEWAY THROAT GRADING GUIDELINES: THE LONGITUDINAL PARKING LOT SLOPE (ALONG THE INVERT OF THE INVERTED CROWN SECTION) SHALL GENERALLY BE 1%. HOWEVER, THE 20-FOOT THROAT FROM RIGHT-OF-WAY TO FIRST PARKING STALL, SHALL BE ADJUSTED SUCH THAT THE GRADE MATCHES THAT OF AN FDOT-STANDARD FLARED TURN-OUT PER INDEX 000-515. THE SLOPE OF THE THROAT SHALL NOT EXCEED 9%, AND CARE SHALL BE TAKEN NOT TO EXCEED A SLOPE OF 2% IN ANY DIRECTION IN THE ADJACENT HANDICAP AISLE. FURTHER, THROUGH THE 20-FOOT THROAT, THE PAVEMENT SHALL TRANSITION FROM INVERTED CROWN TO SLANTED IN THE DIRECTION OF AND AT THE EQUIVALENT SLOPE OF THE ROADWAY.
18. THE FLARED DRIVEWAY TURNOUT SHALL BE PER FDOT INDEX 000-515 AND SHALL GENERALLY FOLLOW THE GRADING PROFILE FOR "SIDEWALK WITH UTILITY STRIP ON 0.02 SLOPE."
19. GRADING OF THE PARKING LOT AREA SHALL BE PER THE SUBDIVISION CONSTRUCTION PLANS WHEN THE LOT IS CONVERTED TO A HOME SITE.
20. THE MODEL CENTER SHALL COMPLY AT A MINIMUM WITH THE LANDSCAPING STANDARDS OF PASCO COUNTY.
21. THE PARKING AREA SHALL BE DESIGNED IN COMPLIANCE WITH THE LAND DEVELOPMENT CODE AND TECHNICAL STANDARDS OF THE APPLICATION FOR DEVELOPMENT APPROVAL.

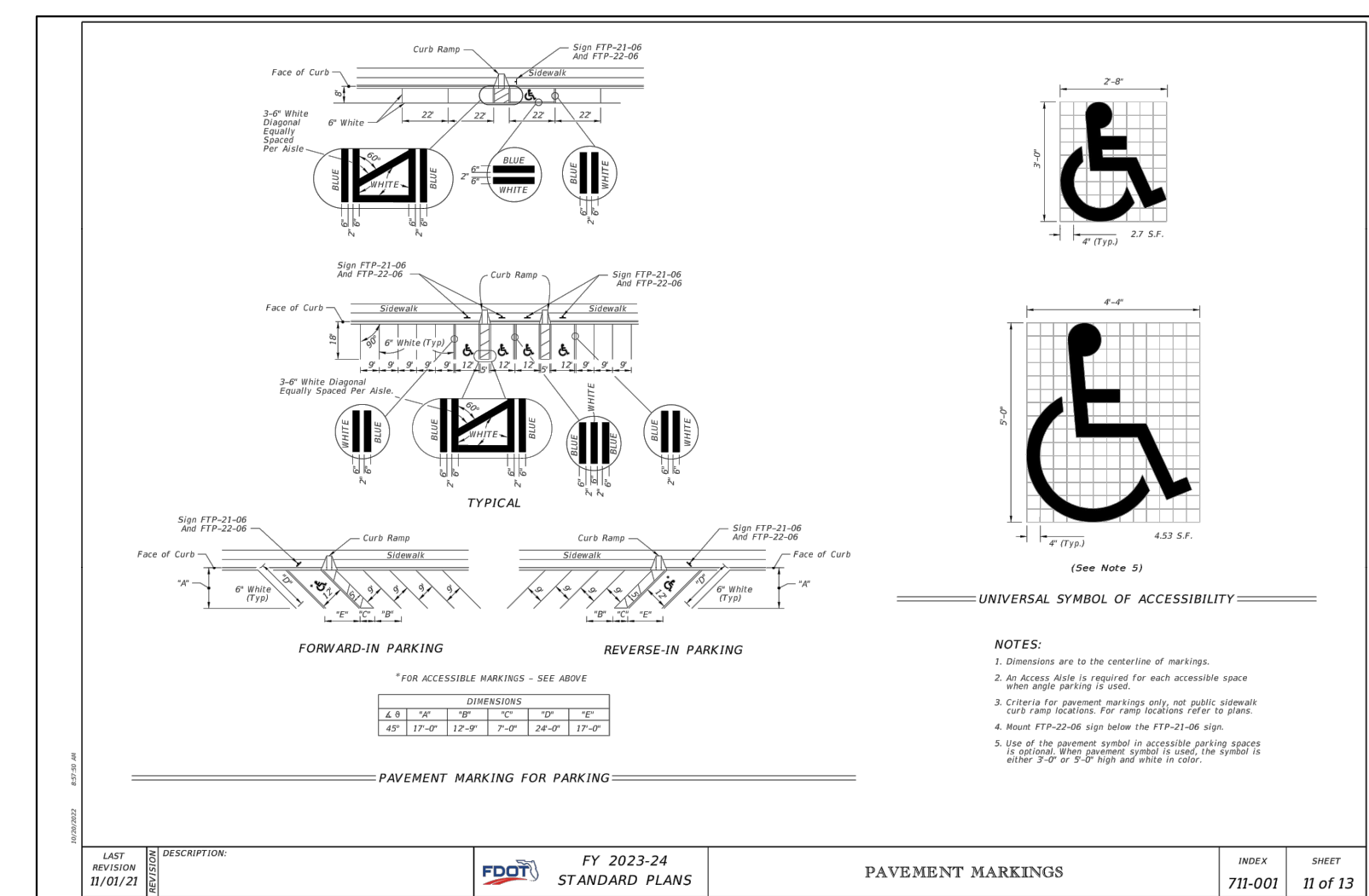
**NOTE:**  
MODEL CENTER PARKING FOR ALLEY PRODUCT AND TOWNHOME PRODUCT MAY UTILIZE ON-STREET PARKING FOR MODEL CENTERS. THE BUILDER SHALL CONSTRUCT ONE ADA SPACE IN THE DRIVEWAY.

**ASSUMPTIONS:**

1. PARKING LOT LAYOUT ASSUMES AN ARBITRARY NUMBER OF DESIRED PARKING SPACES. IF THE NUMBER OF MODELS PROPOSED REQUIRES FEWER, THE NUMBER MAY BE REDUCED IN ACCORDANCE WITH NOTES AND GRADES MUST BE PRO-RATED ACCORDINGLY. IF MORE SPACES ARE DESIRED OR REQUIRED DUE TO THE NUMBER OF MODELS PROPOSED, THEY MAY BE ADDED IN ACCORDANCE WITH THE LAYOUT SHOWN, WITH GRADES PRO-RATED ACCORDINGLY.
2. IF SLOPE OF ROADWAY FRONTING MODEL CENTER PARKING AREAS EXCEEDS >3% LONGITUDINALLY, PARKING LOT SLOPES MAY NEED TO BE ADJUSTED OUTSIDE OF RANGE RECOMMENDED HEREON. HANDICAP ACCESSIBLE PARKING SPACES MUST MEET ALL APPLICABLE SLOPE CRITERIA.

**LEGENDS**

- 4' HIGH OPAQUE BUFFER
- SIDEWALK TO BE CONSTRUCTED WITH PARKING AREA
- PROPOSED PAVED PARKING MINIMUM  
1 1/2" ASPHALT (SP-8.5) OR 4" CONCRETE  
(3000 PSI, FIBER REINFORCED)
- PROPOSED PAVED PARKING 6"  
CONCRETE (3000 PSI, FIBER REINFORCED)



**NOTES:**

1. ACCESS AISLE AND PARKING SPACE TO BE STRIPED AND MARKED PER FDOT STANDARD PLANS INDEX 711-001.
2. REFER TO SECT. 11-4.6 OF THE FLORIDA BUILDING CODE FOR PARKING AND PASSENGER LOADING ZONES.
3. REFER TO SECT. 4.6.2. OF THE FLORIDA BUILDING CODE FOR LOCATION. "ACCESSIBLE PARKING SPACES SERVING A PARTICULAR BUILDING SHALL BE LOCATED ON THE SHORTEST SAFELY ACCESSIBLE ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE".
4. STANDARD SPACES 9' X 20'. HANDICAP SPACE 12' X 20'.
5. RECOMMENDED ACCESSIBLE PARKING SPACE DESIGN IS GENERALIZED AND IS INCLUDED HEREIN FOR INFORMATIONAL PURPOSES. THE SPECIFIC CONFIGURATION FOR THIS PROJECT VARIES FROM IT IN THAT THE ACCESS AISLE IS INCORPORATED INTO THE ADJACENT SIDEWALK. ALL STRIPING AND DIMENSIONAL SPECIFICATIONS ON THIS DETAIL STILL APPLY.

WIREGRASS M2 - TOWN HOMES

MODEL CENTER PARKING DETAIL

JANE HOLE, LLC  
P.O. BOX 290669  
TAMPA, FL 33687

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

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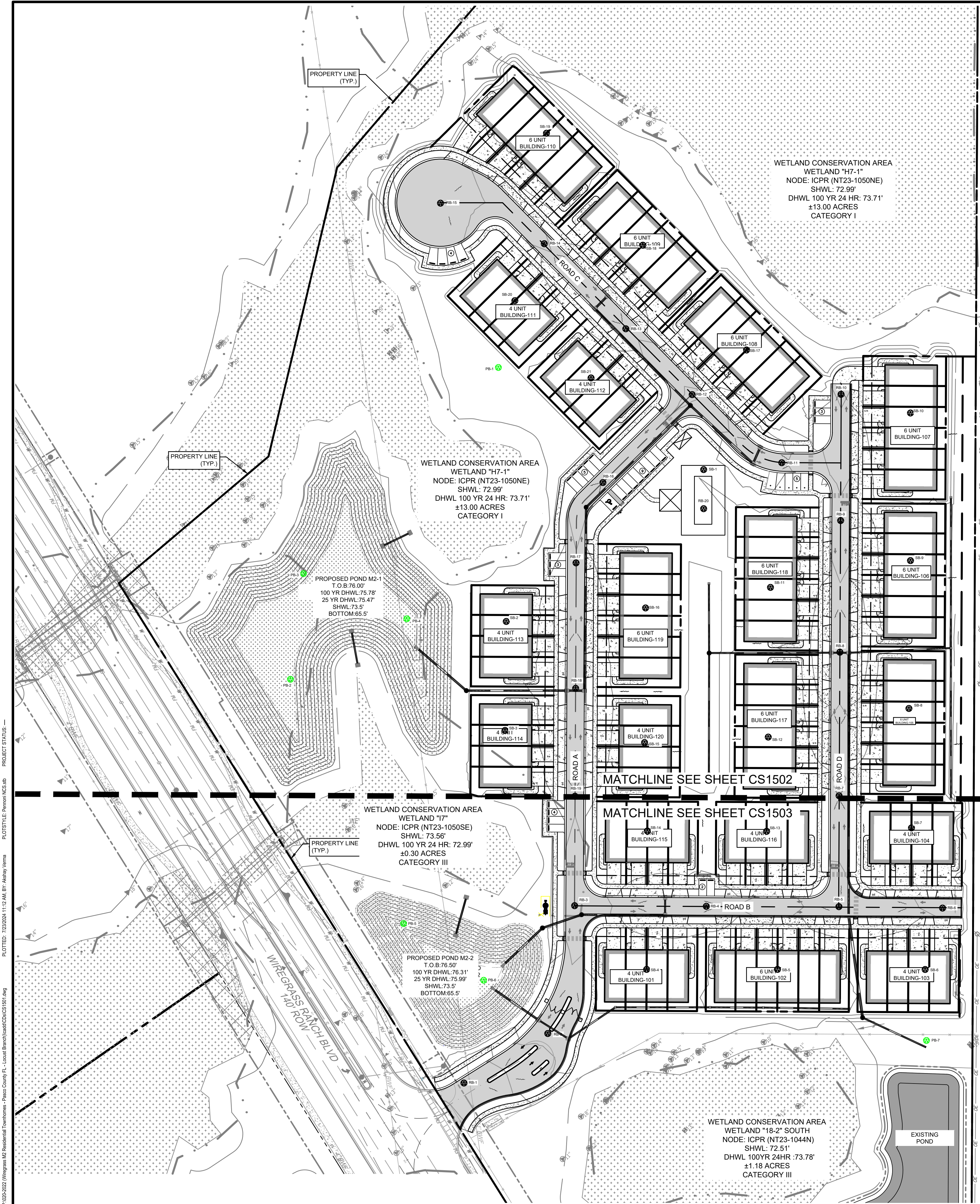
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PROJECT	LCSTB 22003
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DRAWING SCALE	-
DRAWN BY	AV
APPROVED BY	JS

**CS1004**

**PENNONI ASSOCIATES INC.**  
Tampa Office  
3242 Henderson Blvd., Suite 200  
Tampa, FL 33609  
T 813.255.0066



**POND EXCAVATION**

"NO EXCAVATION SHALL EXTEND BELOW THE PERMITTED DESIGN DEPTHS / ELEVATIONS SHOWN ON THE DRAWINGS, UNLESS ADDITIONAL TESTING SUPPORTS OTHERWISE; AND NO SEMI-CONFINING UNIT CLAYEY SOIL MATERIAL AND / OR NO LIMESTONE MATERIALS SHALL BE EXCAVATED, REGARDLESS IF THESE MATERIALS ARE ENCOUNTERED WITHIN THE PERMITTED EXCAVATION DEPTHS / ELEVATIONS. IF ANY LOWER SEMI-CONFINING UNIT CLAYEY SOIL MATERIALS OR LIMESTONE MATERIALS ARE ENCOUNTERED ABOVE THE PERMITTED DEPTHS / ELEVATIONS, THEN EXCAVATION OPERATIONS SHALL CEASE IN THE GENERAL AREA. SWFWMD MUST BE CONTACTED PRIOR TO ANY EXCAVATION OF CLAYS. IN THE ABSENCE OF ANY CONFINING OR SEMI-CONFINING UNIT CLAYEY SOILS, A MINIMUM OF FIVE FEET OF UNDISTURBED SOILS SHALL REMAIN ABOVE THE UNDERLYING LIMESTONE."

**NOTES**

- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS THROUGH THE OWNER, FOR REVIEW AND APPROVAL BY THE ENGINEER, PRIOR TO PRECASTING OR CONSTRUCTION.
- ALL SODDED SLOPES OVER 4:1 SHALL BE INSTALLED WITH SOD PEGS.
- ANY AND ALL OFF-SITE DISTURBANCE SHALL BE RESTORED TO THE PRE OR BETTER CONDITION.
- IF DURING CONSTRUCTION ACTIVITIES ANY EVIDENCE OF THE PRESENCE OF STATE OR FEDERALLY PROTECTED PLANT OR ANIMAL SPECIES IS DISCOVERED, PASCO COUNTY AND APPLICABLE AGENCIES SHALL BE NOTIFIED WITHIN TWO WORKING DAYS OF THE PLANT AND/OR ANIMAL SPECIES FOUND ON SITE. ALL WORK IN THE AFFECTED AREA SHALL COME TO AN IMMEDIATE STOP UNTIL THE PERTINENT PERMITS HAVE BEEN OBTAINED. AGENCY WRITTEN AUTHORIZATION TO COMMENCE ACTIVITIES HAS BEEN GIVEN, OR UNLESS COMPLIANCE WITH STATE AND FEDERAL GUIDELINES CAN BE DEMONSTRATED.

**BUFFER NOTES**

- THE UPLAND BUFFER SHALL BE CLEARLY FIELD DEMARCATED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- NO CONSTRUCTION ACTIVITIES INCLUDING: CLEARING, GRADING, OR GRUBBING SHALL OCCUR WITH THE WETLAND UPLAND BUFFER AS OTHERWISE DEPICTED ON THE APPROVED PROJECT CONSTRUCTION PLANS.

**CLEARING & GRUBBING**

ALL ROOTS TO BE REMOVED DURING THE SITE CLEARING PHASE.

**Pennoni**  
 PENNONI ASSOCIATES INC.  
 Tampa Office  
 3242 Henderson Blvd., Suite 200  
 Tampa, FL 33609  
 T 813.255.0066

M. JASON SHERIDAN, P.E.  
 FL P.E. LIC. NO. 88424

**PROFESSIONAL ENGINEER**  
 LICENSE No. 88424  
 STATE OF FLORIDA

04/03/24

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WIREGRASS M2 - TOWN HOMES

OVERALL PAVING, GRADING AND DRAINAGE PLAN

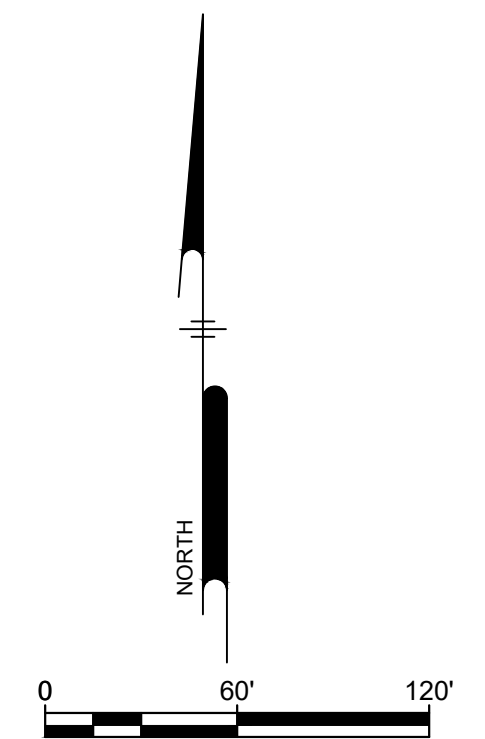
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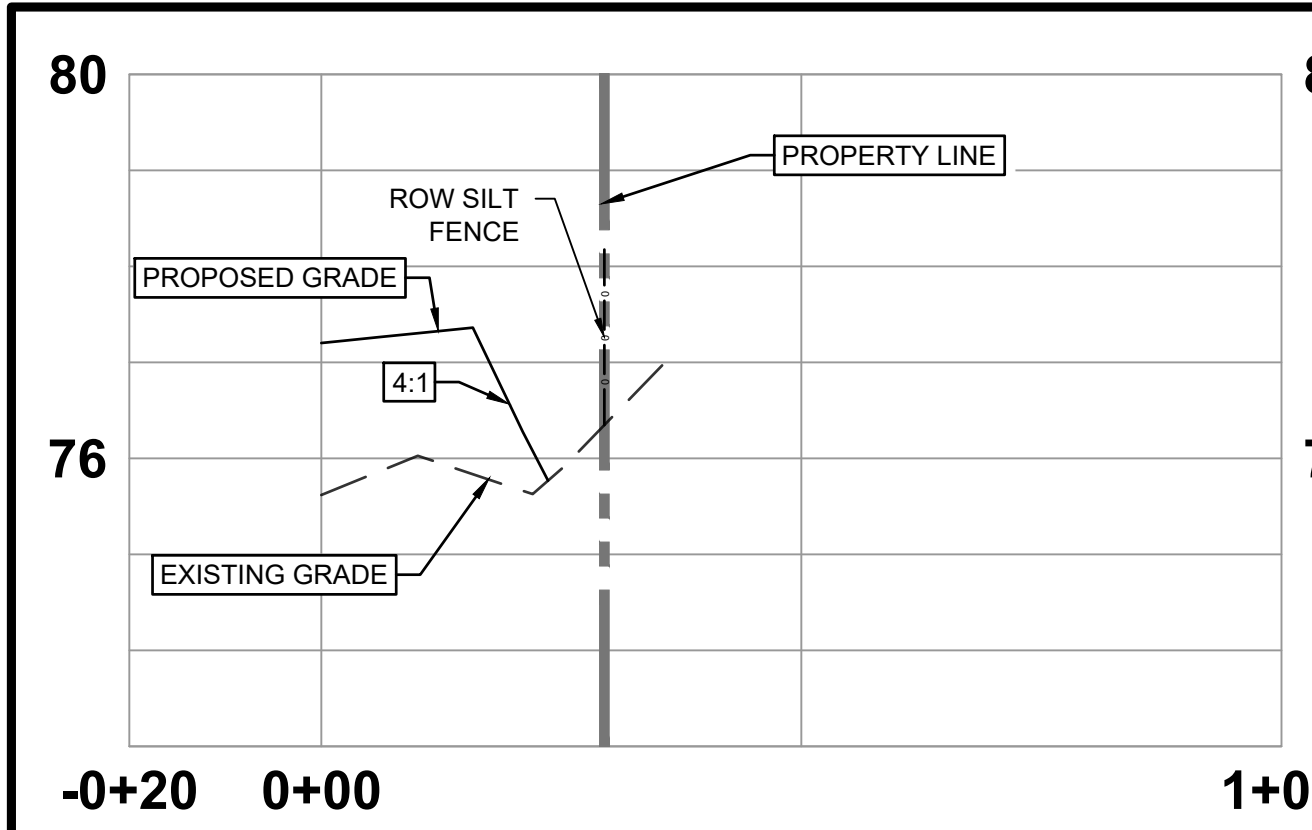
**CS1501**



P:02/2023 (Morgan) M2 Residential Townhomes - Pennoni Associates, Inc. - Project Control File - Location: Branch/Location/CS1501.dwg  
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 PLOTTED BY: Pennoni Associates  
 PROJECT STATUS:

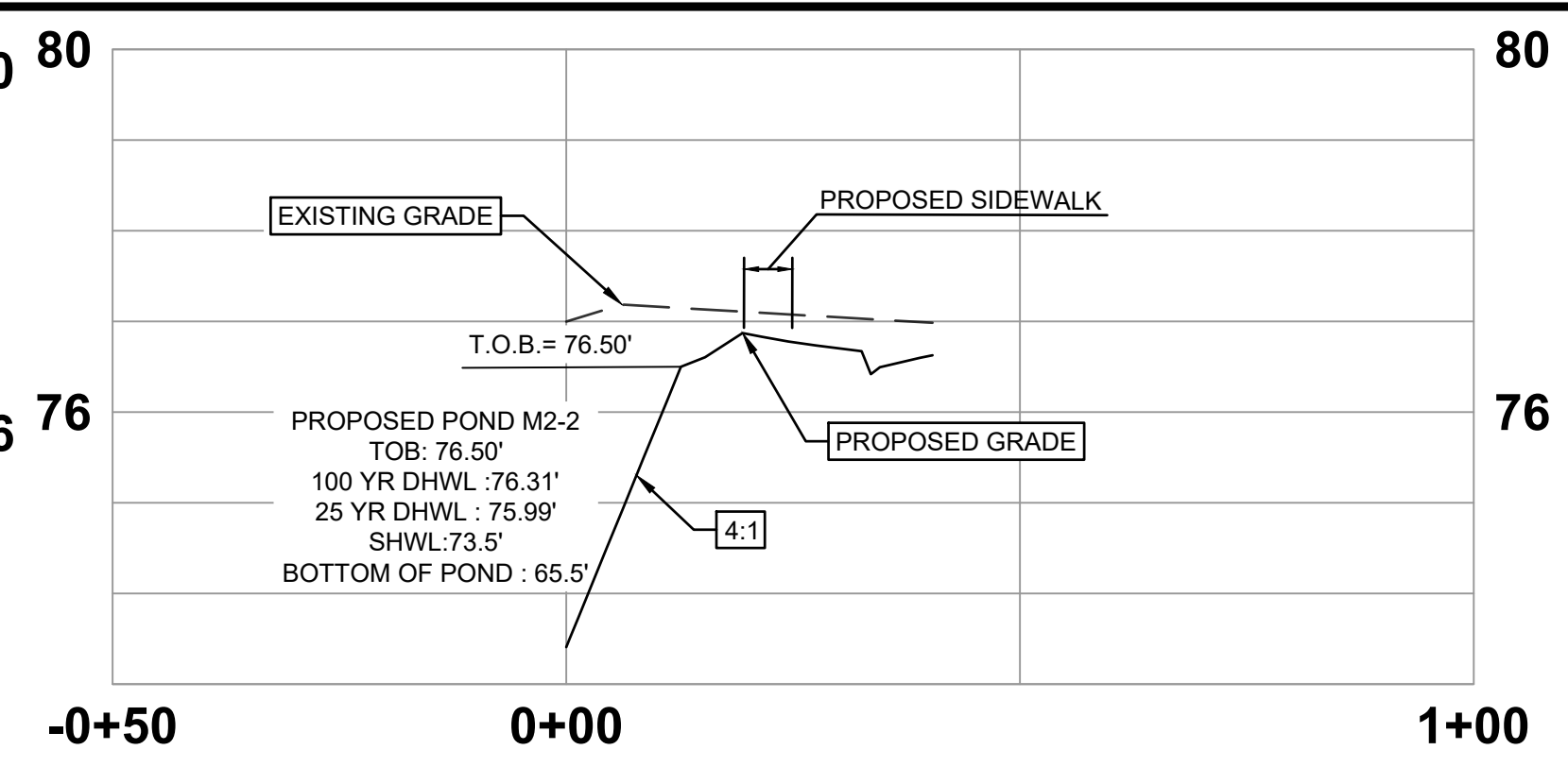






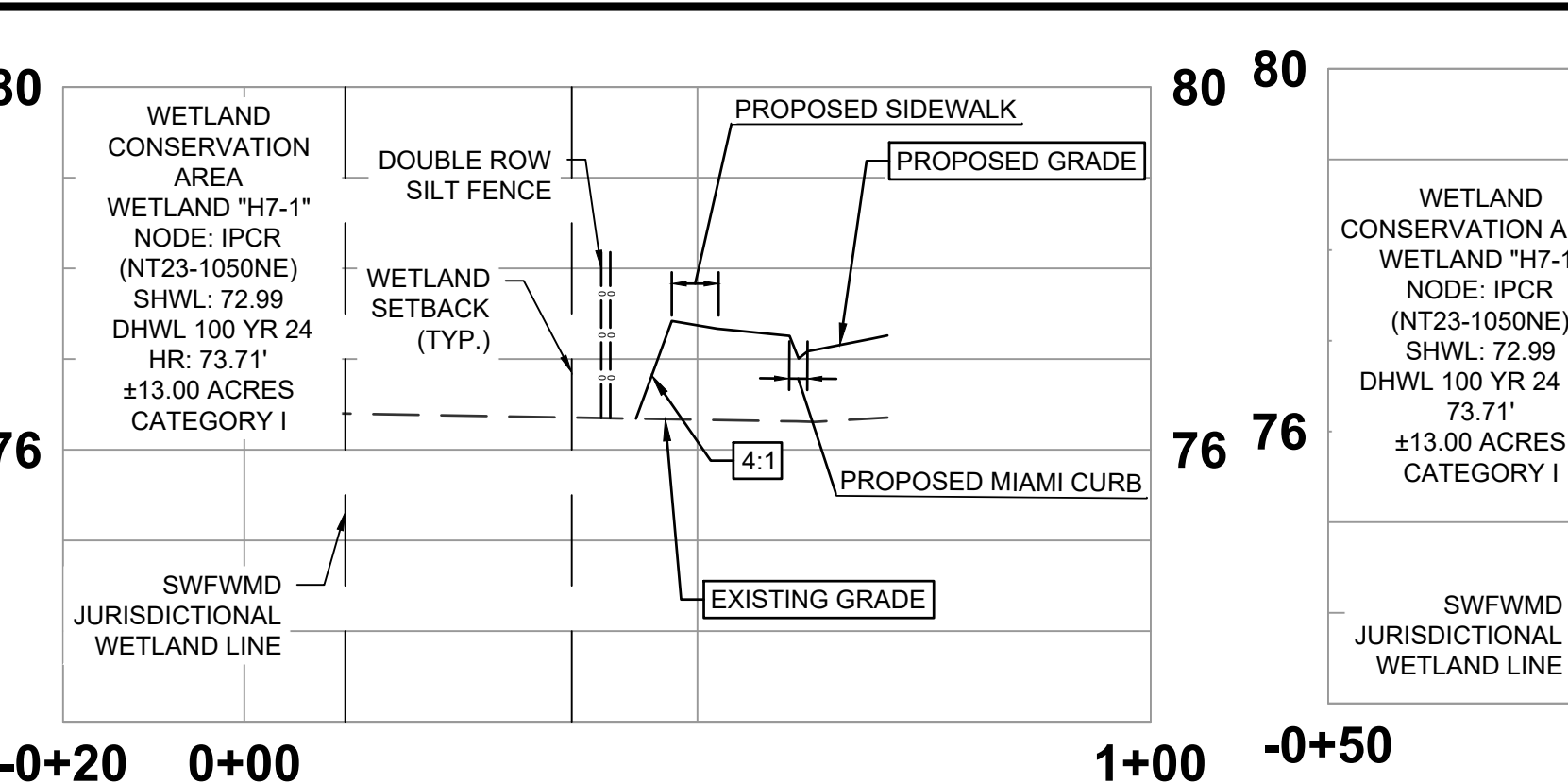
**Cross-Section A-A'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



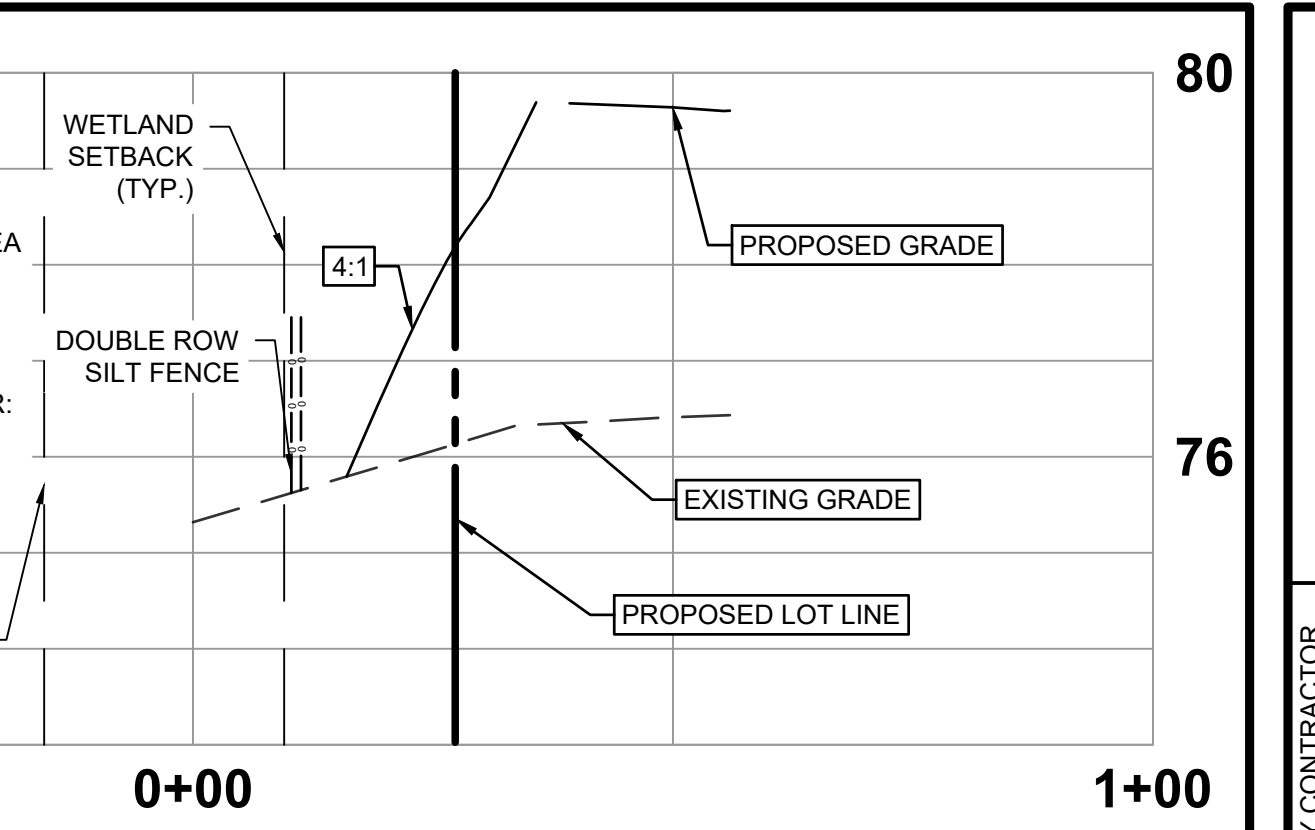
**Cross-Section K-K'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



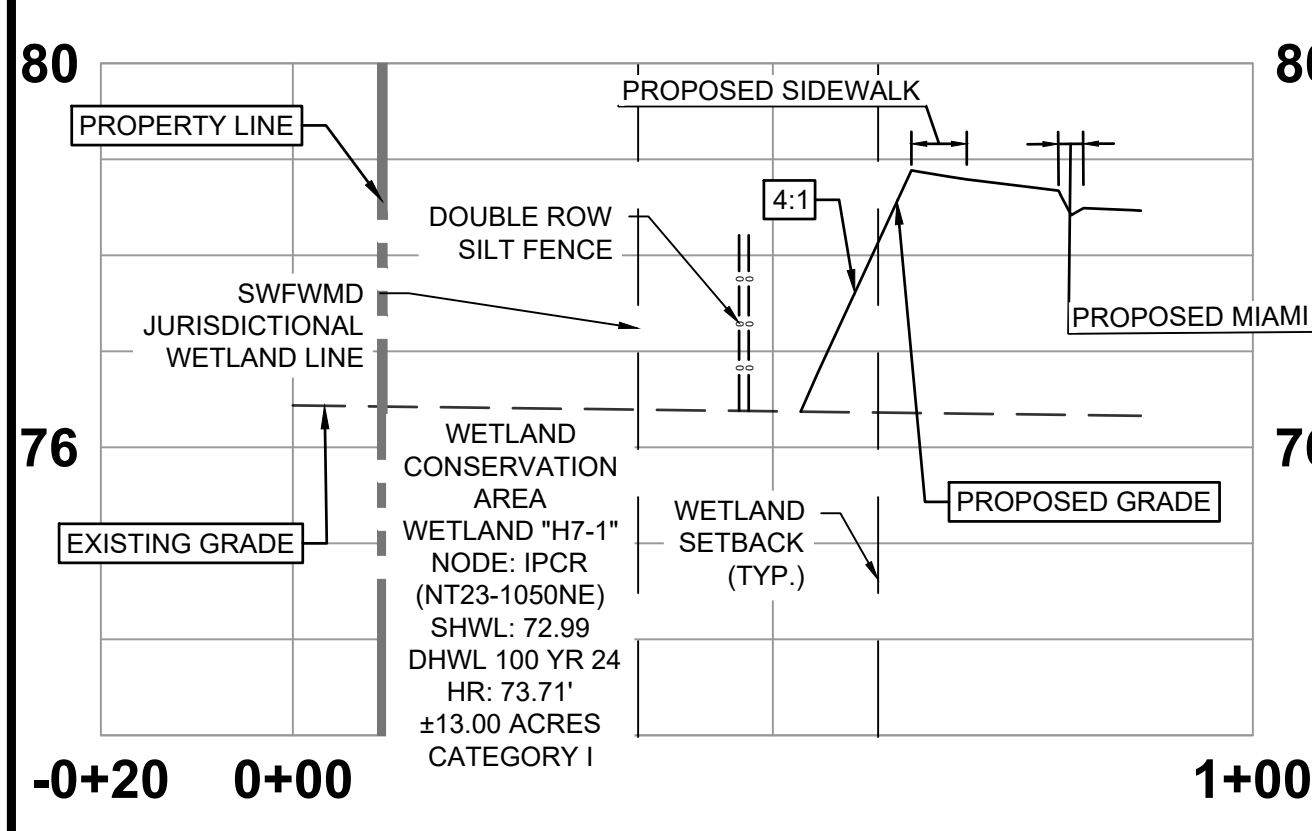
**Cross-Section J-J'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



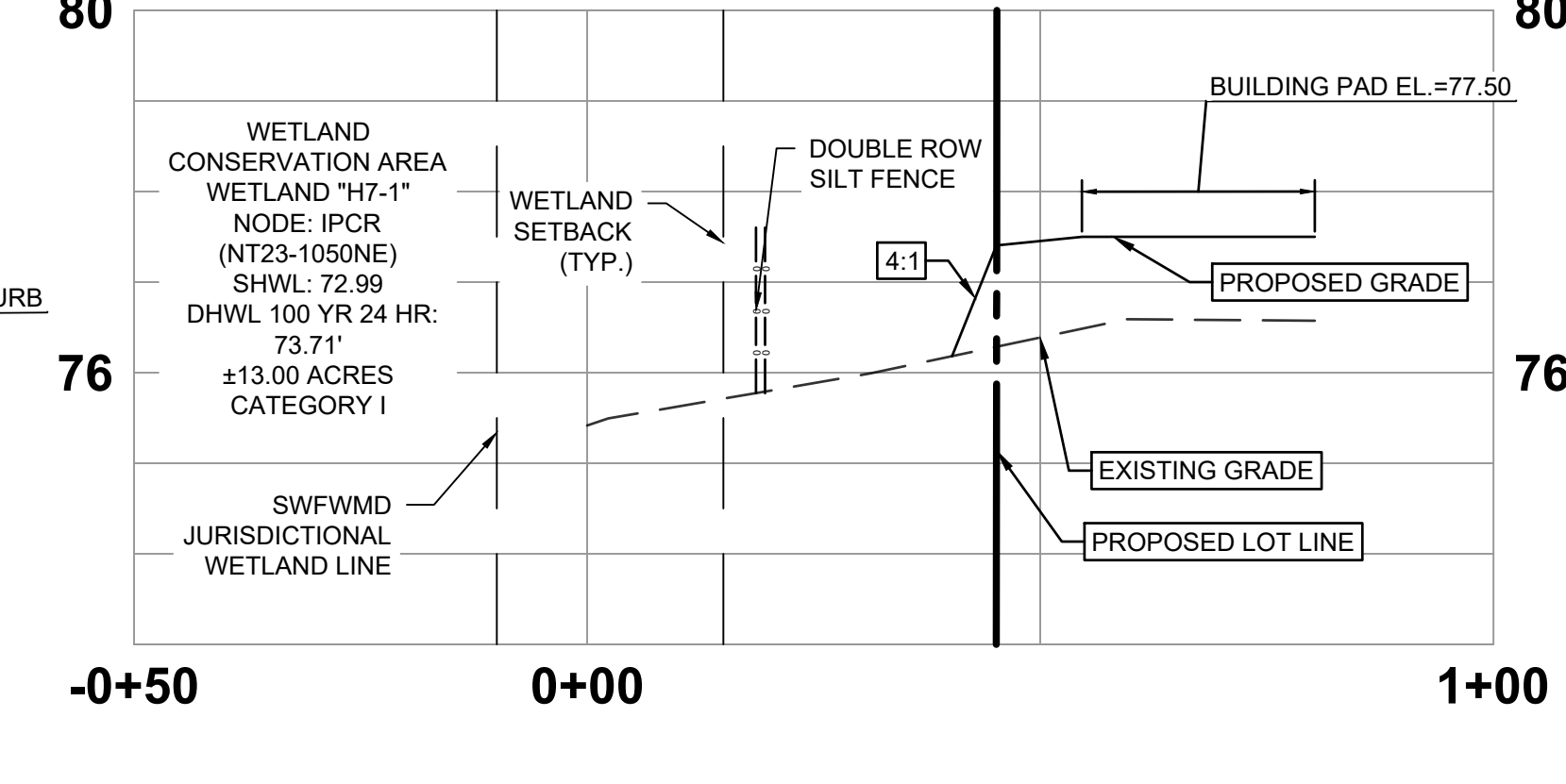
**Cross-Section D-D'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



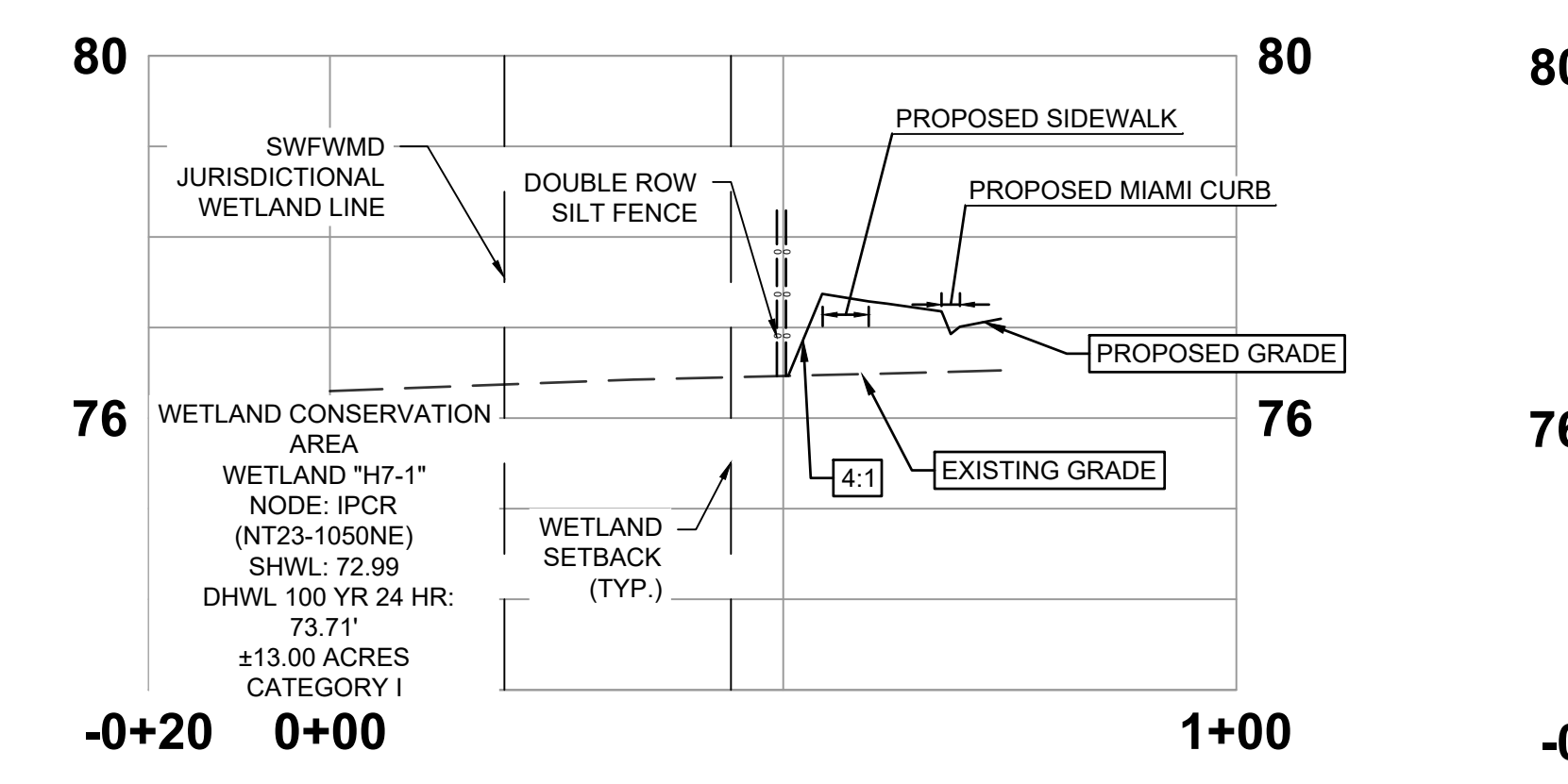
**Cross-Section F-F'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



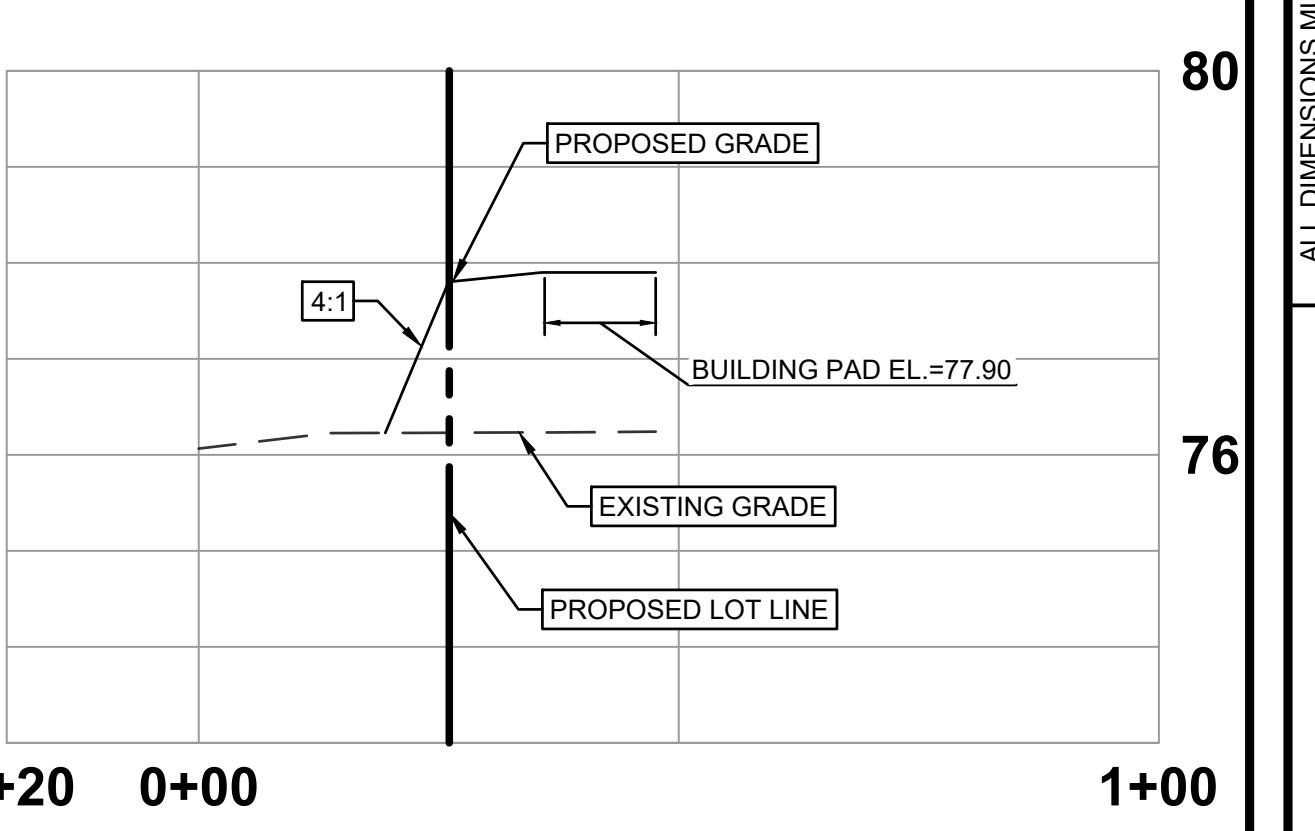
**Cross-Section E-E'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



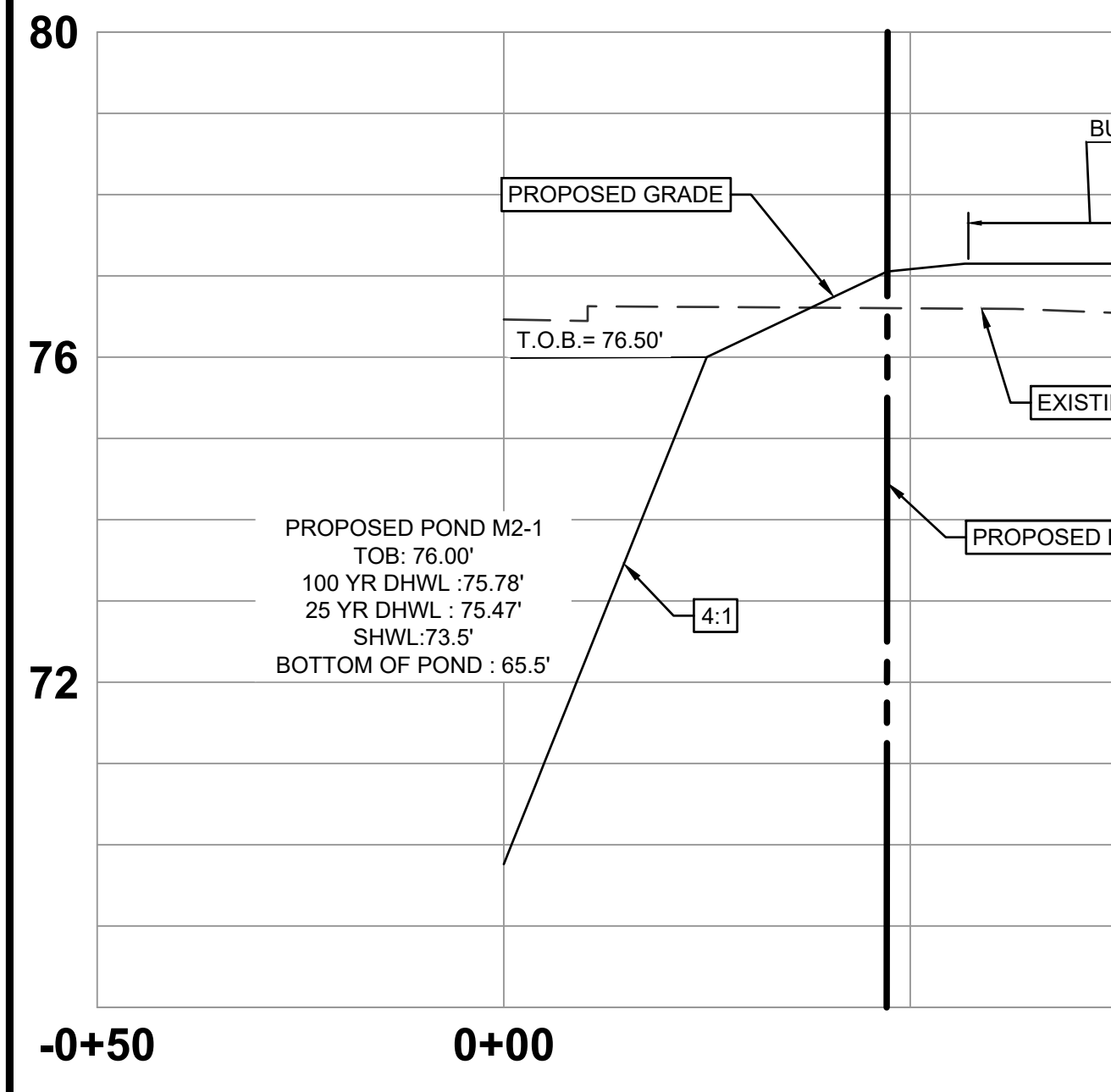
**Cross-Section H-H'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



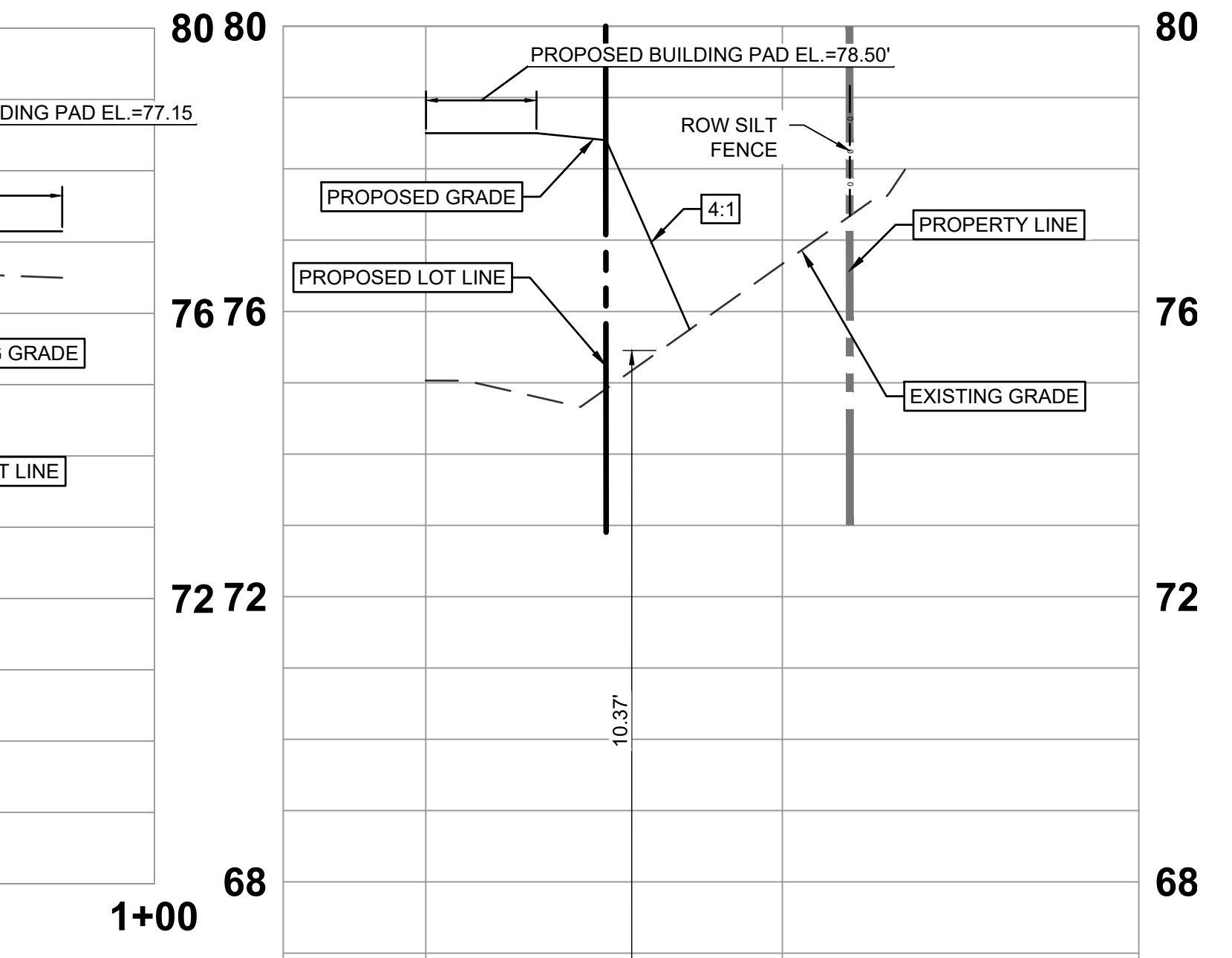
**Cross-Section G-G'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



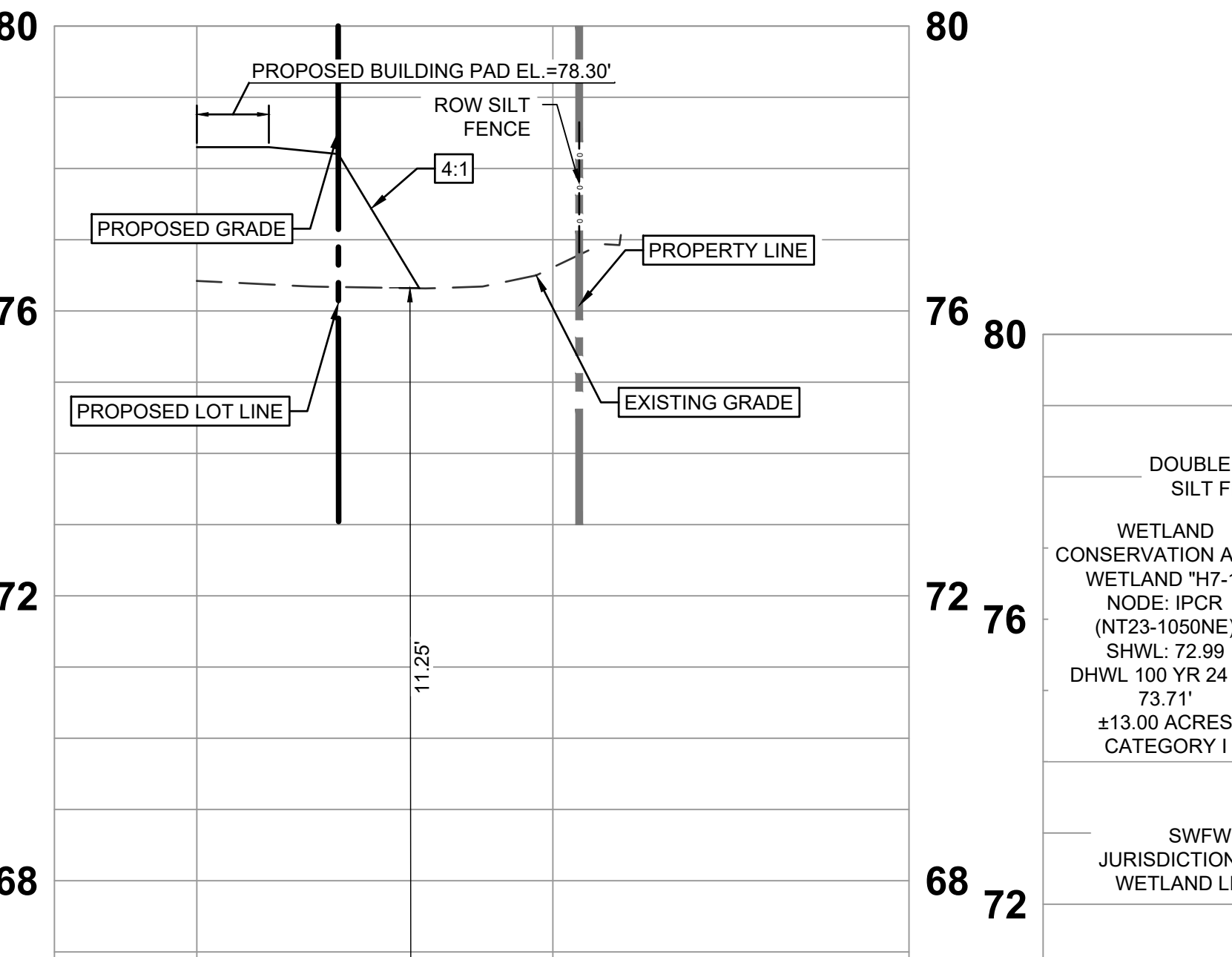
**Cross-Section I-I'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



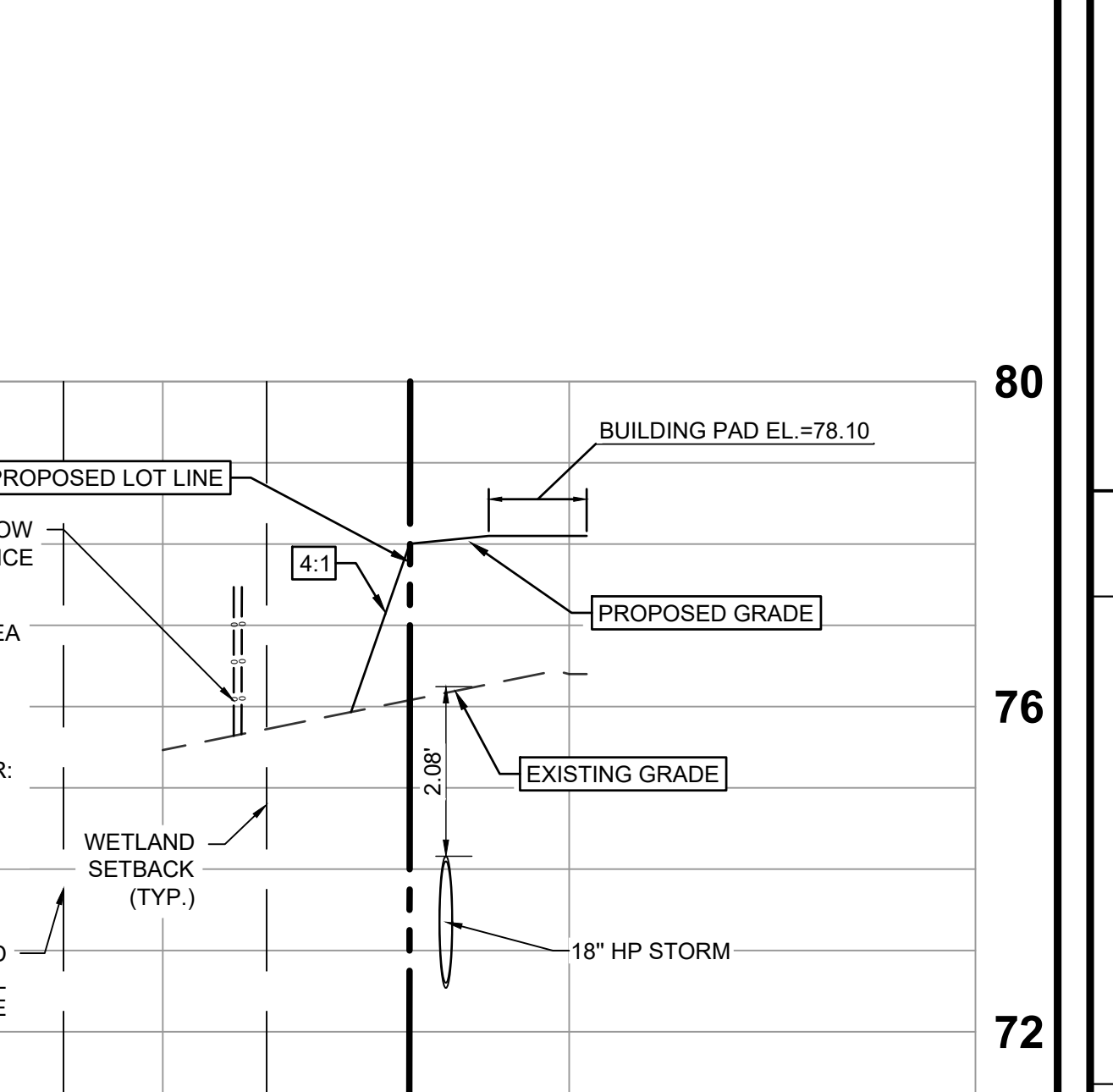
**Cross-Section B-B'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



**Cross-Section C-C'**

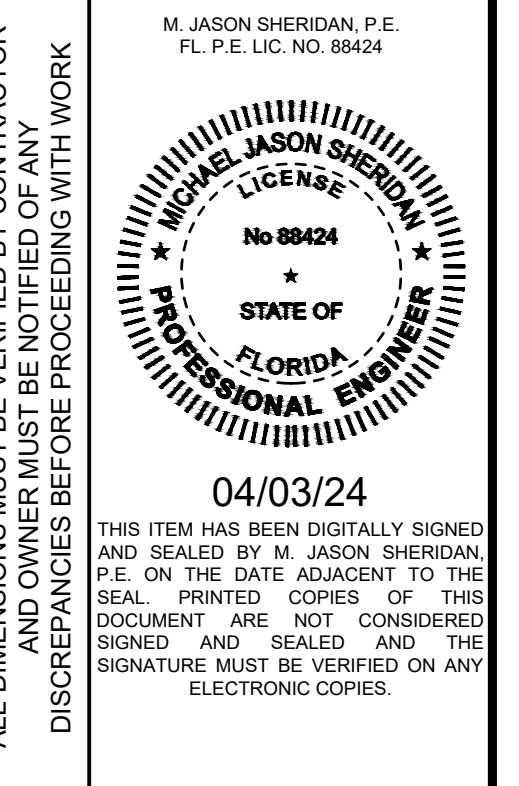
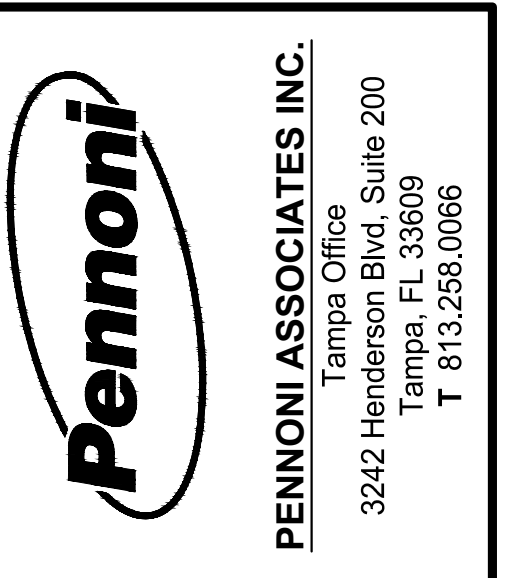
SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL



**Cross-Section L-L'**

SCALE: 1" = 20' HORIZONTAL  
1" = 2' VERTICAL

PROJECT STATUS: PLOTTED: 7/20/2024 11:14 AM BY: Ashley Verna PLOTTED: Penion KCS-08 PLOT STYLE: Penion KCS-08



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

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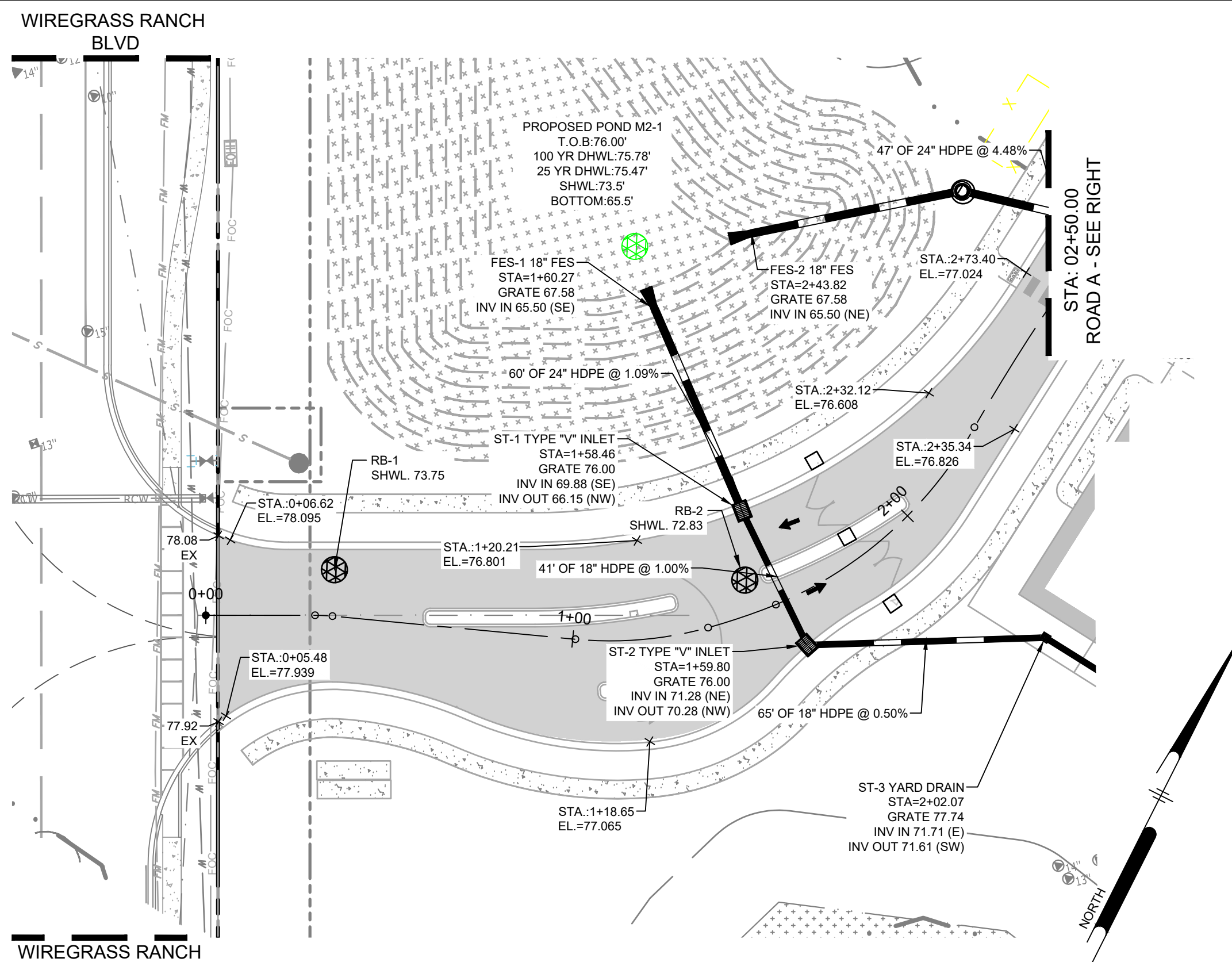
WIREGRASS M2 - TOWN HOMES  
PAVING, GRADING AND DRAINAGE PLAN-CROSS-SECTION  
JANE HOLE, LLC  
P.O. BOX 290669  
TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

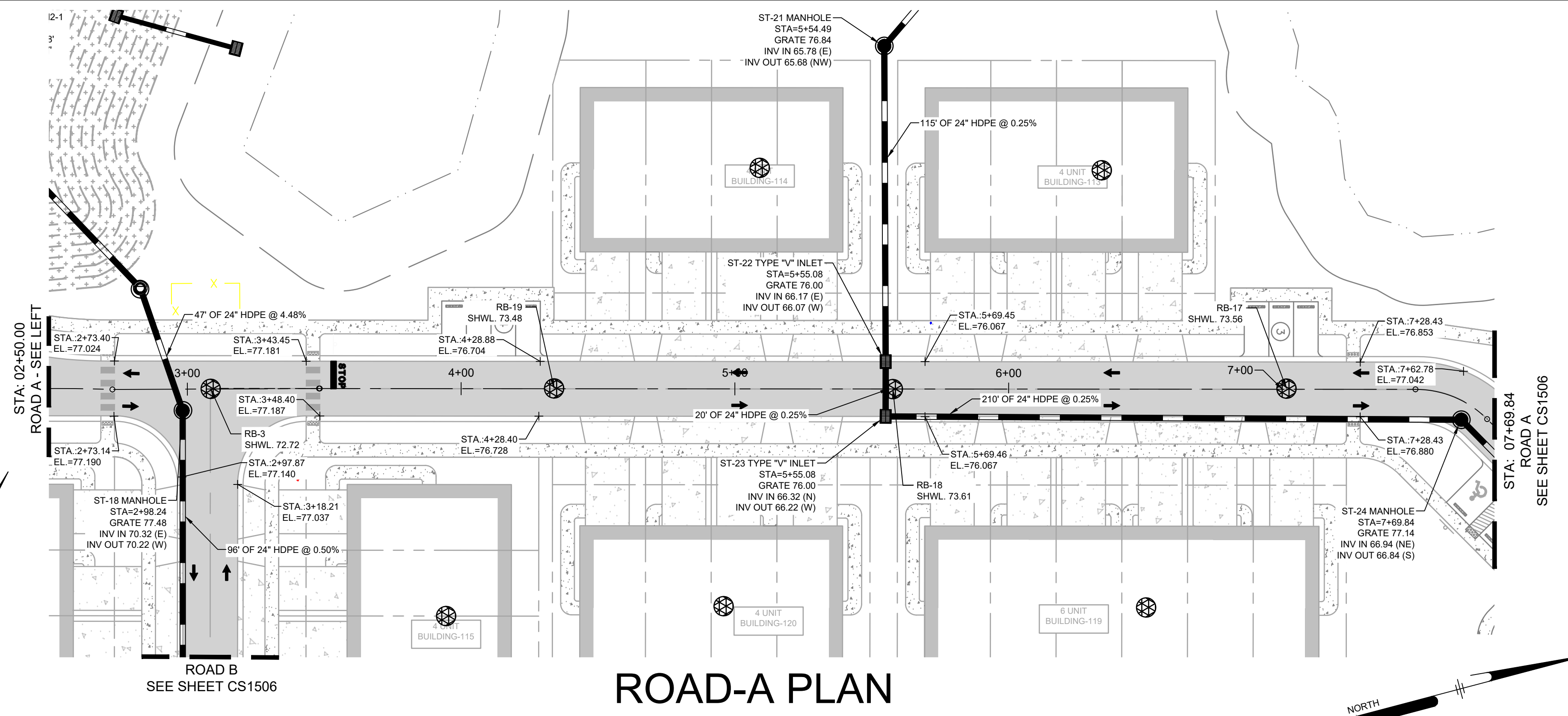
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PROJECT: LCSTB 22003  
DATE: 2024-07-15  
DRAWING SCALE: 1"=20'  
DRAWN BY: AV  
APPROVED BY: JS

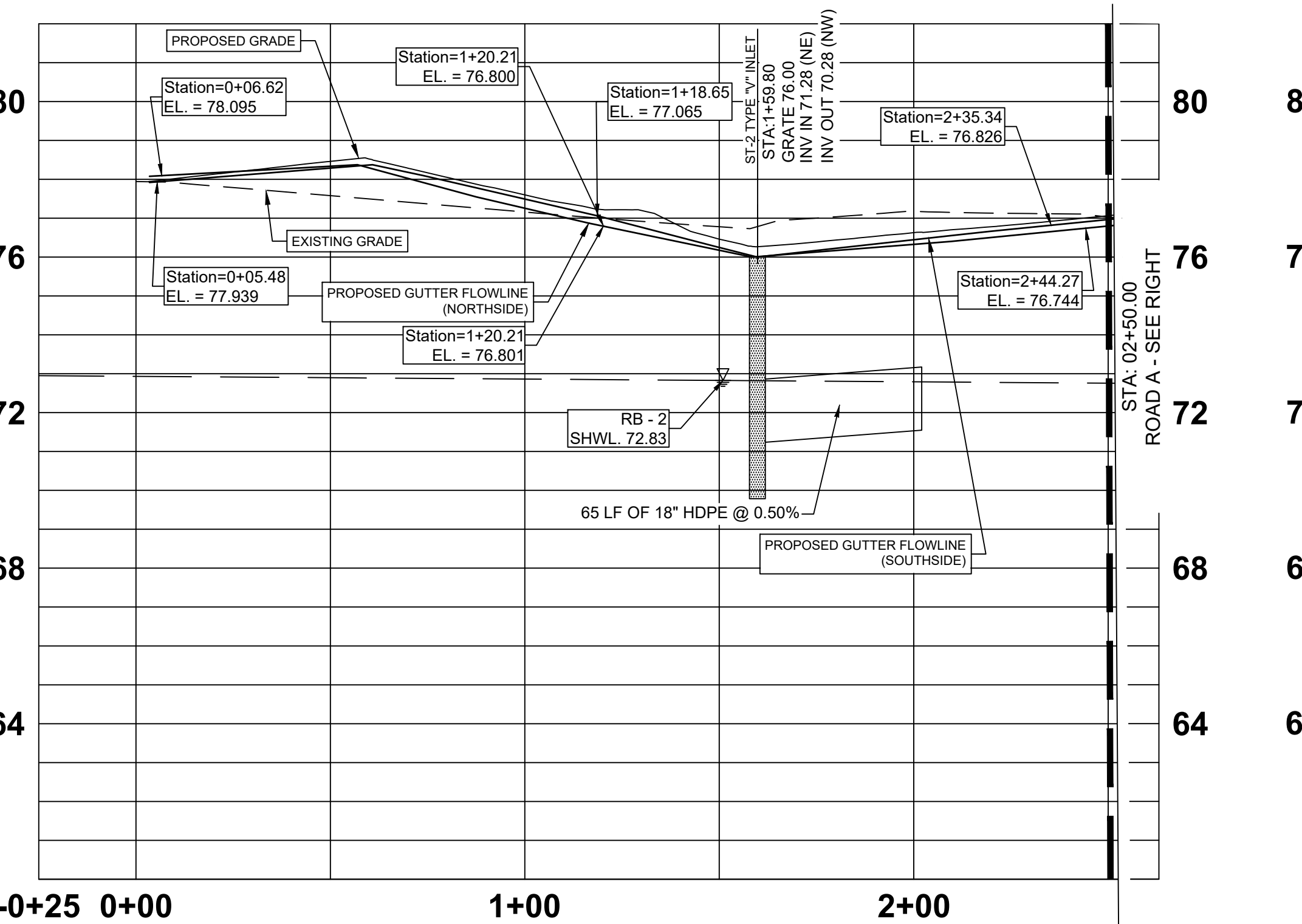
**CS1504**



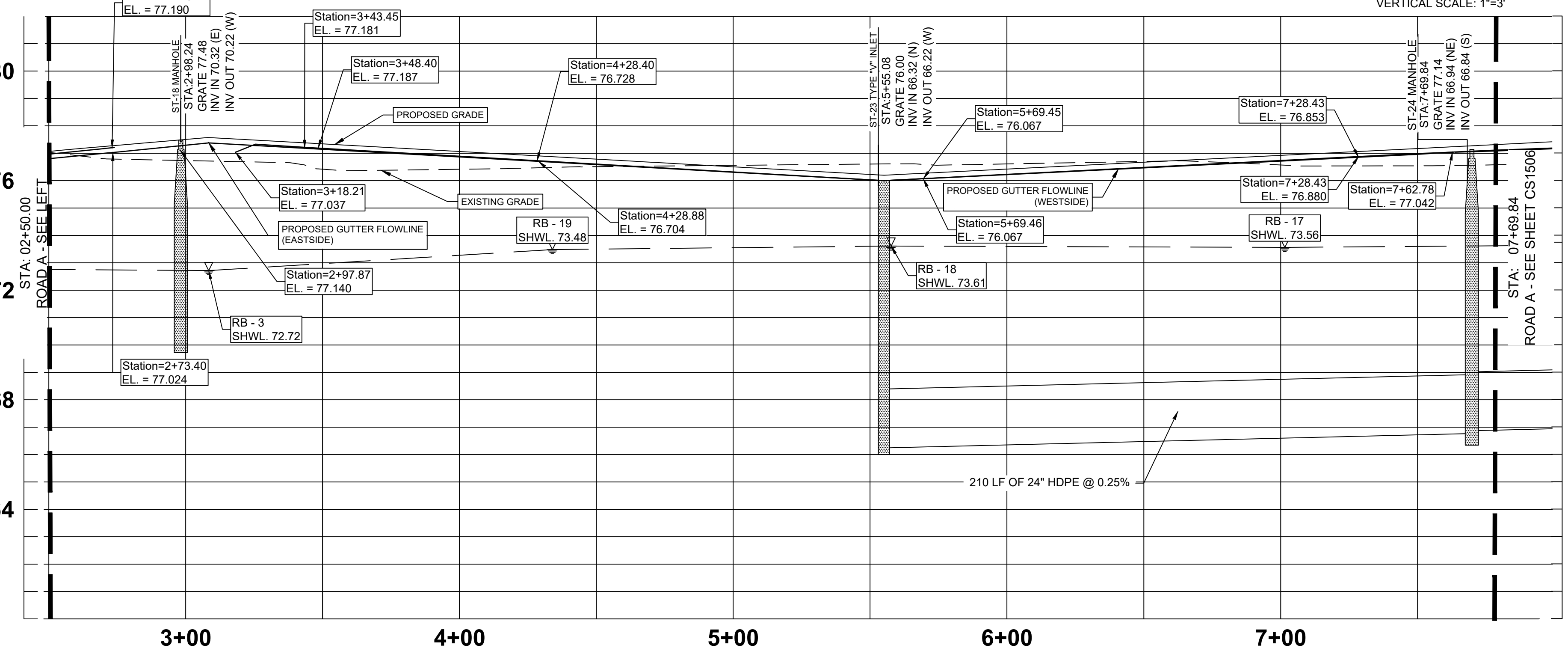
ROAD-A PLAN



ROAD-A PLAN



ROAD-A PROFILE



ROAD-A PROFILE

**Pennoni**  
 PENNONI ASSOCIATES INC.  
 Tampa Office  
 3242 Henderson Blvd., Suite 200  
 Tampa, FL 33609  
 T 813.255.0066

M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

**Professional Engineer**  
 No. 88424  
 State of Florida

04/03/24

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WIREGRASS M2 - TOWN HOMES  
 PAVING, GRADING AND DRAINAGE PLAN & PROFILE - ROAD A

JANE HOLE, LLC  
 P.O. BOX 290069  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

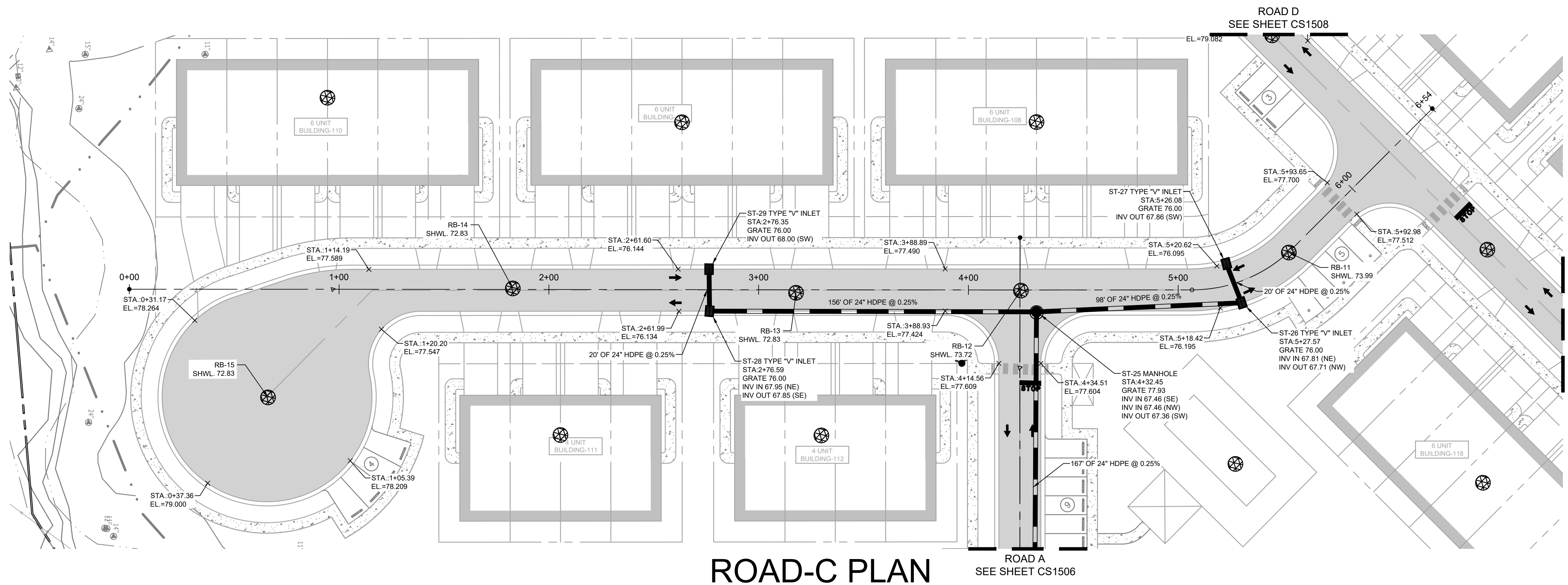
PROJECT	LCSTB 22003
DATE	2024-07-22
DRAWING SCALE	AS NOTED
DRAWN BY	AV
APPROVED BY	JS

**CS1505**

P:\2024\2024 Wiregrass M2 Townhomes - Paving\Drawings\Road A\CS1505.dwg  
 PLOTTED: 7/22/2024 11:15 AM BY: JAH/AV  
 PLOTTED: Pennoni\KCS-88  
 PROJECT: CS1505

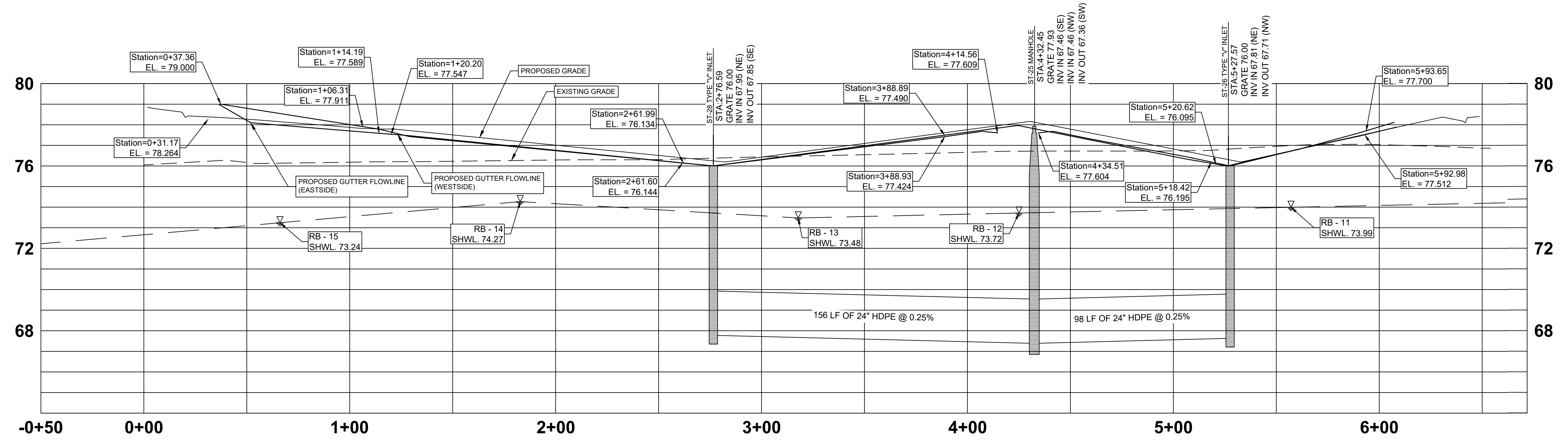
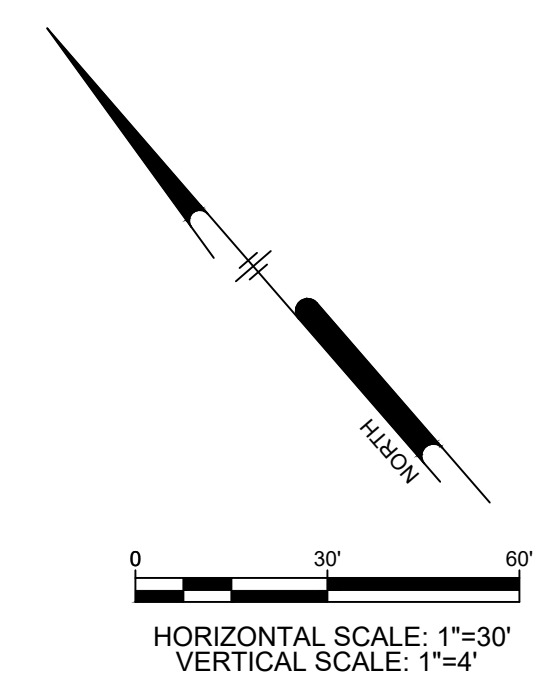






**ROAD-C PLAN**  
SEE SHEET CS1506

ROAD D  
SEE SHEET CS1705



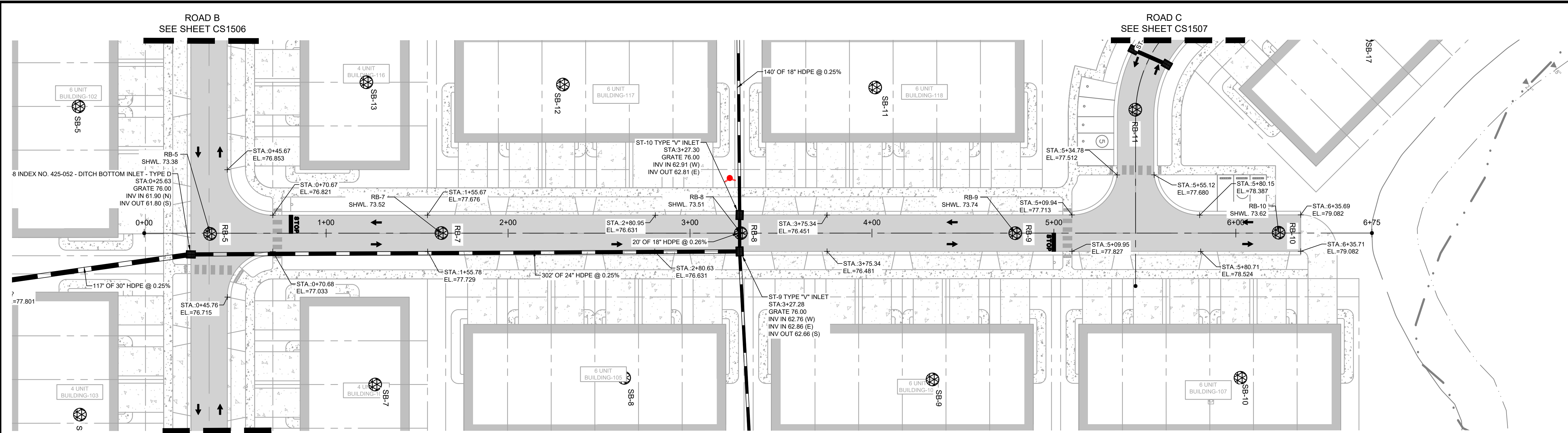
**ROAD-C PROFILE**

NO.	DATE	REVISIONS	BY

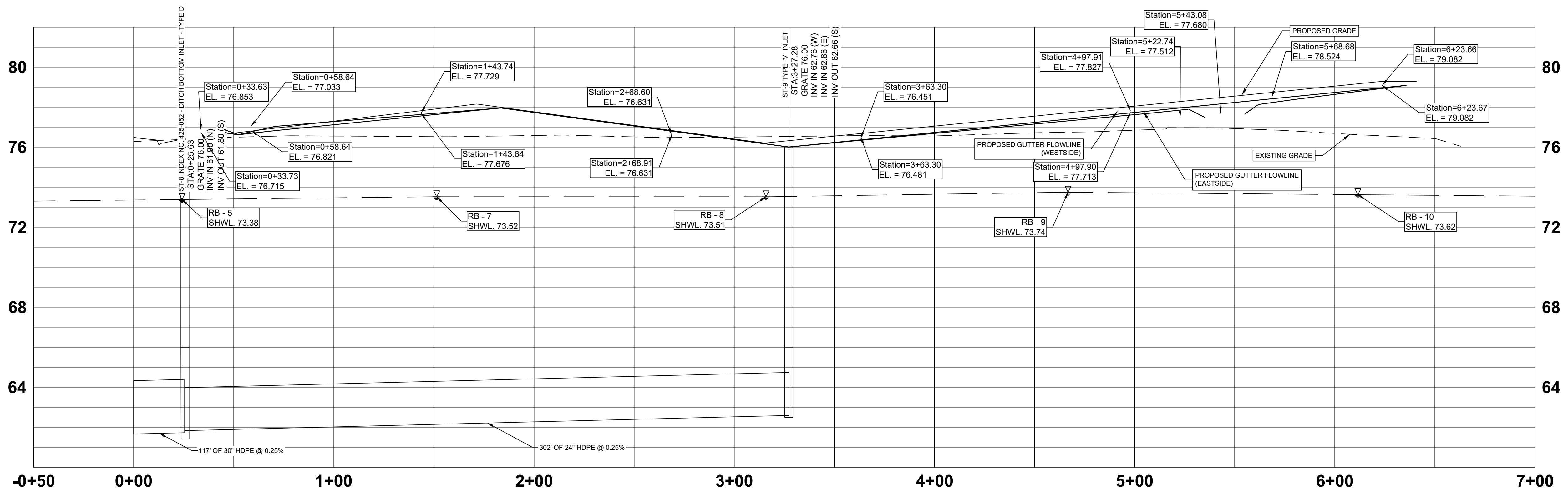
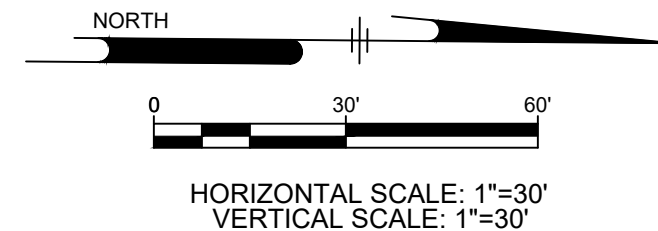
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PROJECT	LCSTB 22003
DATE	2024-07-18
DRAWING SCALE	AS NOTED
DRAWN BY	AV
APPROVED BY	JS

P:\2024\2024 Wiregrass M2 Townhomes - Pennoni\CS1507.dwg  
 PLOTTED: 7/23/2024 11:16 AM BY: Avelyn Verna  
 PLOTTED: PENNONI ASSOCIATES  
 PROJECT STATUS:



**ROAD-D PLAN**



**ROAD-D PROFILE**

**Pennoni**  
**PENNONI ASSOCIATES INC.**  
 Tampa Office  
 3242 Henderson Blvd., Suite 200  
 Tampa, FL 33609  
 T 813.256.0066

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTICED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

**Professional Engineer**  
 No. 88424  
 STATE OF FLORIDA

04/03/24

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WIREGRASS M2 - TOWN HOMES

**PAVING, GRADING AND DRAINAGE PLAN & PROFILE - ROAD D**

JANE HOLE, LLC  
 P.O. BOX 280669  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

PROJECT: LCSTB 22003

DATE: 2024-07-18

DRAWING SCALE: AS NOTED

DRAWN BY: AV

APPROVED BY: JS

**CS1508**

P:\2024\2024 Wiregrass M2 Townhomes - Paving\Drawings\RoadD\CS1508.dwg  
 PLOTTED: 7/20/24 11:17 AM BY: Avelly Verna  
 PLOTTED: Pennoni KCS.dwg  
 PROJECT STATUS:





### ELEVATIONS TABLE

NUMBER	COLOUR	DESCRIPTION	AREA (AC.)	ELEVATION (Min)	ELEVATION (Max)
1		FLOOD PLAIN IMPACT	1.04 AC.	75.0'	77.5'
2		FLOOD PLAIN COMPENSATION	0.16 AC.	72.6'	72.6'

**VOLUME:**  
**FLOOD PLAIN IMPACT (POND+BUILDING)**

BASE SURFACE:	EG SURFACE
COMPARISON SURFACE:	IMPACT SURFACE(POND)+BUILDING
CUT FACTOR:	1.00
FILL FACTOR:	1.00
EXISTING VOLUME:	1193.23 CU.YD. (CUT)
PROPOSED VOLUME:	232.27 CU.YD. (FILL)
NET VOLUME:	960.97 CU.YD. (CUT)

Surface Properties - Impact Surface

Information | Definition | Analysis | Statistics

Statistics	Value
General	
TIN	
Volume	
Base Surface	EG Surface
Comparison Surface	Impact Surface Proposed
Cut Factor	1.000
Fill Factor	1.000
Cut volume (adjusted)	1193.23 Cu. Yd.
Fill volume (adjusted)	232.27 Cu. Yd.
Net volume (adjusted)	960.97 Cu. Yd.<Cut>
Cut volume (unadjusted)	1193.23 Cu. Yd.
Fill volume (unadjusted)	232.27 Cu. Yd.
Net volume (unadjusted)	960.97 Cu. Yd.<Cut>

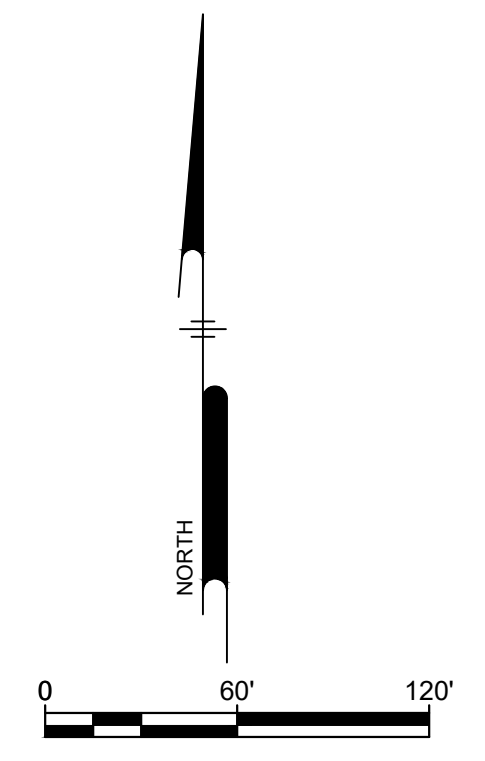
OK Cancel Apply Help

Surface Properties - Compensate Surface

Information | Definition | Analysis | Statistics

Statistics	Value
General	
TIN	
Volume	
Base Surface	EG Surface
Comparison Surface	Compensate Surface Proposed
Cut Factor	1.000
Fill Factor	1.000
Cut volume (adjusted)	958.22 Cu. Yd.
Fill volume (adjusted)	0.00 Cu. Yd.
Net volume (adjusted)	958.22 Cu. Yd.<Cut>
Cut volume (unadjusted)	958.22 Cu. Yd.
Fill volume (unadjusted)	0.00 Cu. Yd.
Net volume (unadjusted)	958.22 Cu. Yd.<Cut>

OK Cancel Apply Help



**Pennonni**  
**PENNONNI ASSOCIATES INC.**  
 Tampa Office  
 3242 Henderson Blvd., Suite 200  
 Tampa, FL 33609  
 T 813.255.0066

M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

04/03/24

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WIREGRASS M2 - TOWN HOMES

FLOOD PLAIN CALCULATIONS

JANE HOLE, LLC  
 P.O. BOX 290669  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

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PROJECT: LCSTB 22003  
 DATE: 2024-07-22  
 DRAWING SCALE: 1"=60'  
 DRAWN BY: AV  
 APPROVED BY: JS

**CS1510**

P:02/2023 (Morgan) M2 Residential Townhomes - Pennonni Associates, LLC  
 PLOT: 7232024 (118) M2, P: Ashley Verma  
 PLOT: 7232024 (118) M2, P: Ashley Verma  
 PROJECT STATUS:



**PASCO CO. NOTES**

1. ALL NEWLY INSTALLED WATER DISTRIBUTION MAINS AND SERVICE LATERALS SHALL BE COLOR CODED BLUE.
2. ALL NEWLY INSTALLED RECLAIMED WATER DISTRIBUTION MAINS AND SERVICE LATERALS SHALL BE COLOR CODED PURPLE.
3. ALL NEWLY INSTALLED FORCE MAINS AND GRAVITY LINES SHALL BE COLOR CODED GREEN.
4. CONNECTIONS TO THE COUNTY'S SYSTEM SHALL BE MADE BY WET TAP. WET TAPS SHALL BE PERFORMED EXCLUSIVELY BY PASCO COUNTY UTILITIES AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. CONTRACTOR'S RESPONSIBILITIES REGARDING WET TAPS TWO INCHES AND LARGER SHALL BE AS FOLLOWS:
  - A. 2" ONLY: THE EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET. THE COUNTY WILL PROVIDE THE TAPPING SADDLE, CORPORATION STOP, STAINLESS STEEL NIPPLE, AND IRON BODY VALVE.
  - B. 3" AND LARGER: THE CONTRACTOR SHALL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR DURATION OF THIRTY MINUTES.
  - C. THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR DEEPER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
  - D. THE TAPPING VALVE WILL REQUIRE A BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
  - E. IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$96.00.
  - F. IF CONTRACTOR HAS ANY QUESTIONS REGARDING THIS INFORMATION, PLEASE CONTACT NELSON D. HOLT, MAINTENANCE SUPERVISOR, UTILITIES BRANCH, AT (813) 235-6189, OR EMAIL NHOLT@PASCOCOUNTYFL.NET.

**UTILITY NOTES:**

1. PASCO COUNTY SHALL NOT OWN OR MAINTAIN ANY WATER LINES, SEWER LINES, OR FACILITIES CONSTRUCTED ON PRIVATE PROPERTY.
2. ALL MATERIALS AND LABOR SHALL MEET THE SPECIFICATIONS REQUIRED BY THE COUNTY. ALL CONSTRUCTION SHALL BE PERFORMED UNDER THE INSPECTION OF THE COUNTY AND IN STRICT COMPLIANCE WITH THE STANDARDS OF THE COUNTY DESIGN STANDARDS.
3. PRIVATE FIRE LINES AND HYDRANTS SHALL BE INSTALLED ONLY BY A FLORIDA STATE CERTIFIED FIRE SYSTEM CONTRACTOR.
4. ALL NEWLY INSTALLED WATER DISTRIBUTION MAINS AND SERVICE LATERALS SHALL BE COLOR CODED BLUE.
5. ALL NEWLY INSTALLED FORCE MAINS AND GRAVITY LINES SHALL BE COLOR CODED GREEN.
6. ALL NEWLY INSTALLED RECLAIMED WATER DISTRIBUTION MAINS AND SERVICE LATERALS SHALL BE COLOR CODED PURPLE.
7. CONNECTION TO THE COUNTY'S SYSTEM SHALL BE MADE BY WET TAP. WET TAPS SHALL BE PERFORMED EXCLUSIVELY BY PASCO COUNTY UTILITIES AT THE DEVELOPER'S EXPENSE. EXCAVATION, BACKFILL, AND SURFACE RESTORATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

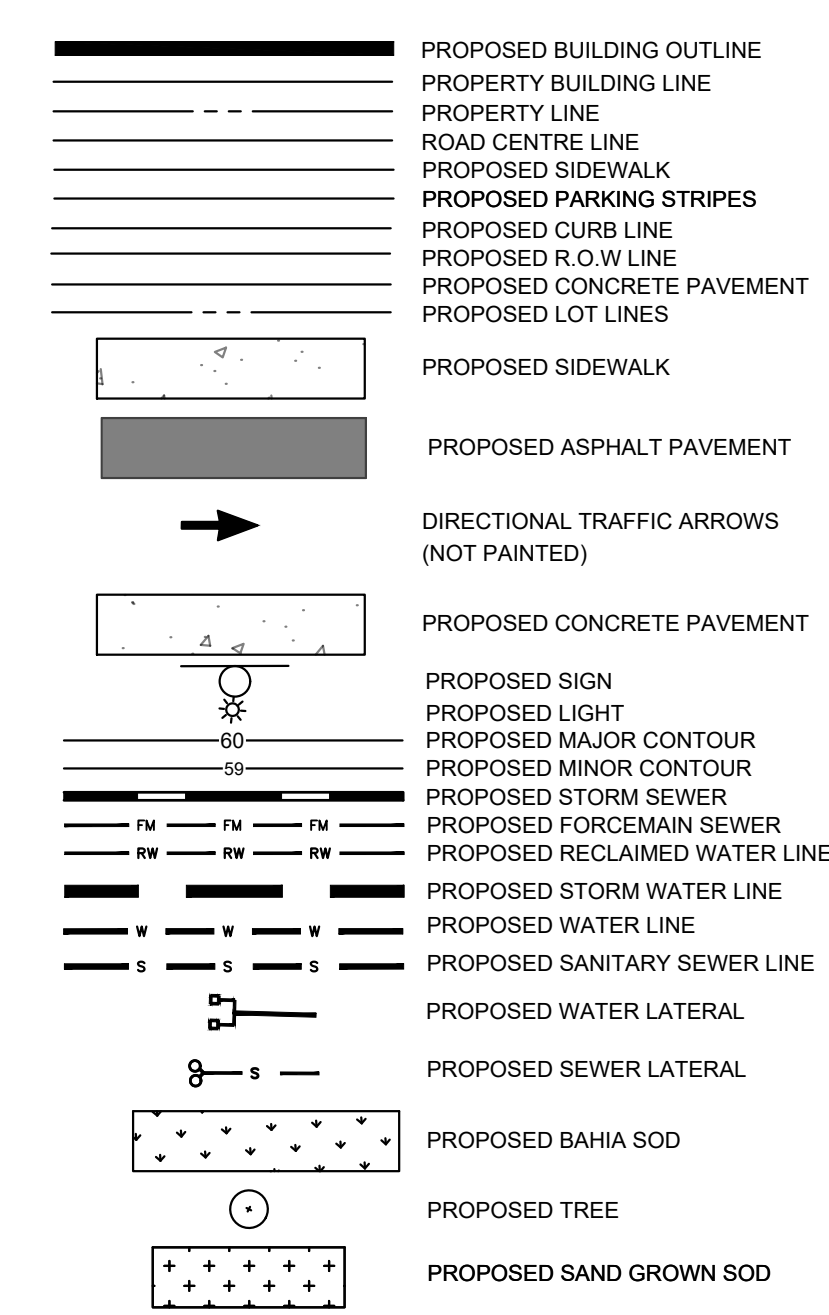
**EXISTING UTILITIES**

CONTRACTOR SHALL FIELD VERIFY THE LOCATION, ELEVATIONS AND DIMENSIONS OF ALL EXISTING UTILITIES AND SHALL NOTIFY THE ENGINEERING OF RECORD (E.O.R.) OF ANY DEVIATION FROM THE PLANS PRIOR TO PROCEEDING WITH ANY PROPOSED CONSTRUCTION.

**WET TAP NOTES:**

- CONTRACTOR'S RESPONSIBILITIES REGARDING WET TAPS TWO INCHES AND LARGER SHALL BE AS FOLLOWS:
- 2" ONLY: THE EXCAVATED TRENCH MUST BE DRY OR THE TRENCH WILL REQUIRE ROCK AND A PUMP TO BE IN PLACE. THE MINIMUM DISTANCE FROM THE FACE OF THE VALVE TO THE WALL OF THE TRENCH IS TO BE SIX FEET. THE COUNTY WILL PROVIDE THE TAPPING SADDLE, CORPORATION STOP, STAINLESS STEEL NIPPLE, AND IRON BODY VALVE.
  - 3" & LARGER: THE CONTRACTOR WILL SUPPLY A TAPPING SADDLE BEING EPOXY COATED, A TAPPING VALVE WITH MECHANICAL JOINT AND THE EQUIPMENT TO PROVIDE, AND CONDUCT A PRESSURE TEST. COUNTY PERSONNEL WILL WITNESS THE PRESSURE TEST WHICH MUST BE AT 150 PSI FOR THE DURATION OF 30 MINUTES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE EXCAVATION BEFORE ANY COUNTY PERSONNEL WILL ENTER AN EXCAVATED AREA. IF THE TRENCH IS FOUR FEET IN DEPTH OR GREATER, IT WILL REQUIRE A TRENCH BOX OR SLOPING, AND A LADDER ACCORDING TO OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS.
- THE TAPPING VALVE WILL REQUIRE BLOCKING DEVICE MADE OF SUITABLE MATERIAL OR DEVICE. THIS BLOCKING DEVICE OR MATERIAL WILL BE PLACED UNDER THE VALVE AND REMAIN IN PLACE UNTIL THE TAP MACHINE IS REMOVED AND THE TAP IS COMPLETED.
- NOTE: IF THE CONTRACTOR HAS NOT FULFILLED HIS RESPONSIBILITIES, AS STATED ABOVE, PRIOR TO THE ARRIVAL OF PASCO COUNTY UTILITIES OPERATIONS AND MAINTENANCE TAPPING CREW, THERE WILL BE AN ADDITIONAL CHARGE OF \$96.00.
- IF THERE ARE ANY QUESTIONS REGARDING THIS INFORMATION, CONTACT NELSON D. HOLT, MAINTENANCE SUPERVISOR, UTILITIES SERVICE BRANCH AT (813) 235-6189, OR EMAIL NHOLT@PASCOCOUNTYFL.NET.

**PROPOSED LEGEND**



**SLEEVING NOTE**

SITE CONTRACTOR TO COORDINATE THE INSTALLATION OF ALL SLEEVES FOR UTILITIES, GAS, LIGHTING, IRRIGATION, ETC. PER THOSE PLANS PRIOR TO INSTALLATION OF THE BASE MATERIAL. PROVIDE PULL BOXES AS NECESSARY FOR SLEEVING.

**FIRE HYDRANT NOTE**

FIRE HYDRANTS SHALL BE FLOW-TESTED AND COLOR CODED BASED ON FLOW RESULTS

**UTILITY SERVICES**

ALL WATER METERS AND SEWER CLEAN OUTS SHALL BE TRAFFIC BEARING.

**PENNONI ASSOCIATES INC.**  
Tampa Office  
3242 Henderson Blvd., Suite 200  
Tampa, FL 33609  
T 813.255.0066

M. JASON SHERIDAN, P.E.  
FL. P.E. LIC. NO. 88424

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WIREGRASS M2 - TOWN HOMES  
OVERALL UTILITY PLAN

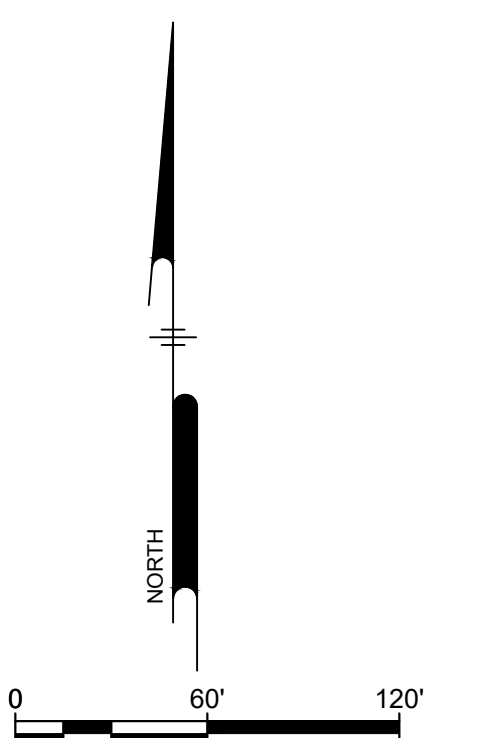
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P.O. BOX 290669  
TAMPA, FL 33687

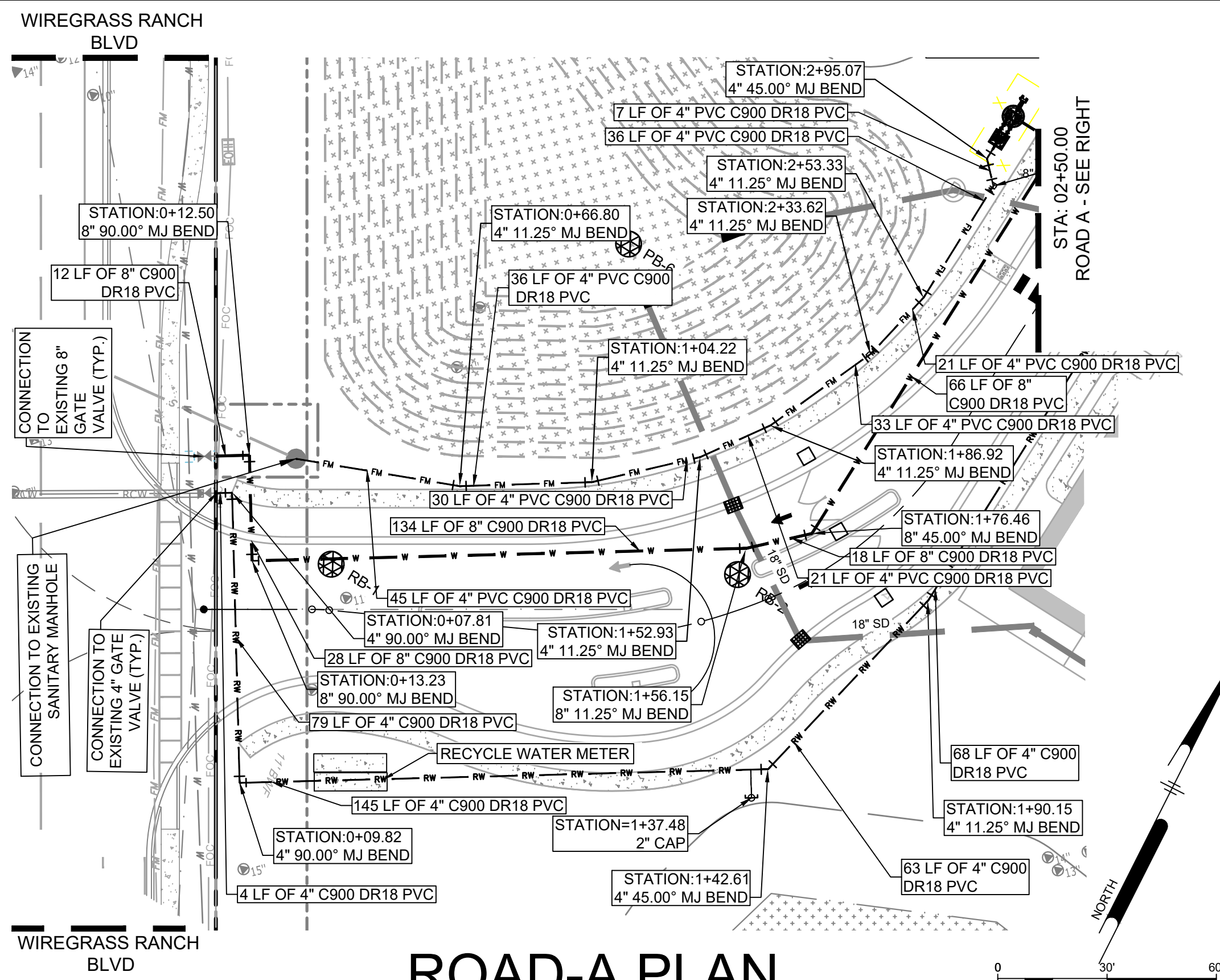
NO.	DATE	REVISIONS	BY

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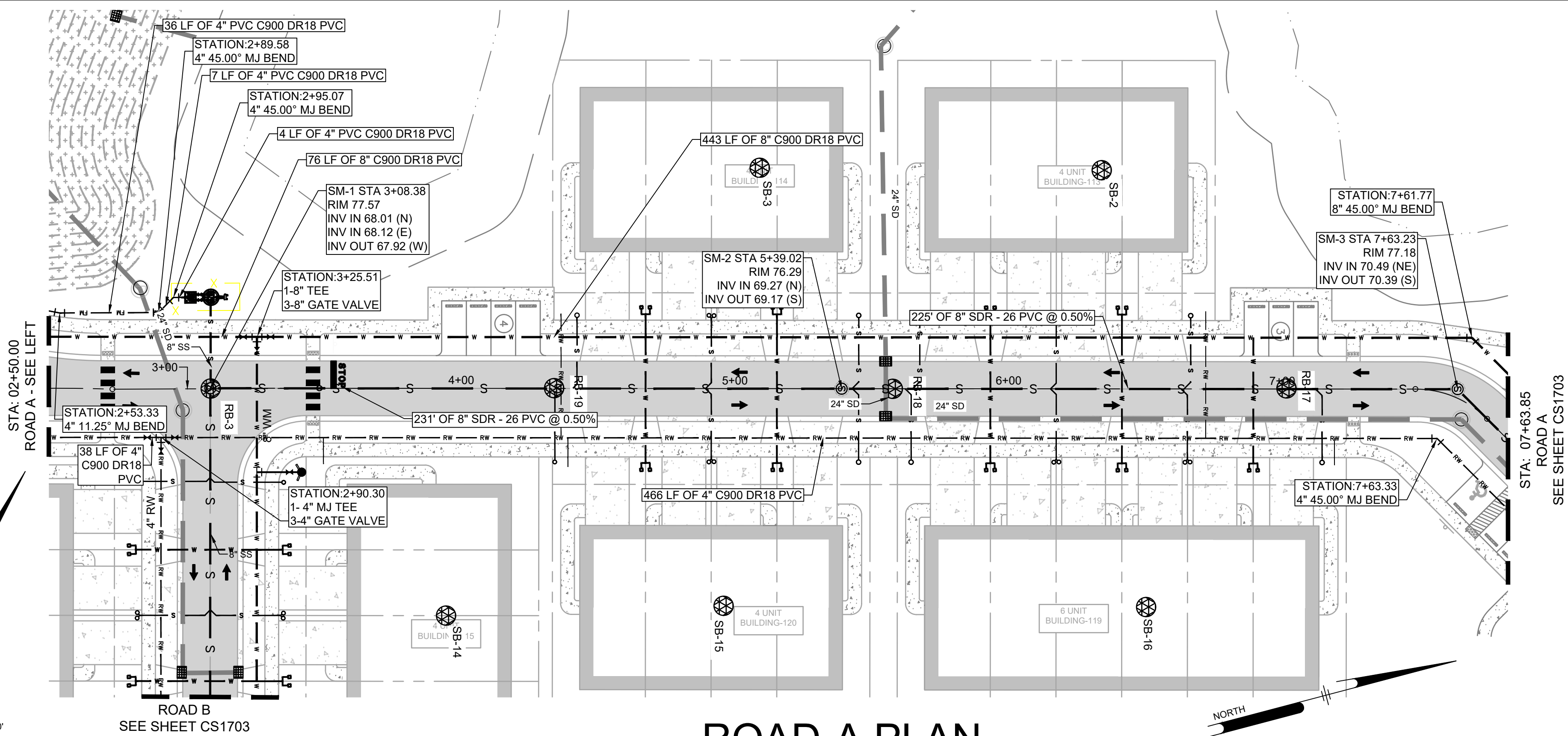
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DATE: 2024-07-18  
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APPROVED BY: JS

**CS1701**

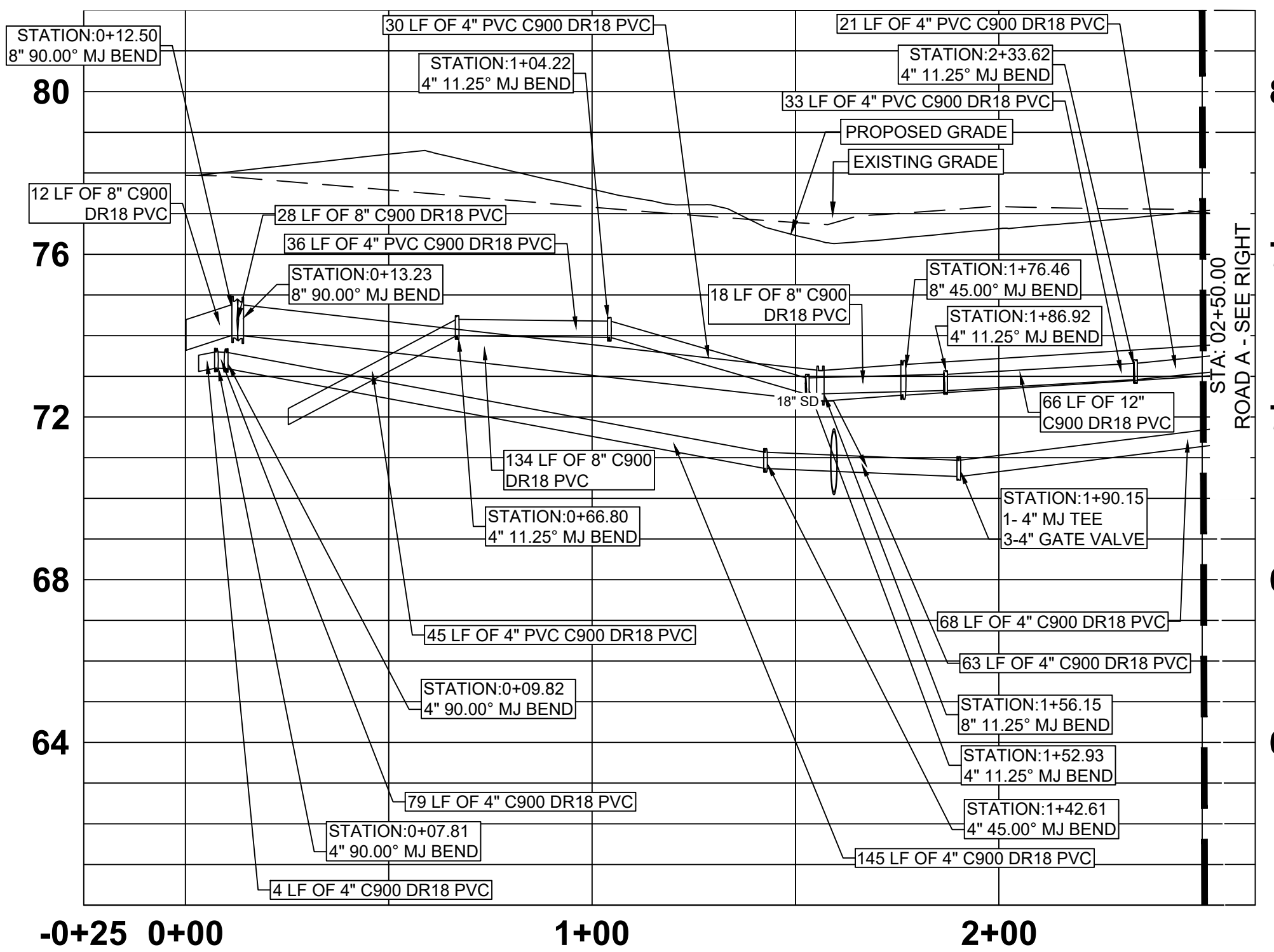




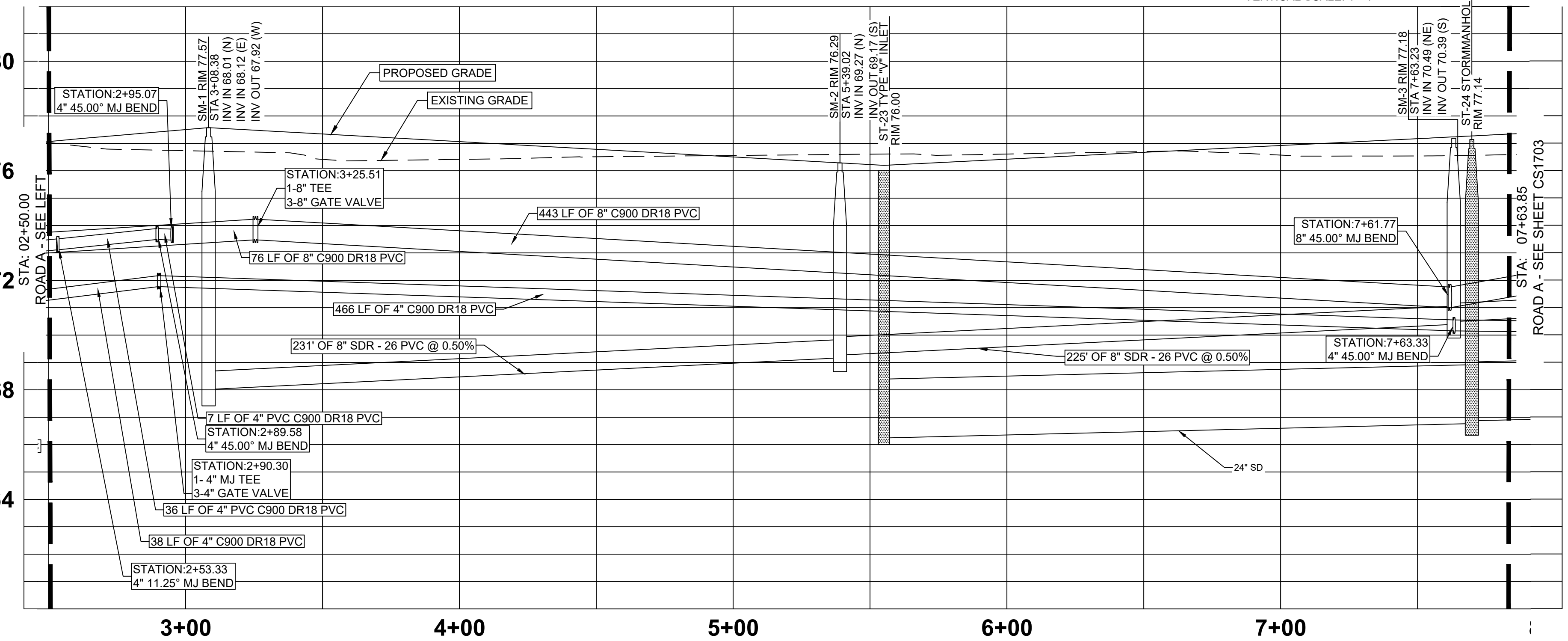
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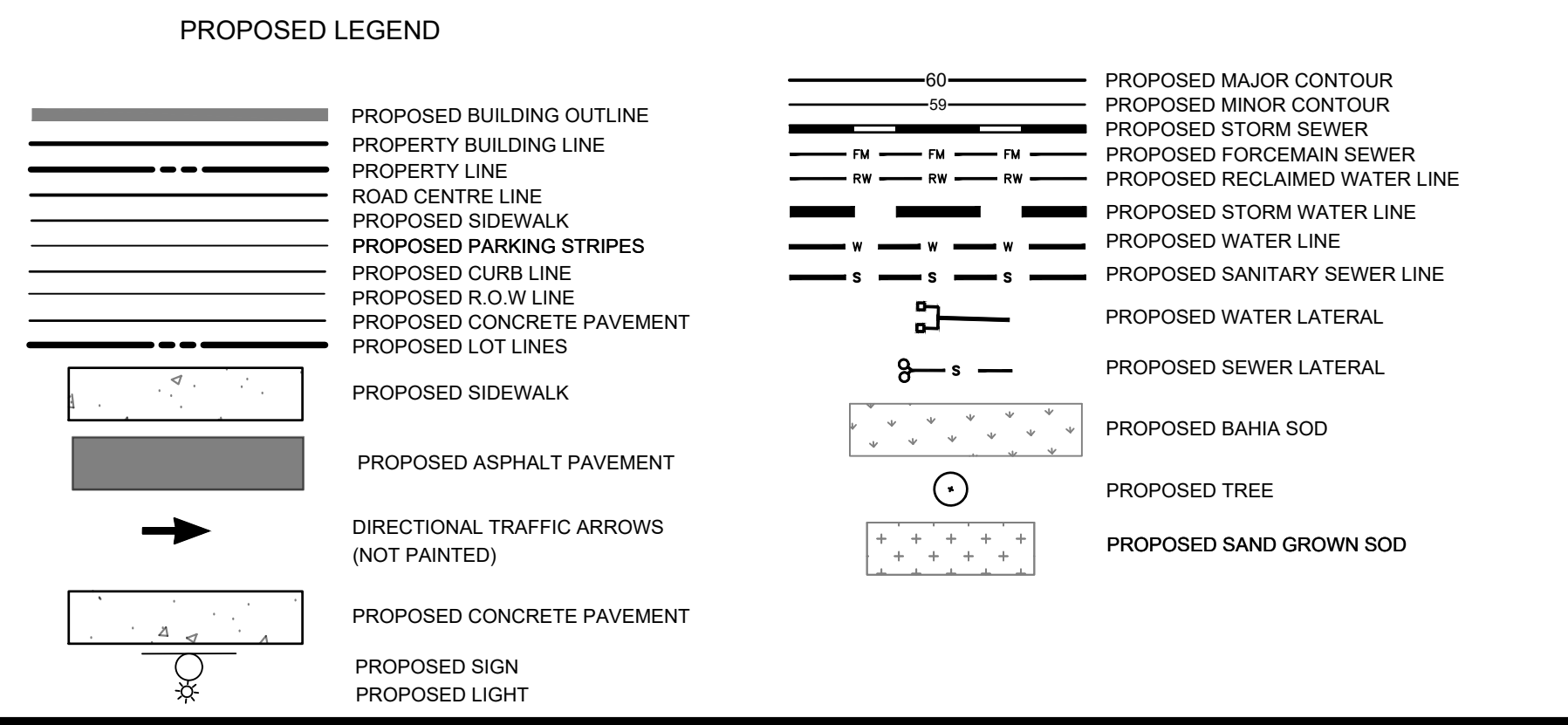
ROAD-A PLAN



ROAD-A PROFILE



ROAD-A PROFILE



**Pennoni**  
 PENNONI ASSOCIATES INC.  
 Tampa Office  
 3242 Henderson Blvd., Suite 200  
 Tampa, FL 33609  
 T 813.255.0066

M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

**Professional Engineer**  
 No. 88424  
 STATE OF FLORIDA

04/03/24

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WIREGRASS M2 - TOWN HOMES  
 UTILITY PLAN & PROFILE - ROAD A

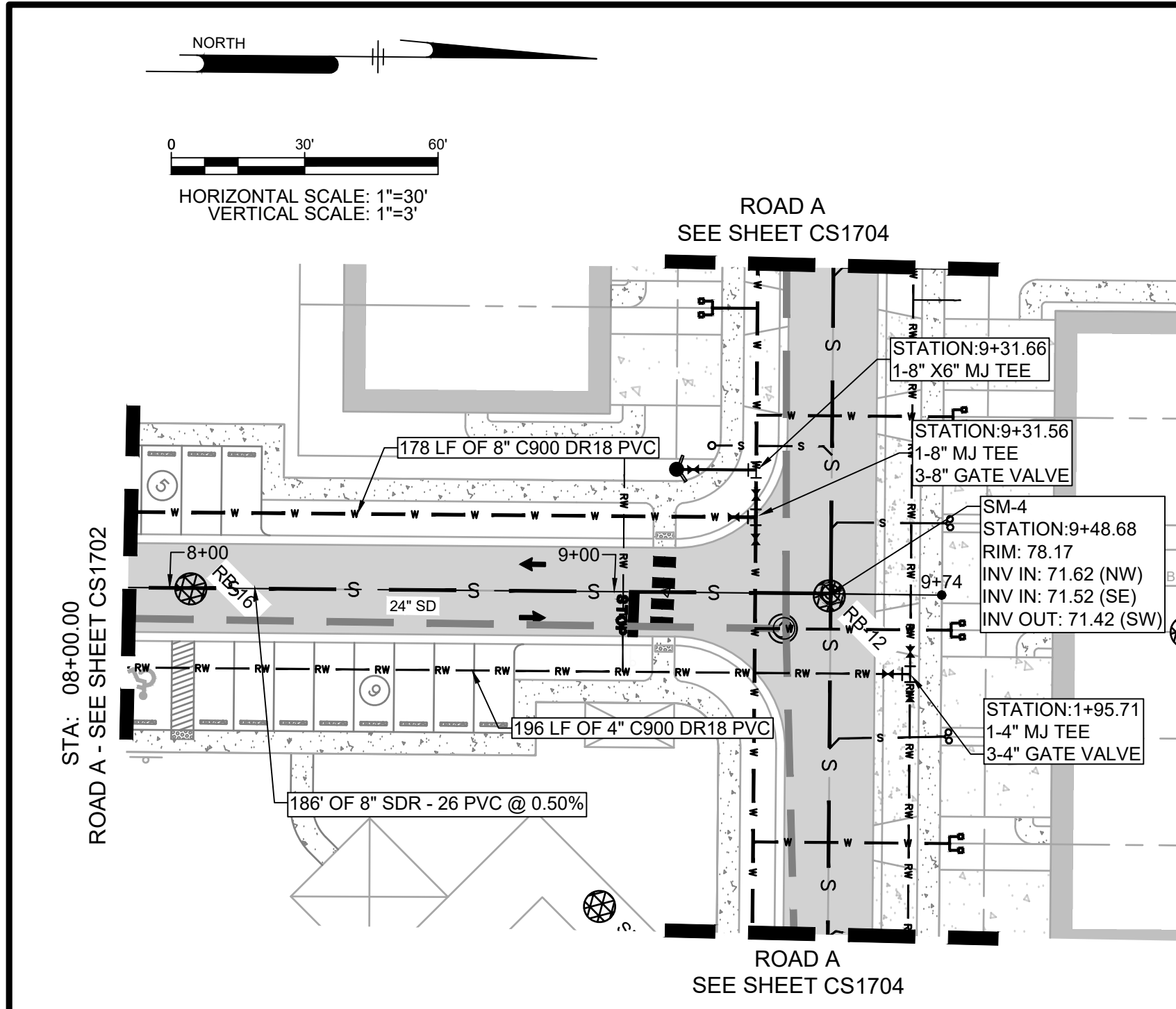
JANE HOLE, LLC  
 P.O. BOX 290069  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

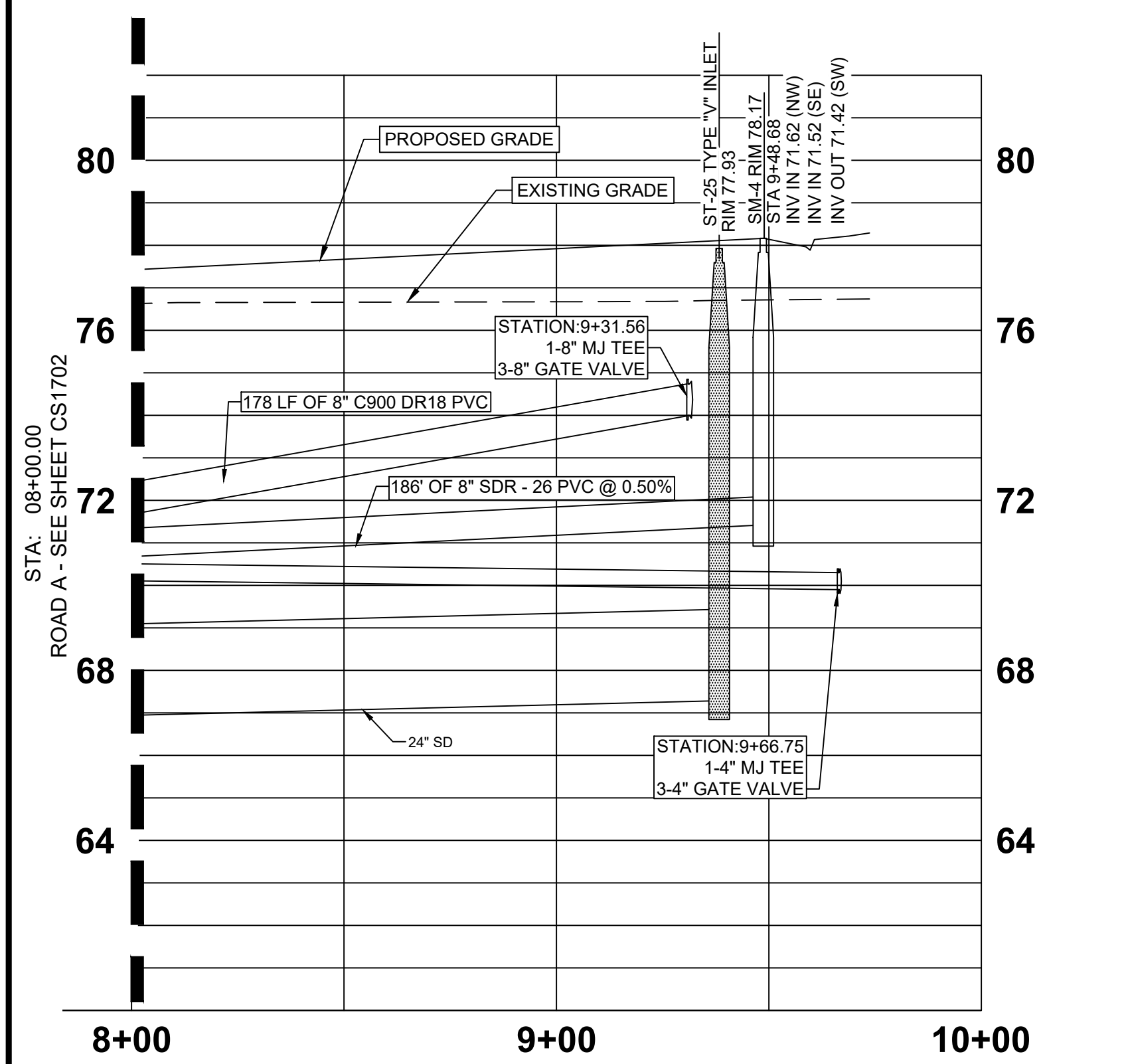
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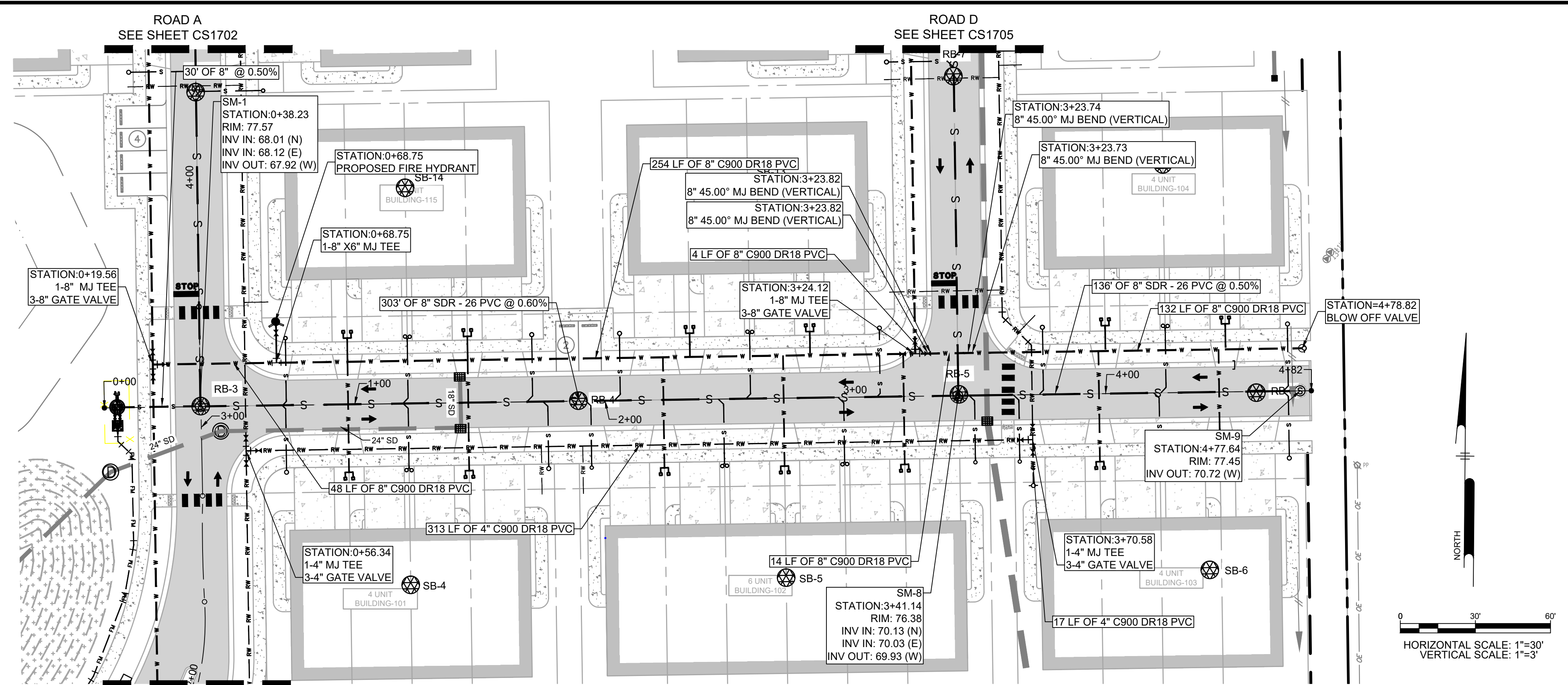
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 PLOTTED: 7/22/2024 1:19:04 PM By: Anthony Verna  
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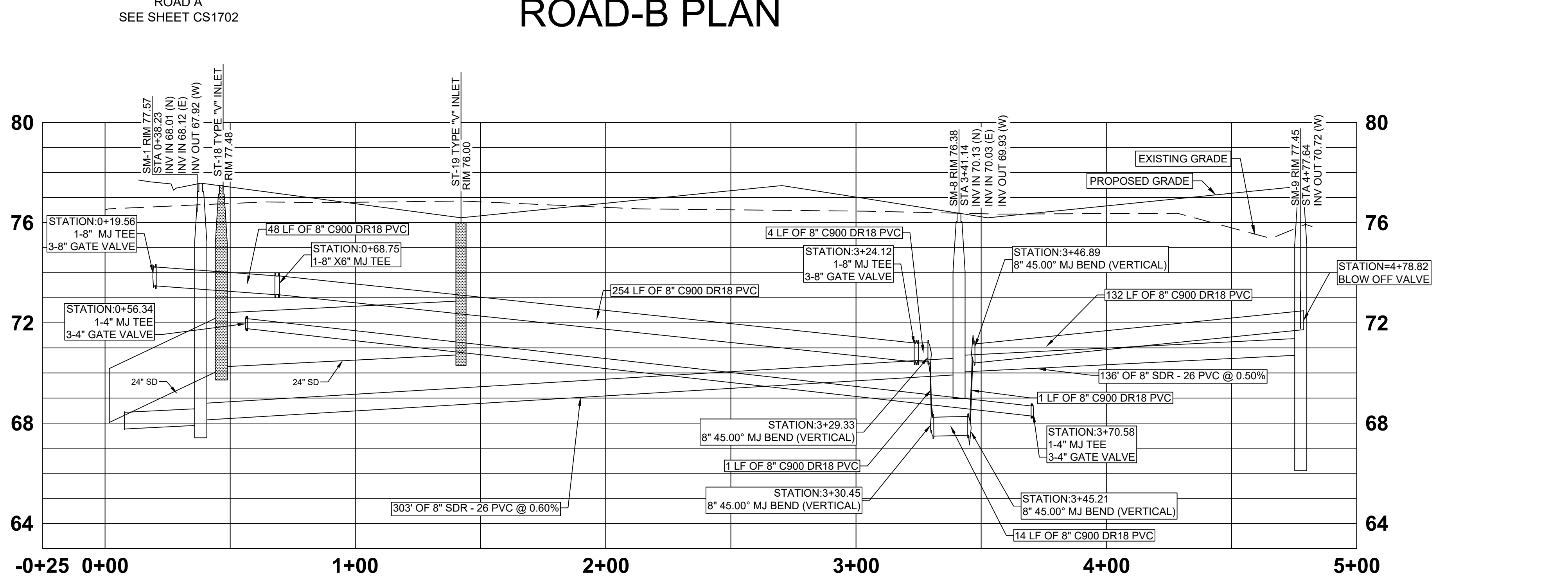
ROAD-A PLAN



ROAD-A PROFILE



ROAD-B PLAN



ROAD-B PROFILE

PROPOSED LEGEND

	PROPOSED BUILDING OUTLINE		PROPOSED MAJOR CONTOUR
	PROPERTY BUILDING LINE		PROPOSED MINOR CONTOUR
	PROPERTY LINE		PROPOSED STORM SEWER
	ROAD CENTRE LINE		PROPOSED FORCE MAIN SEWER
	PROPOSED SIDEWALK		PROPOSED RECLAIMED WATER LINE
	PROPOSED PARKING STRIPES		PROPOSED STORM WATER LINE
	PROPOSED CURB LINE		PROPOSED WATER LINE
	PROPOSED R.O.W. LINE		PROPOSED SANITARY SEWER LINE
	PROPOSED CONCRETE PAVEMENT		PROPOSED WATER LATERAL
	PROPOSED LOT LINES		PROPOSED SEWER LATERAL
	PROPOSED SIDEWALK		PROPOSED BAHIA SOD
	PROPOSED ASPHALT PAVEMENT		PROPOSED TREE
	DIRECTIONAL TRAFFIC ARROWS (NOT PAINTED)		PROPOSED SAND GROWN SOD
	PROPOSED CONCRETE PAVEMENT		
	PROPOSED SIGN		
	PROPOSED LIGHT		

**Pennoni**  
 PENNONI ASSOCIATES INC.  
 Tampa Office  
 3242 Henderson Blvd., Suite 200  
 Tampa, FL 33609  
 T 813.256.0066

M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

**Professional Engineer**  
 No. 88424  
 STATE OF FLORIDA

04/03/24

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WIREGRASS M2 - TOWN HOMES  
 UTILITY PLAN & PROFILE - ROAD A & B

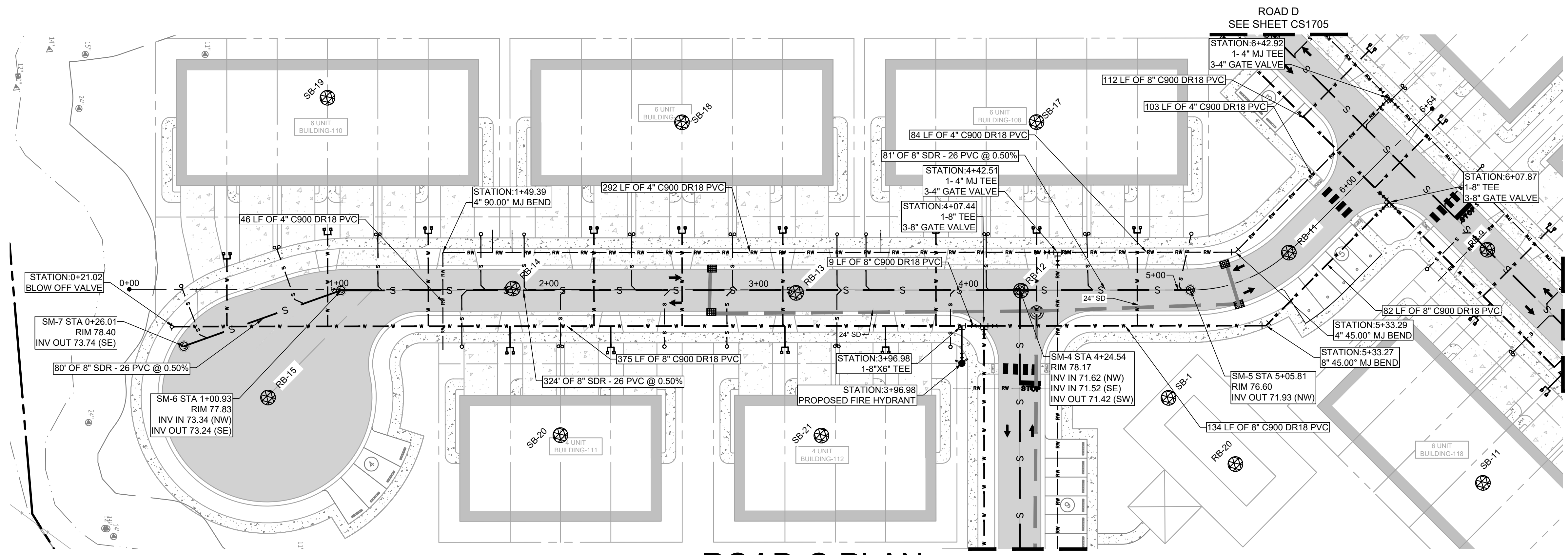
JANE HOLE, LLC  
 P.O. BOX 290669  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

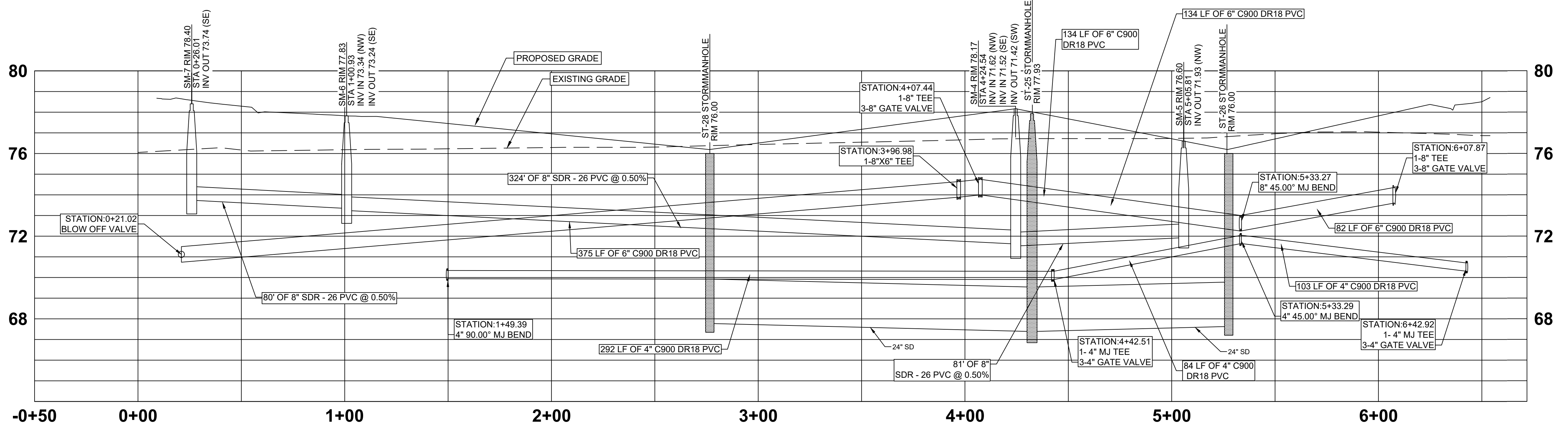
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 DATE 2024-07-18  
 DRAWING SCALE AS NOTED  
 DRAWN BY AV  
 APPROVED BY JS

**CS1703**

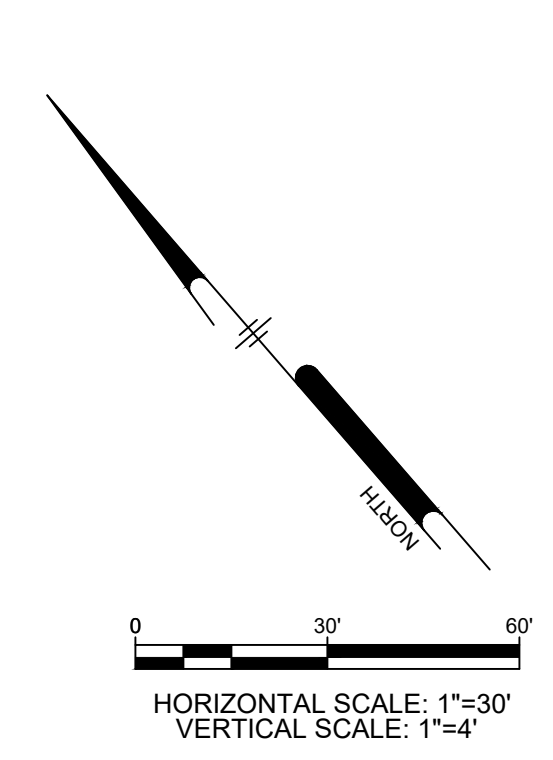
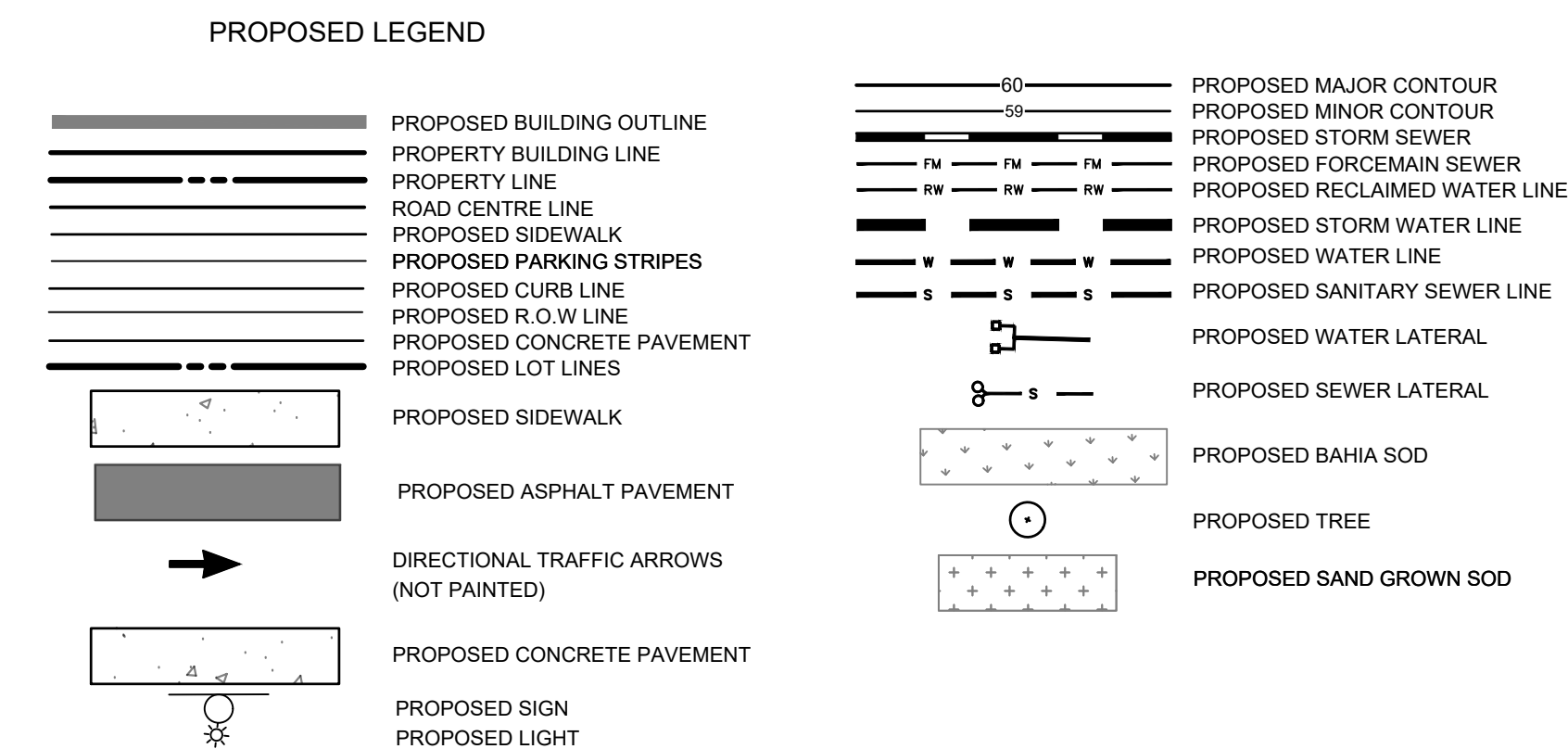
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 PROJECT: 22003  
 PROJECT: 22003



**ROAD-C PLAN**



**ROAD-C PROFILE**



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 PLOTTED: 7/26/2024 11:21 AM BY: Aashu Verma  
 PROJECT STATUS:

**Pennoni**  
 PENNONI ASSOCIATES INC.  
 Tampa Office  
 3242 Henderson Blvd., Suite 200  
 Tampa, FL 33609  
 T 813.256.0066

M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424

**Professional Engineer**  
 License No. 88424  
 State of Florida

04/03/24

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WIREGRASS M2 - TOWN HOMES  
 UTILITY PLAN & PROFILE - ROAD C

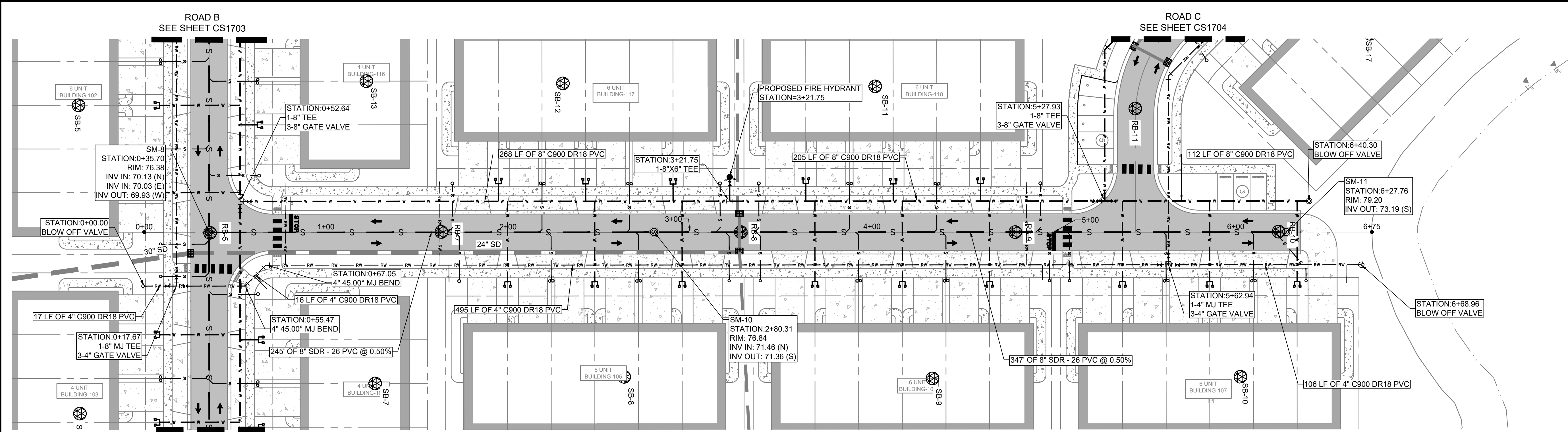
JANE HOLE, LLC  
 P.O. BOX 290669  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

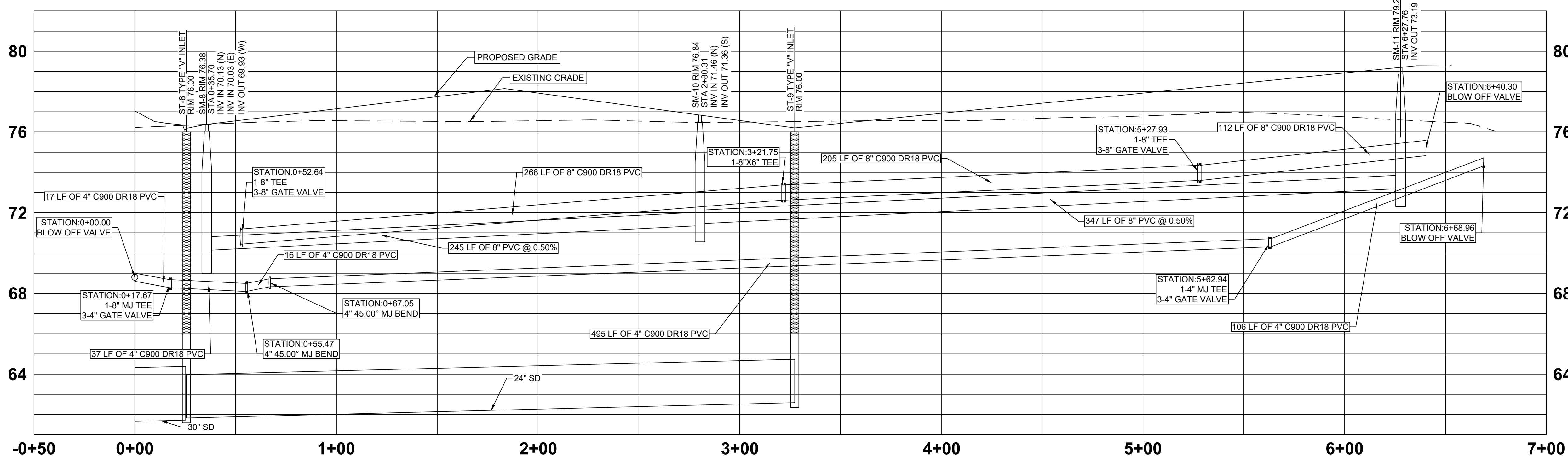
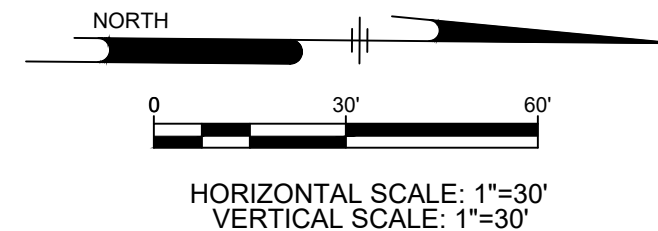
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 DATE: 2024-07-18  
 DRAWING SCALE: AS NOTED  
 DRAWN BY: AV  
 APPROVED BY: JS

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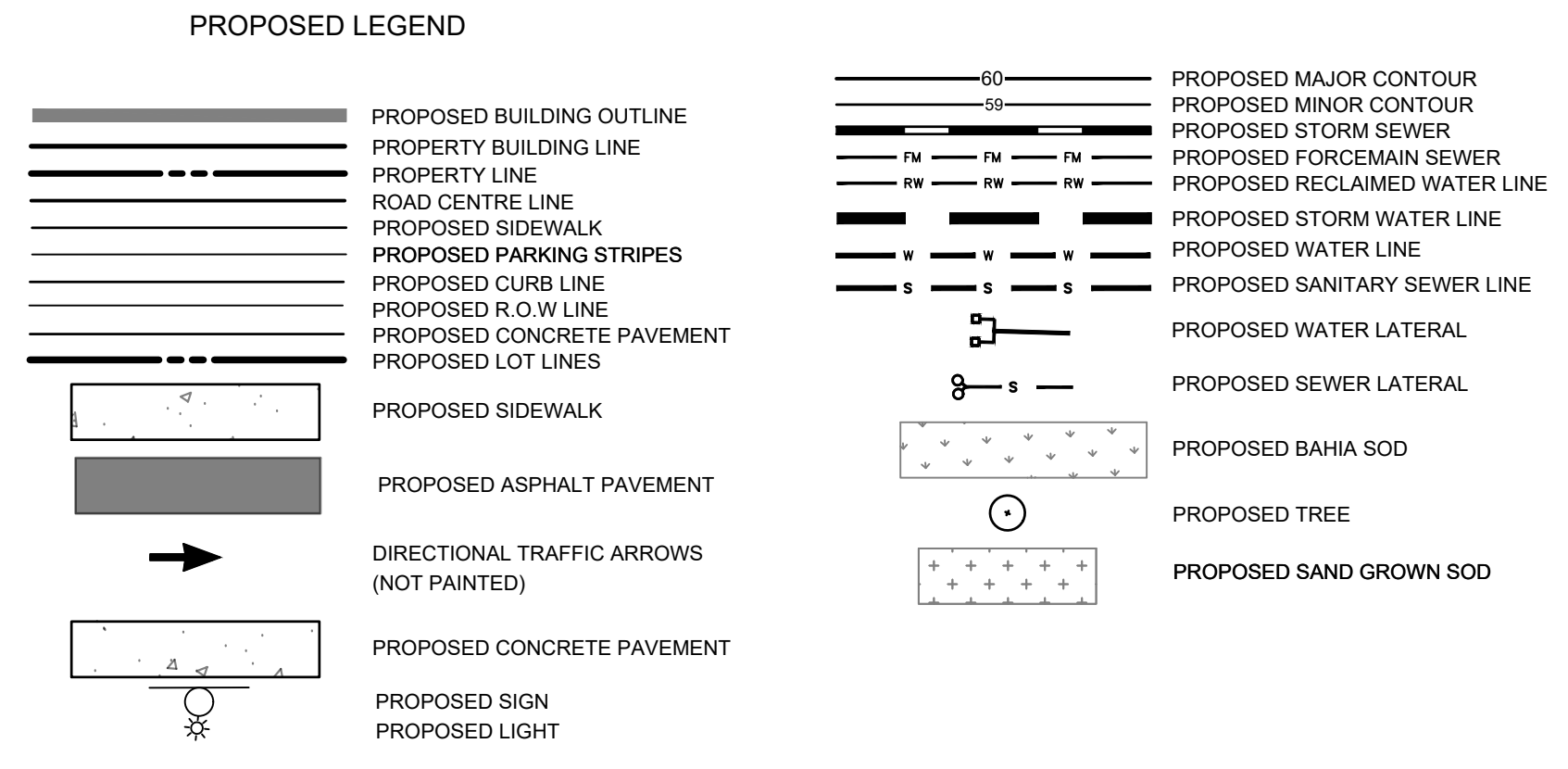




**ROAD-D PLAN**



**ROAD-D PROFILE**



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 PLOTTSTYLE: Pennoni VCS.dwg  
 PROJECT STATUS:

**PENNONI ASSOCIATES INC.**  
 Tampa Office  
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M. JASON SHERIDAN, P.E.  
 FL. P.E. LIC. NO. 88424  
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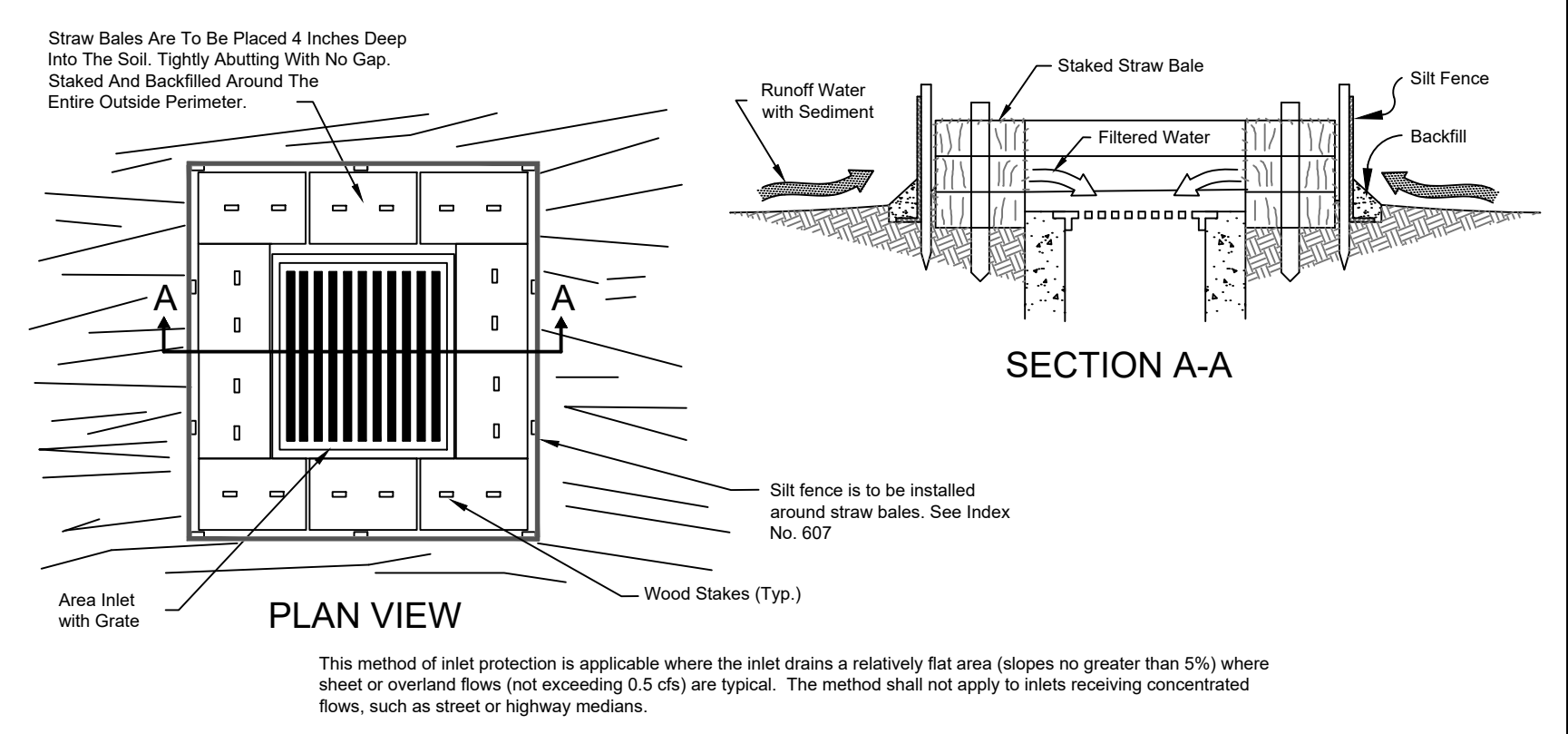
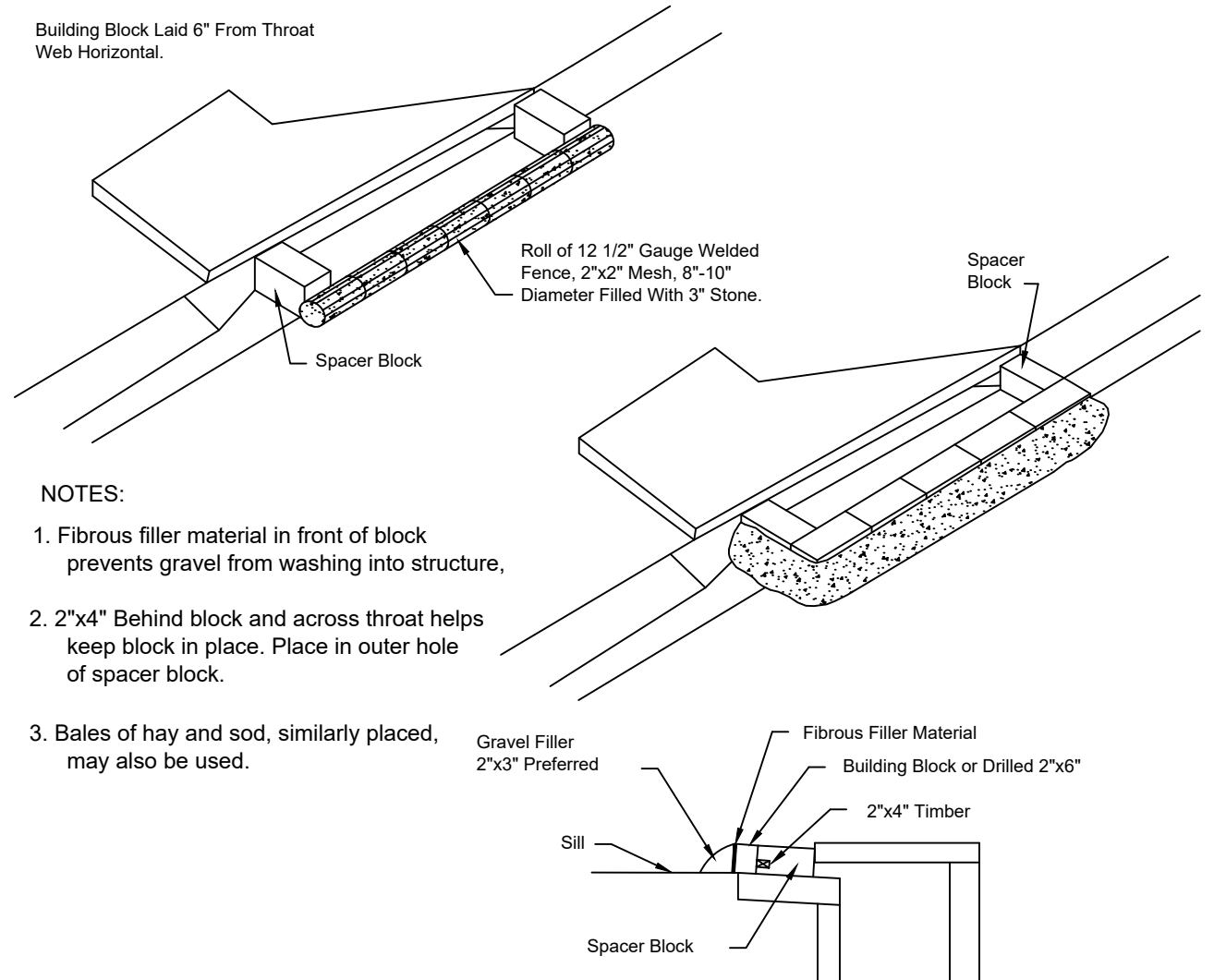
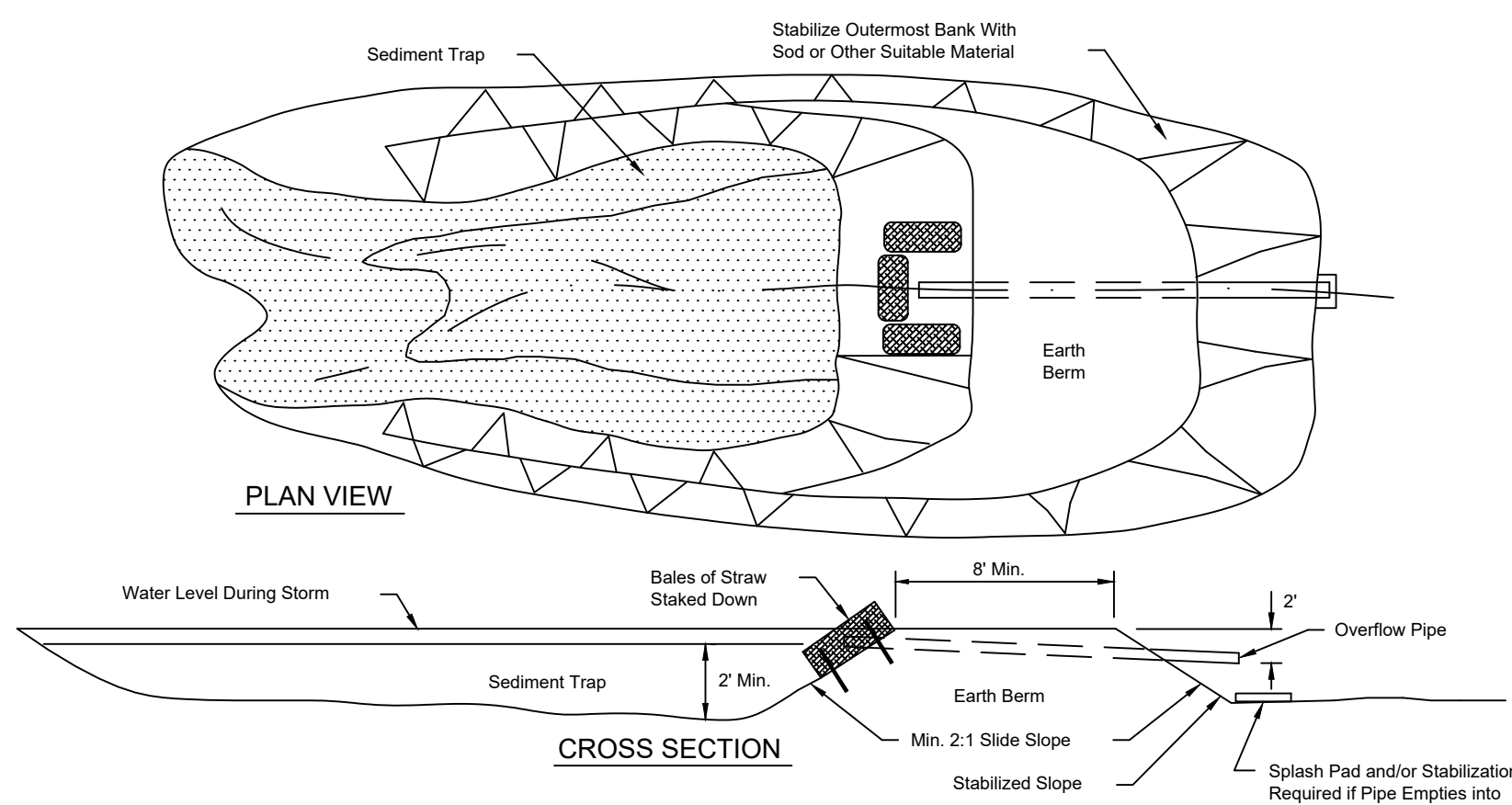
**WIREGRASS M2 - TOWN HOMES**  
**UTILITY PLAN & PROFILE - ROAD D**  
 JANE HOLE, LLC  
 P.O. BOX 290669  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

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 DATE: 2024-07-18  
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 APPROVED BY: JS

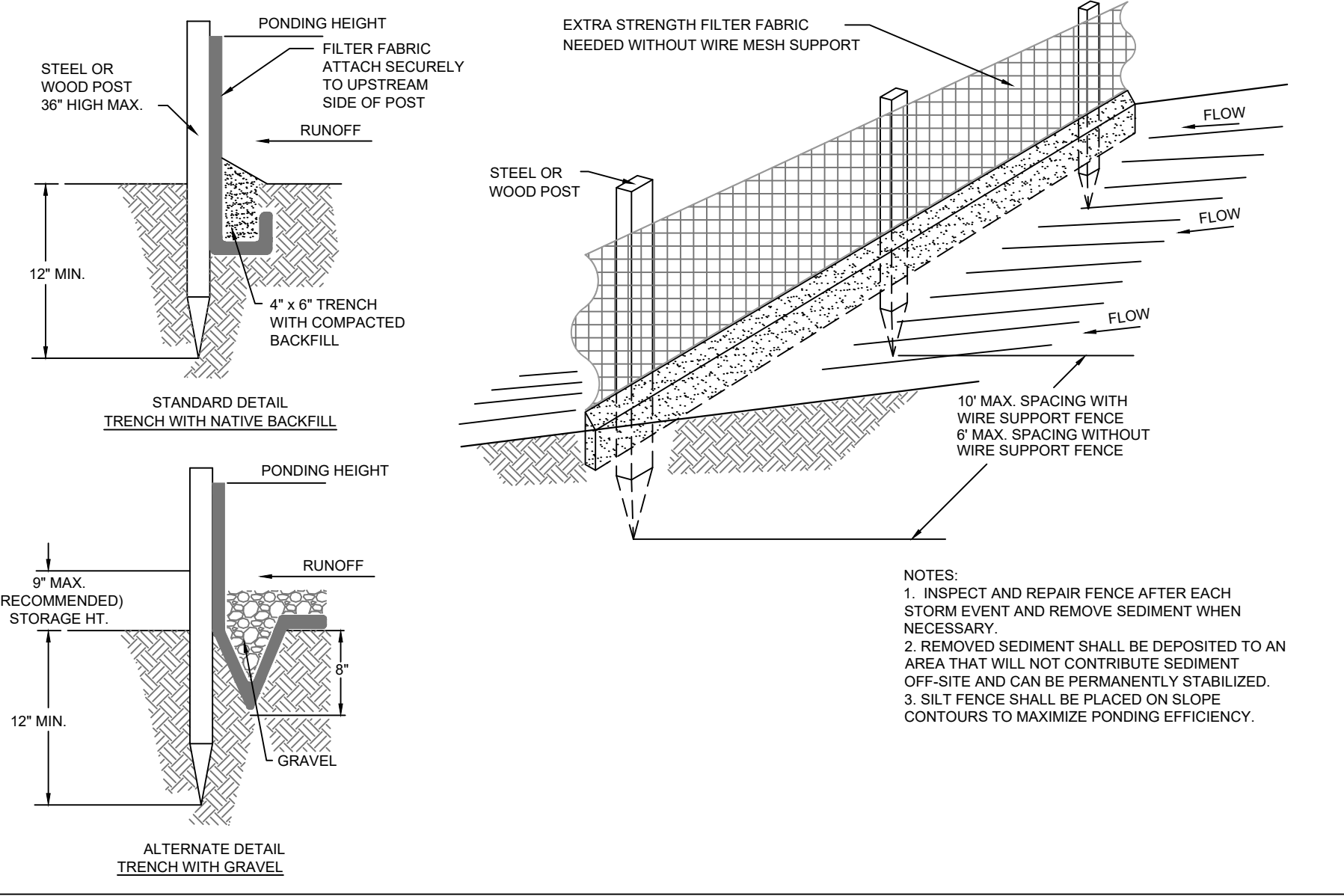
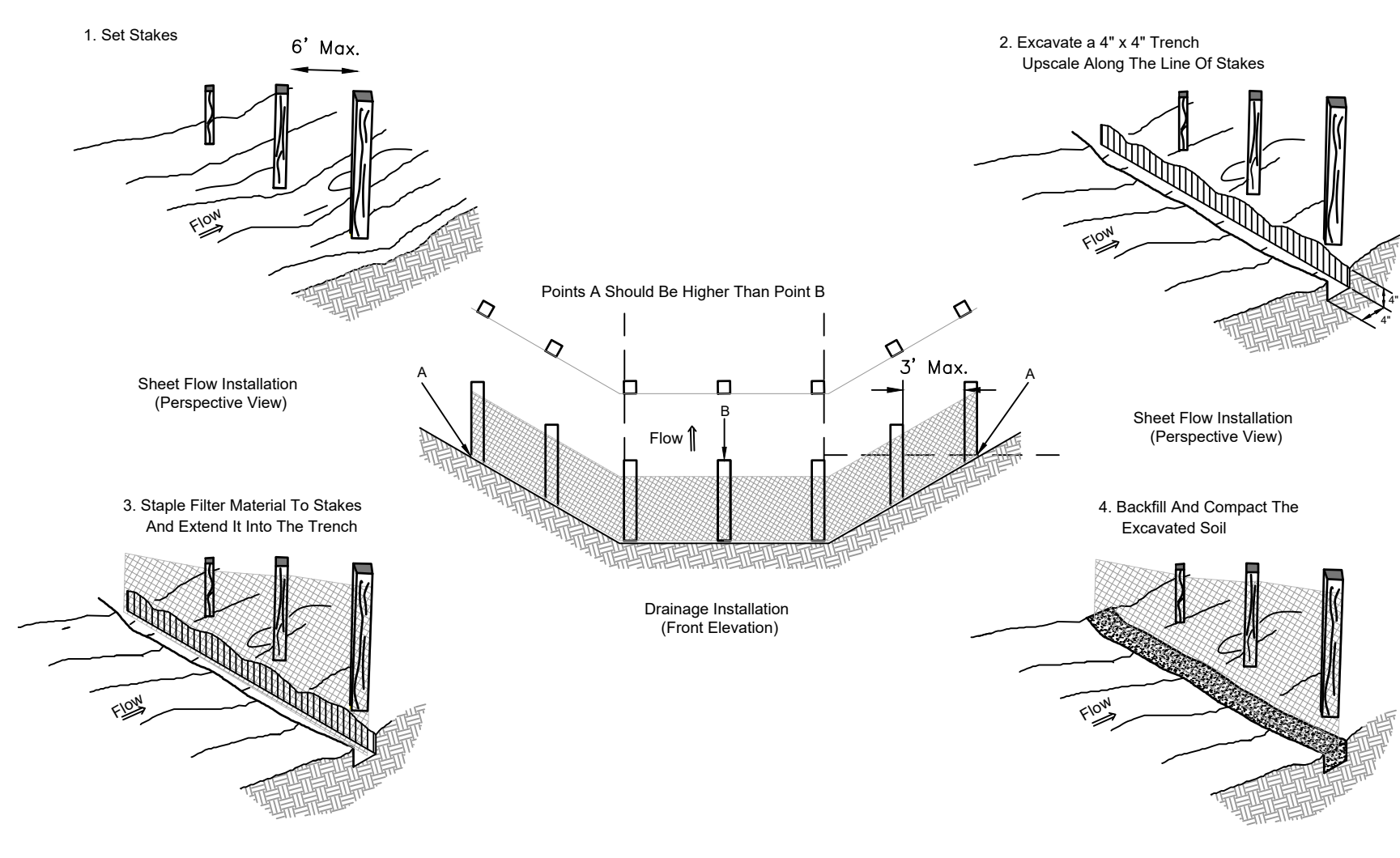
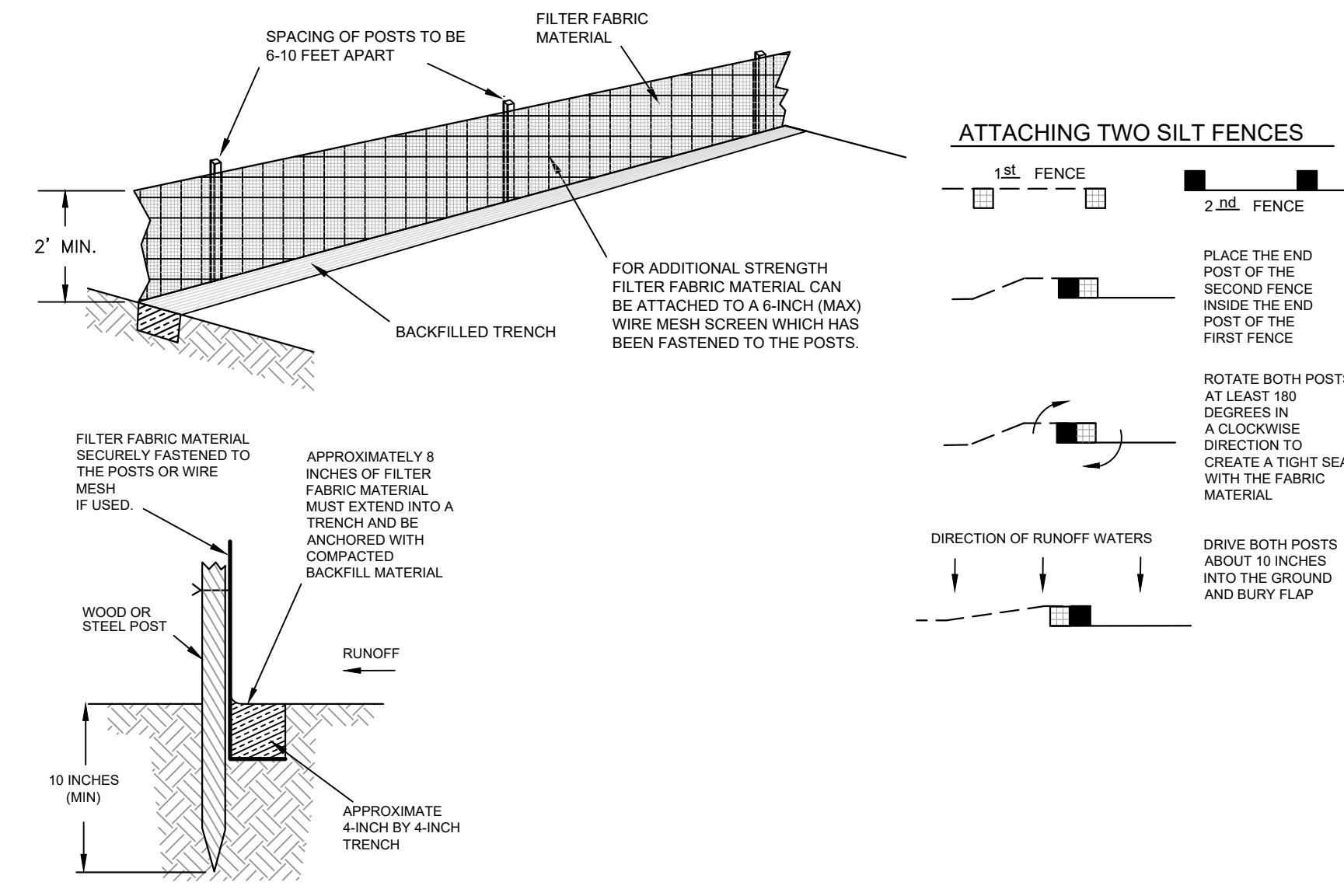
**CS1705**



1 TEMPORARY EROSION CONTROL SEDIMENT BASIN

2 TEMPORARY SEDIMENT TRAP AT CURB INLET

3 TEMPORARY STRAW BALE SEDIMENT BARRIER AT DROP INLET



4 FILTER FABRIC SILT FENCE

5 TEMPORARY SEDIMENT BARRIER AT DROP INLET

6 TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NO.	DATE	REVISIONS	BY

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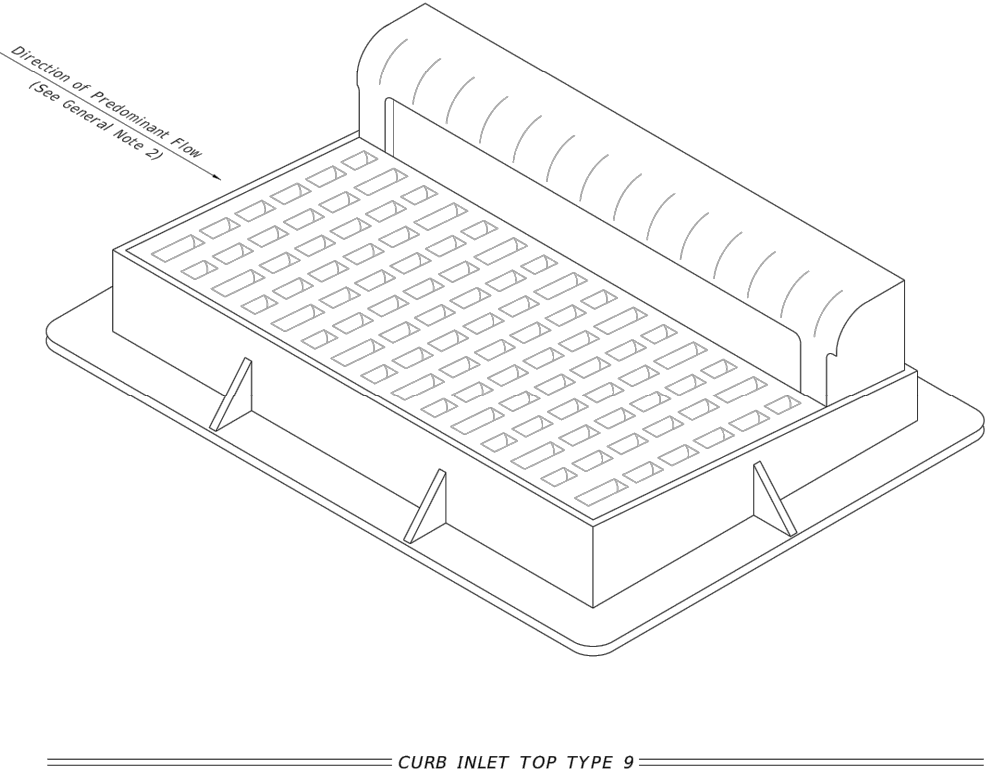
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DATE	2024-03-29
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APPROVED BY	JS

P:02/2023 (M)regina.m@pennoni.com  
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 PLOTTED: 7/23/2024 11:22 AM BY: Ashley Verma



**GENERAL NOTES:**

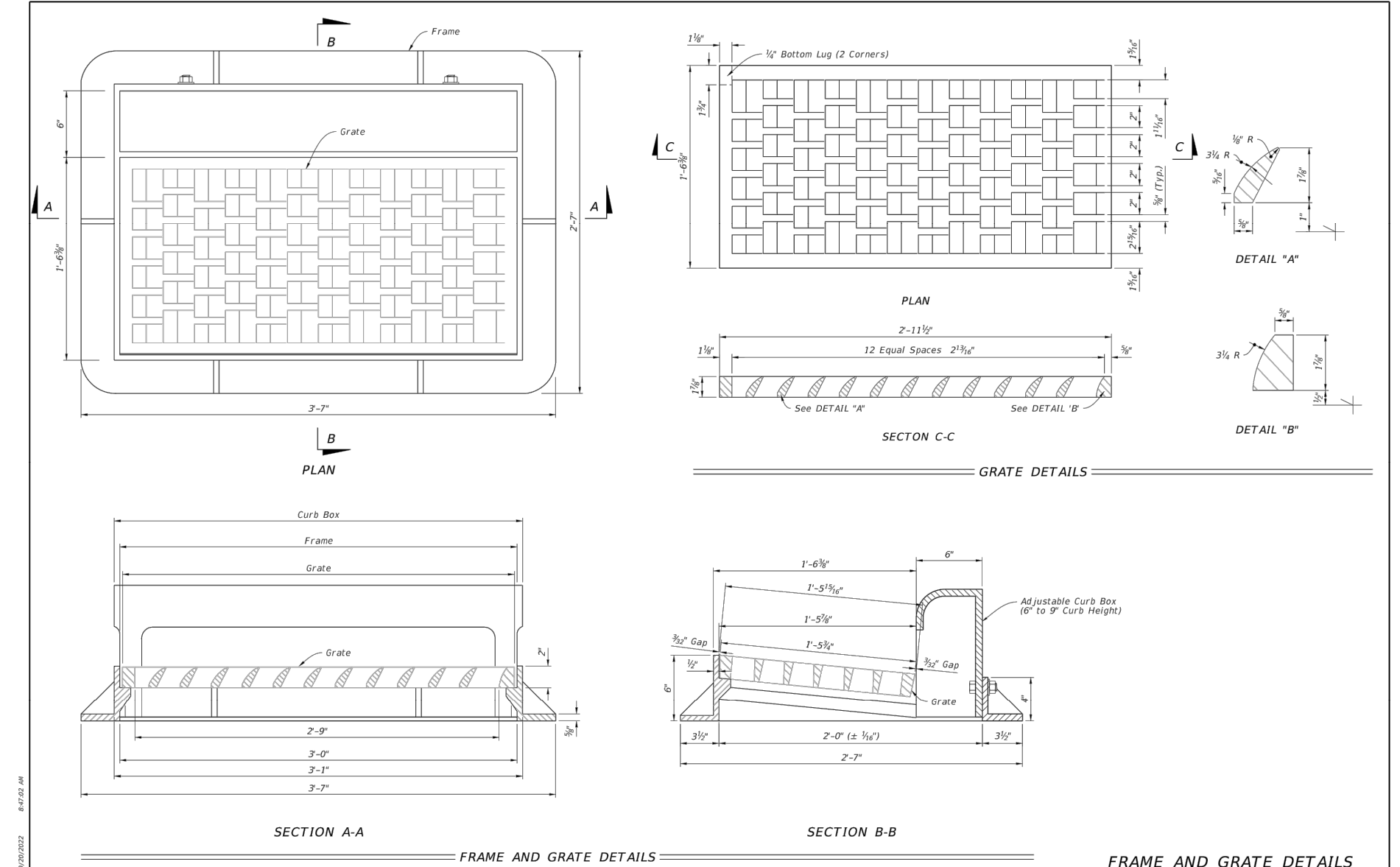
1. Mark this index with Index 425-001 and Index 425-010.
2. Drive grate with frame directed toward treatment flow.
3. Provide 1/2" minimum cover for steel or slab top unless otherwise shown. Tops may be either cast-in-place or precast concrete.
4. Place top slab openings such that 2 edges of steel frame will be located directly above bottom wall or rear wall for drainage @ applications.
5. When used on a structure with dimensions larger than those detailed on Sheet 3 and frames are not aligned, orient the top slab entry Index 425-010 with the size opening required to satisfy the "Top Slab Top Step" on Index 425-010 to be permitted.
6. Frame may be adjusted with one to six courses of bricks.
7. Vandal grates with approximately equal openings that satisfy AASHTO M-103 loading are permitted. Provide reversible (right or left) grates.



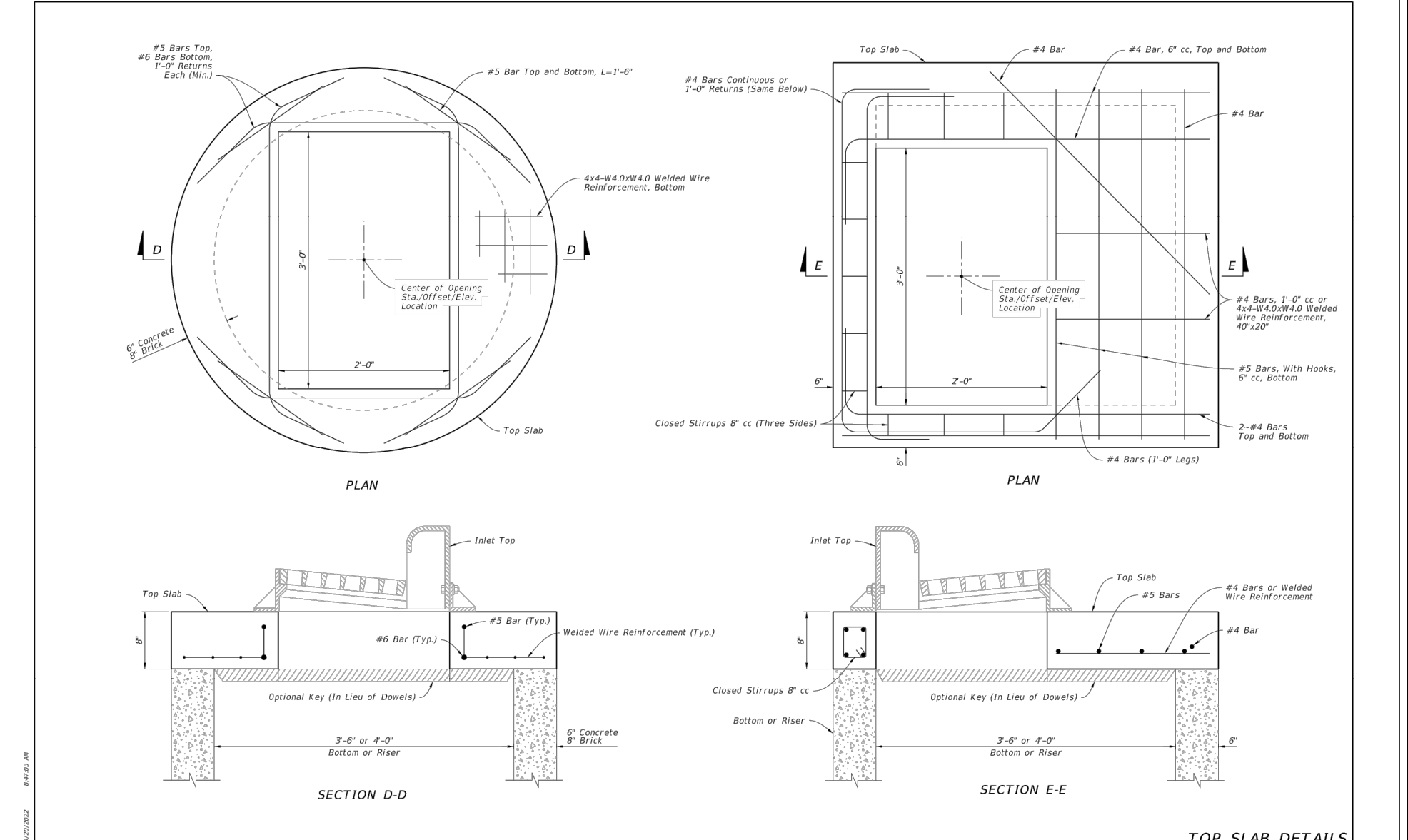
**TABLE OF CONTENTS:**

Sheet	Description
1	General Notes and Contents
2	Frame and Grate Details
3	Top Slab Details

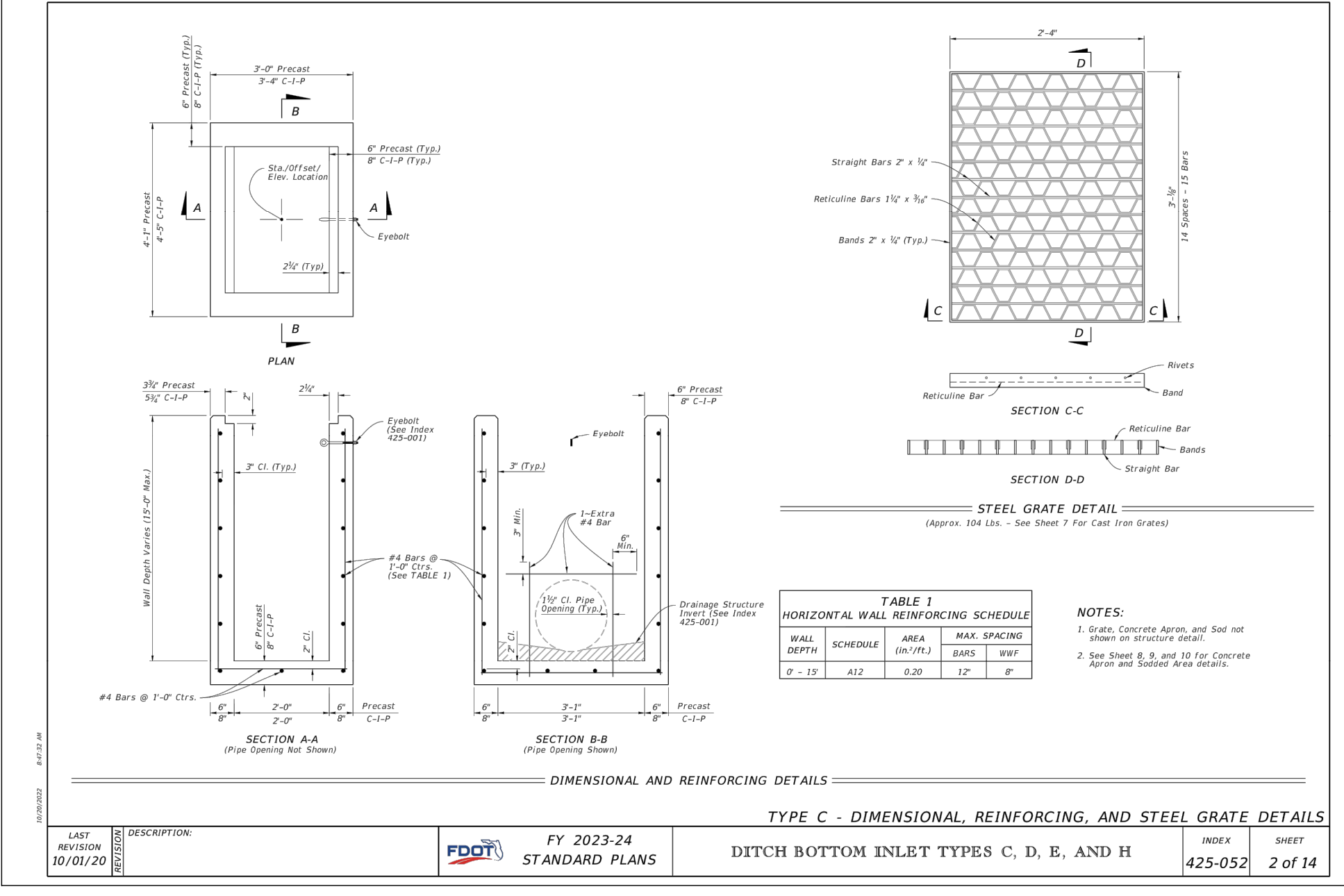
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10/01/20					425-024	1 of 3



LAST REVISION	DESCRIPTION	FDOT	FY 2023-24	STANDARD PLANS	INDEX	SHEET
10/01/20					425-024	2 of 3



LAST REVISION	DESCRIPTION	FDOT	FY 2023-24	STANDARD PLANS	INDEX	SHEET
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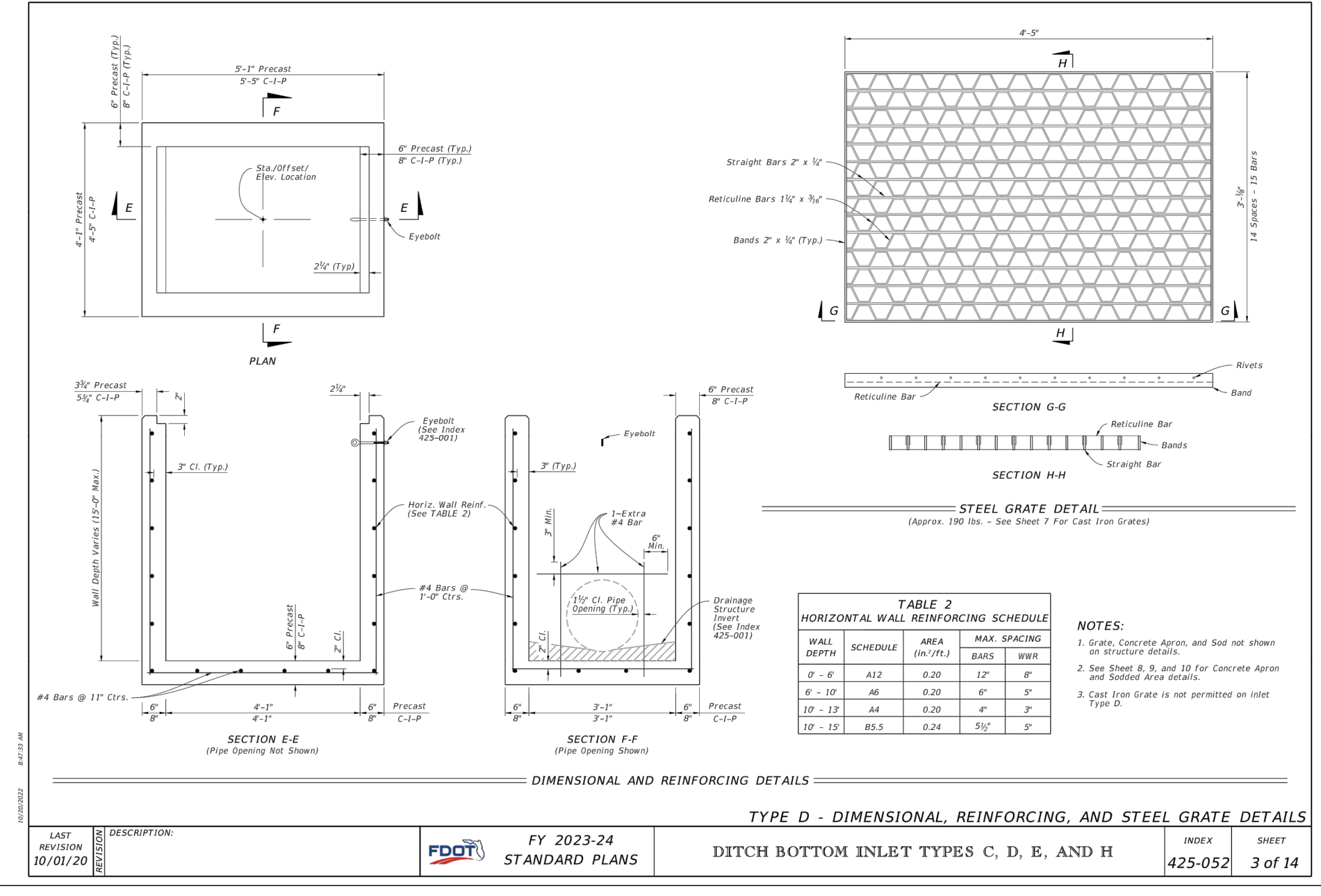
**TABLE 1**  
HORIZONTAL WALL REINFORCING SCHEDULE

WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING	BARS	W/BARS
0 - 12"	A12	0.20	12"	1#	1#

**NOTES:**

1. Grates, Concrete Apron, and Soil not shown on structure detail.
2. See Sheet 8, 9, and 10 for Concrete Apron and Subsoil Area Details.

LAST REVISION	DESCRIPTION	FDOT	FY 2023-24	STANDARD PLANS	INDEX	SHEET
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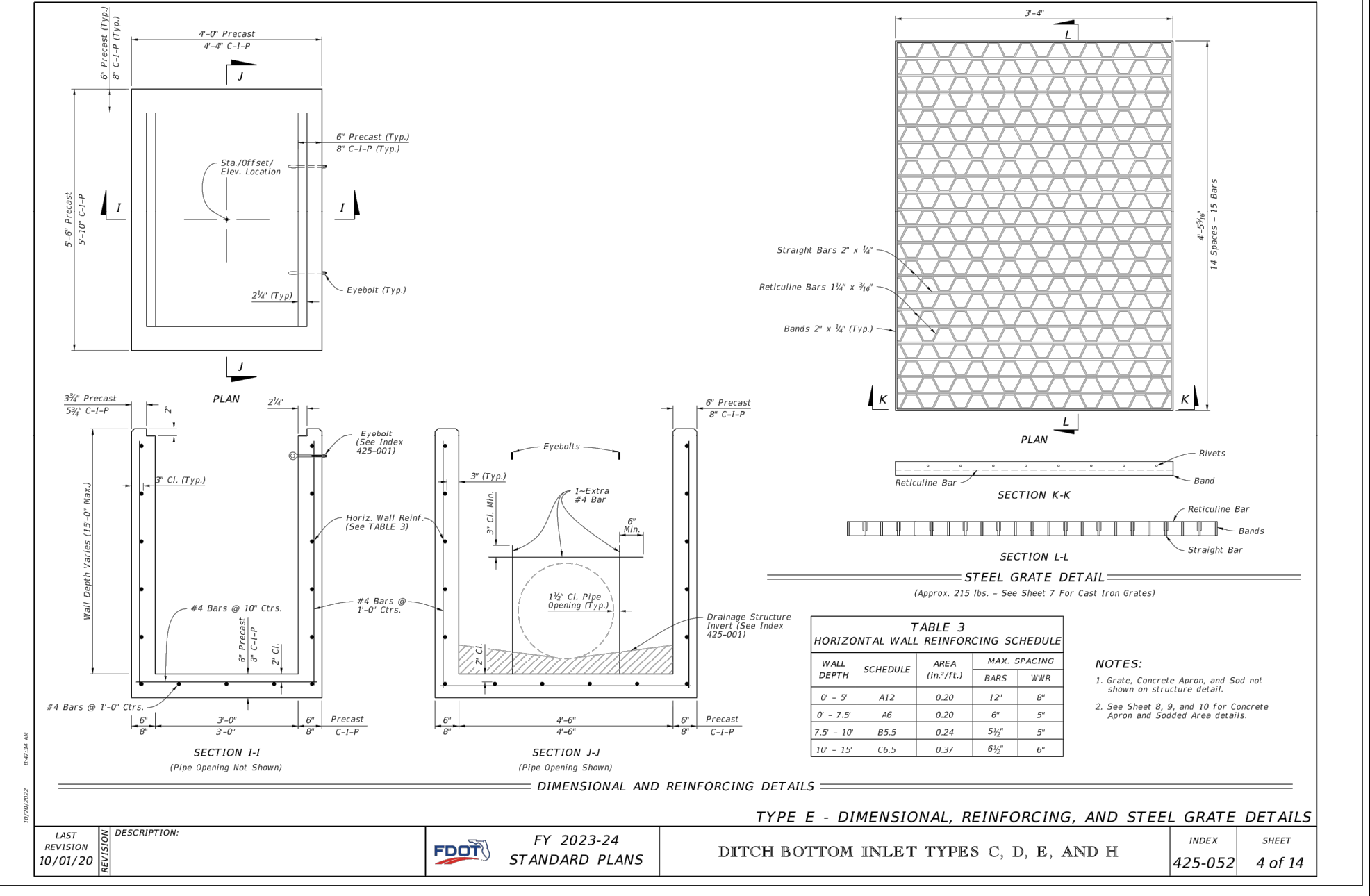
**TABLE 2**  
HORIZONTAL WALL REINFORCING SCHEDULE

WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING	BARS	W/BARS
0 - 6"	A12	0.20	12"	1#	1#
6 - 10"	A6	0.20	6"	1#	1#
10 - 12"	A4	0.20	6"	1#	1#
12 - 18"	B5.5	0.24	30"	2#	2#

**NOTES:**

1. Grates, Concrete Apron, and Soil not shown on structure detail.
2. See Sheet 8, 9, and 10 for Concrete Apron and Subsoil Area Details.
3. Cast Iron Grate is not permitted on steel Type D.

LAST REVISION	DESCRIPTION	FDOT	FY 2023-24	STANDARD PLANS	INDEX	SHEET
10/01/20					425-052	3 of 14



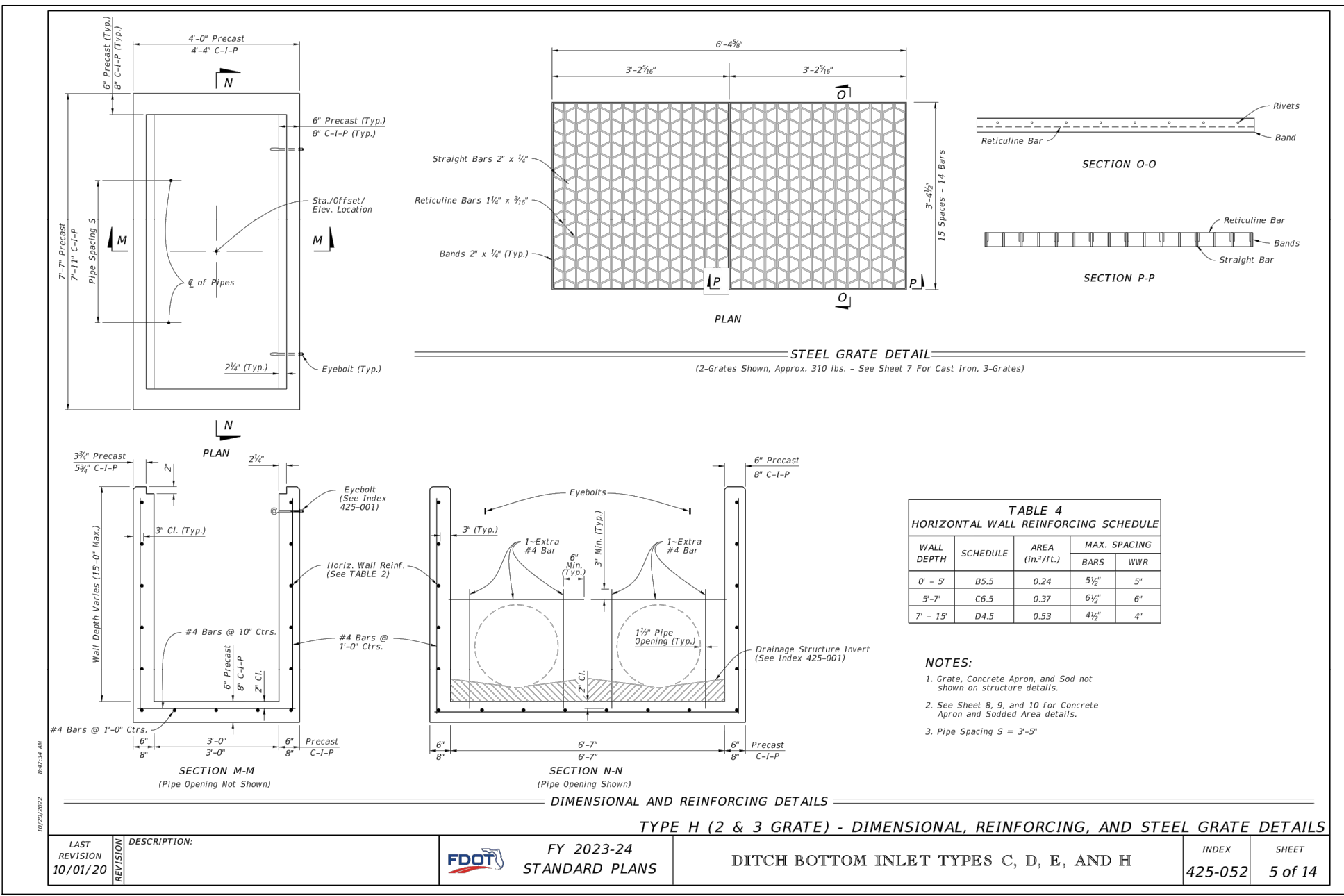
**TABLE 3**  
HORIZONTAL WALL REINFORCING SCHEDULE

WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING	BARS	W/BARS
0 - 6"	A12	0.20	12"	1#	1#
6 - 10"	A6	0.20	6"	1#	1#
10 - 12"	B5.5	0.24	30"	2#	2#
12 - 18"	B8.5	0.37	60"	4#	4#

**NOTES:**

1. Grates, Concrete Apron, and Soil not shown on structure detail.
2. See Sheet 8, 9, and 10 for Concrete Apron and Subsoil Area Details.

LAST REVISION	DESCRIPTION	FDOT	FY 2023-24	STANDARD PLANS	INDEX	SHEET
10/01/20					425-052	4 of 14



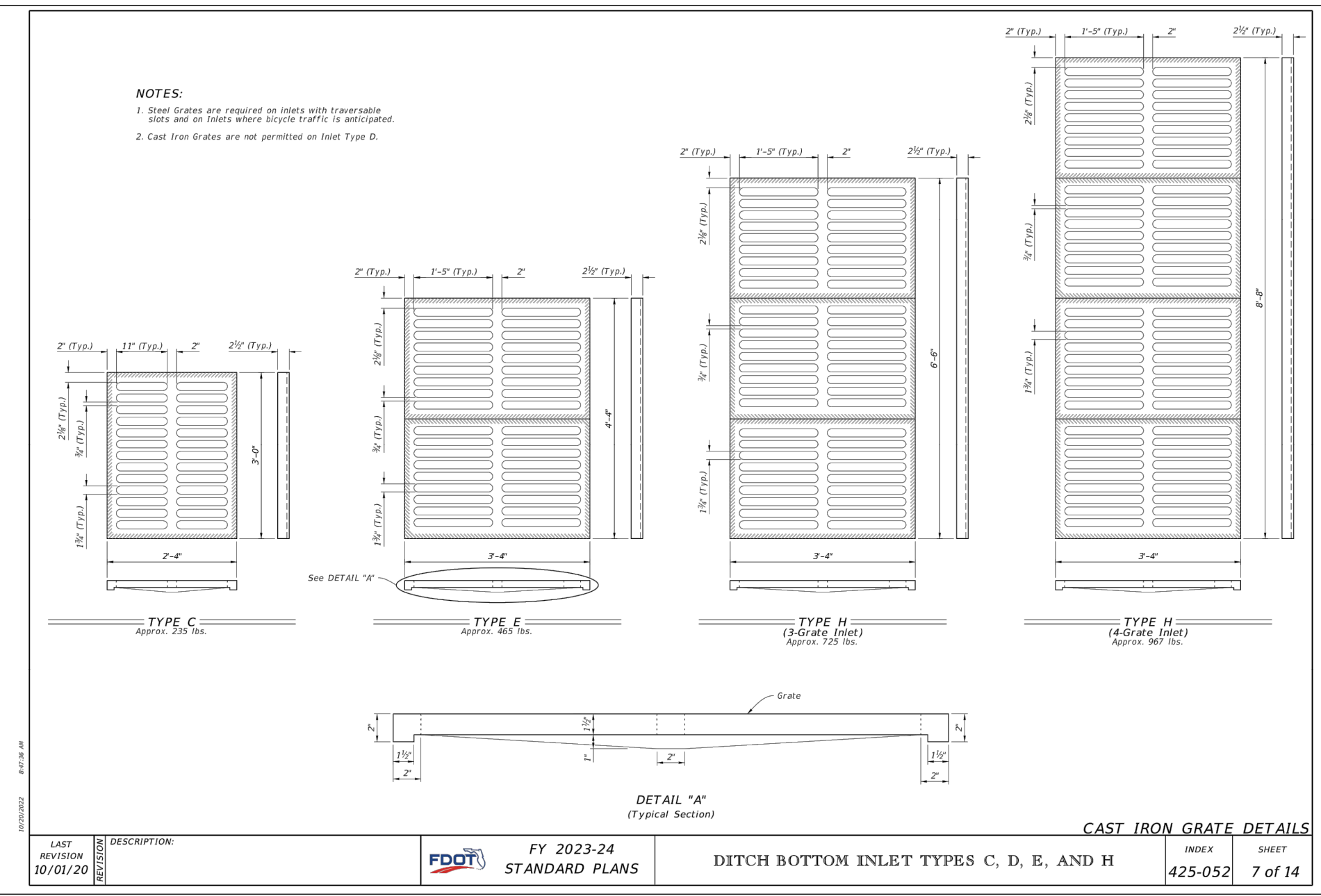
**TABLE 4**  
HORIZONTAL WALL REINFORCING SCHEDULE

WALL DEPTH	SCHEDULE	AREA (in. <sup>2</sup> /ft.)	MAX. SPACING	BARS	W/BARS
0 - 7"	B5.5	0.24	30"	2#	2#
7 - 12"	D4.5	0.33	48"	3#	3#

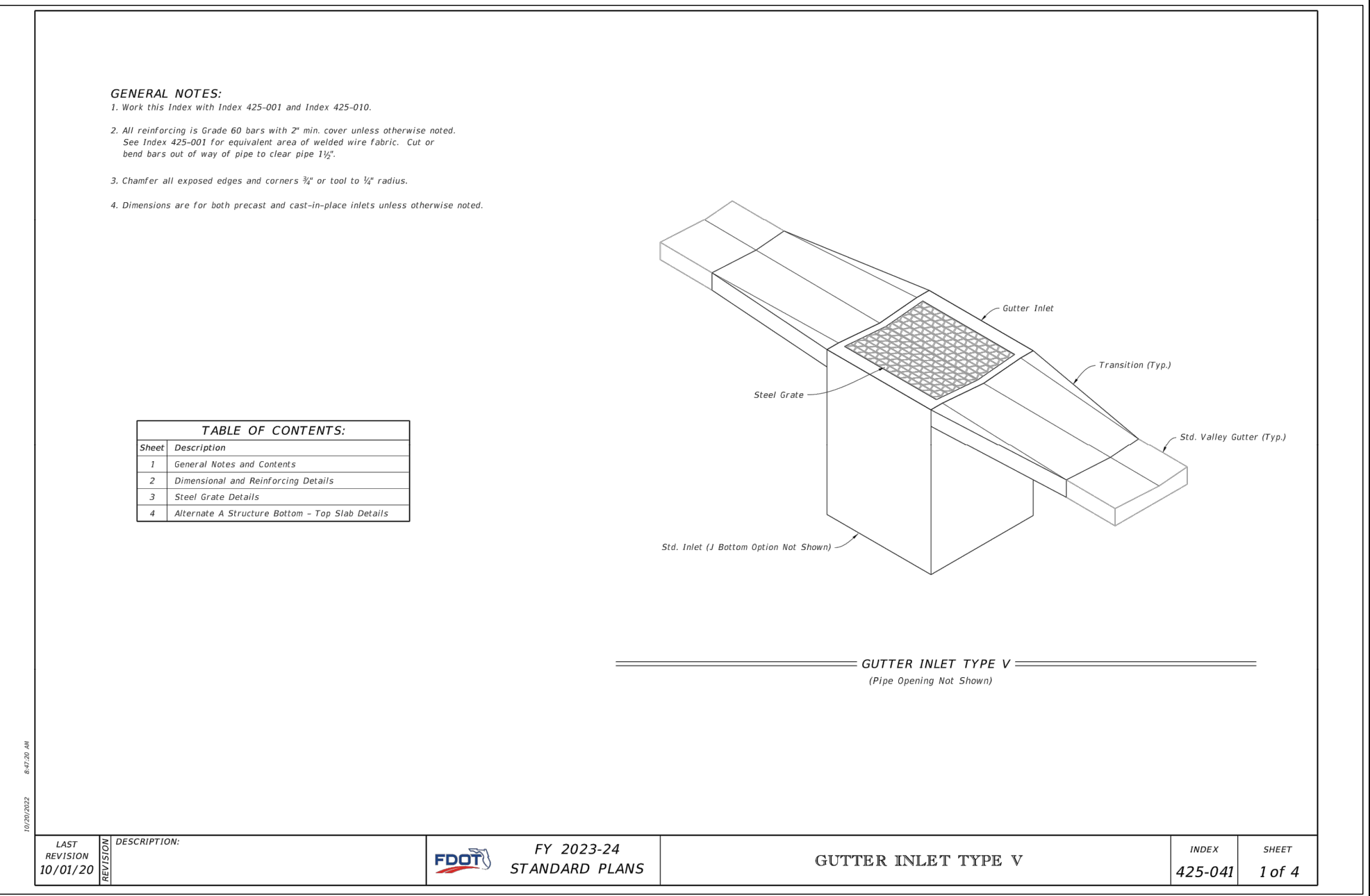
**NOTES:**

1. Grates, Concrete Apron, and Soil not shown on structure detail.
2. See Sheet 8, 9, and 10 for Concrete Apron and Subsoil Area Details.
3. Pipe Spacing S = 3'-0"

LAST REVISION	DESCRIPTION	FDOT	FY 2023-24	STANDARD PLANS	INDEX	SHEET
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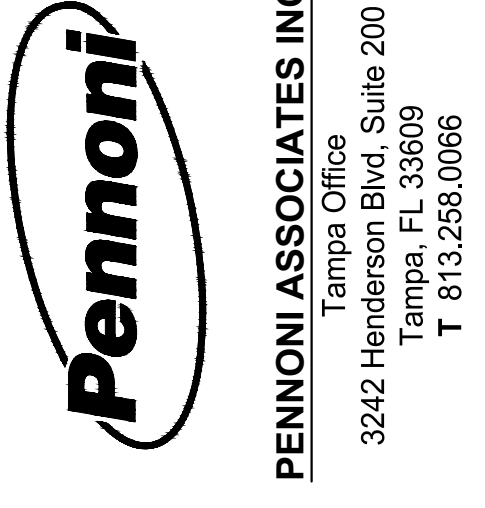
LAST REVISION	DESCRIPTION	FDOT	FY 2023-24	STANDARD PLANS	INDEX	SHEET
10/01/20					425-052	7 of 14



**TABLE OF CONTENTS:**

Sheet	Description
1	General Notes and Contents
2	Dimensional and Reinforcing Details
3	Steel Grate Details
4	Alternate A Structure Bottom - Top Slab Details

LAST REVISION	DESCRIPTION	FDOT	FY 2023-24	STANDARD PLANS	INDEX	SHEET
10/01/20					425-041	1 of 4



**PENNONI ASSOCIATES INC.**  
Tampa Office  
3242 Henderson Blvd., Suite 200  
Tampa, FL 33609  
T 813.255.0066

M. JASON SHERIDAN, P.E.  
FL. P.E. LIC. NO. 88424

**PROFESSIONAL ENGINEER**  
No. 88424  
STATE OF FLORIDA

04/03/24  
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WIREGRASS M2 - TOWN HOMES

CONSTRUCTION DETAILS

JANE HOLE, LLC  
P.O. BOX 290669  
TAMPA, FL 33687

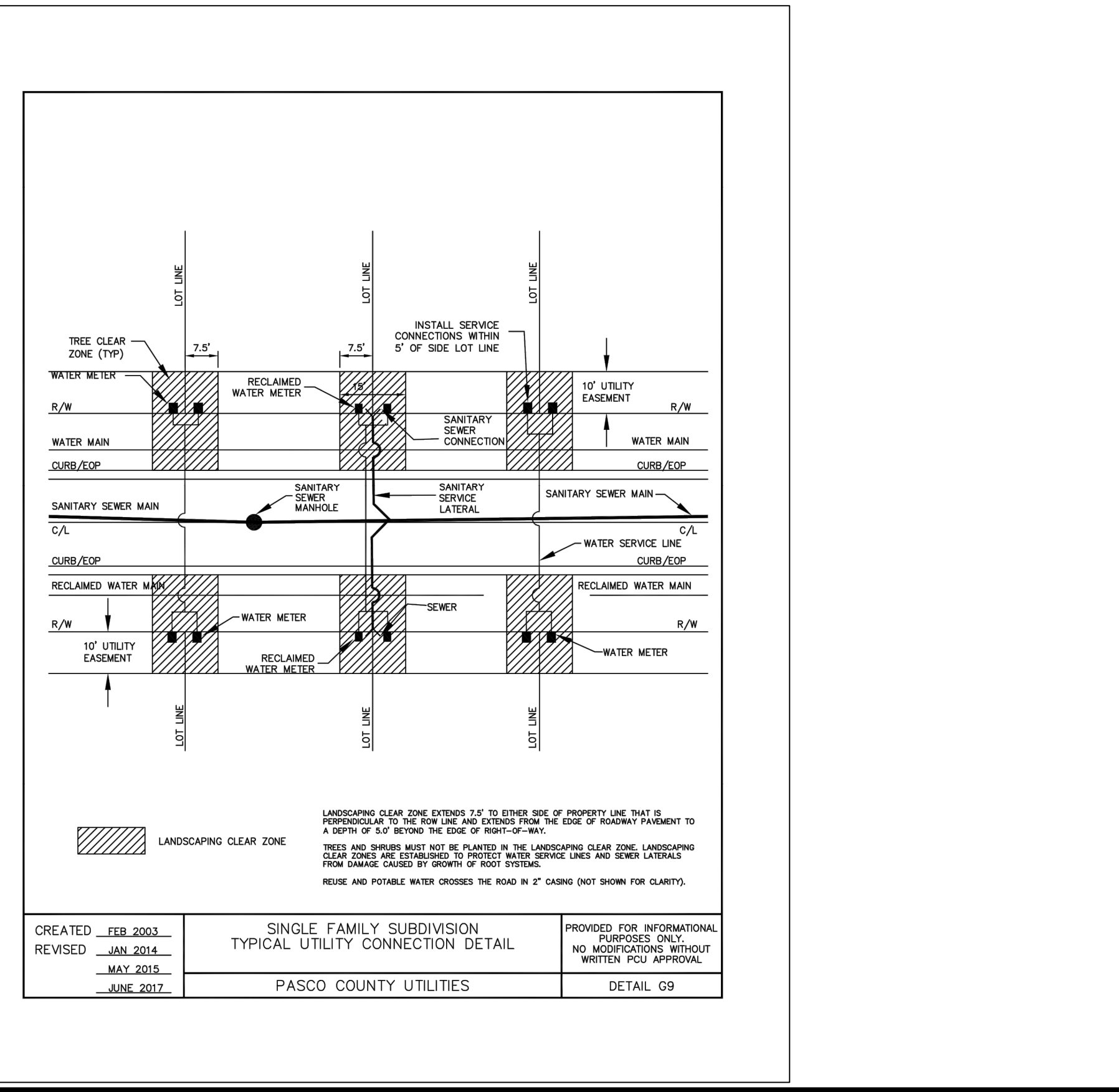
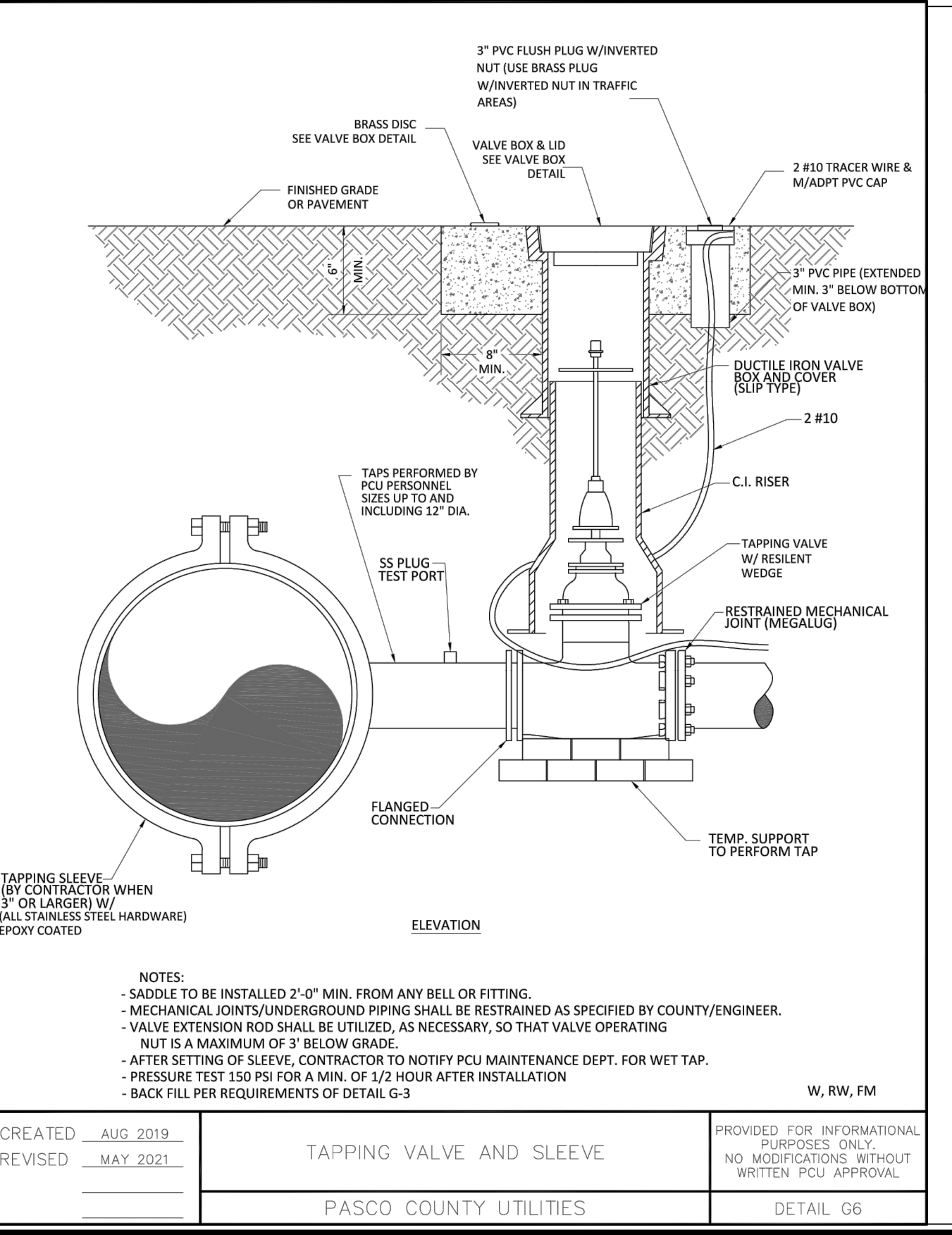
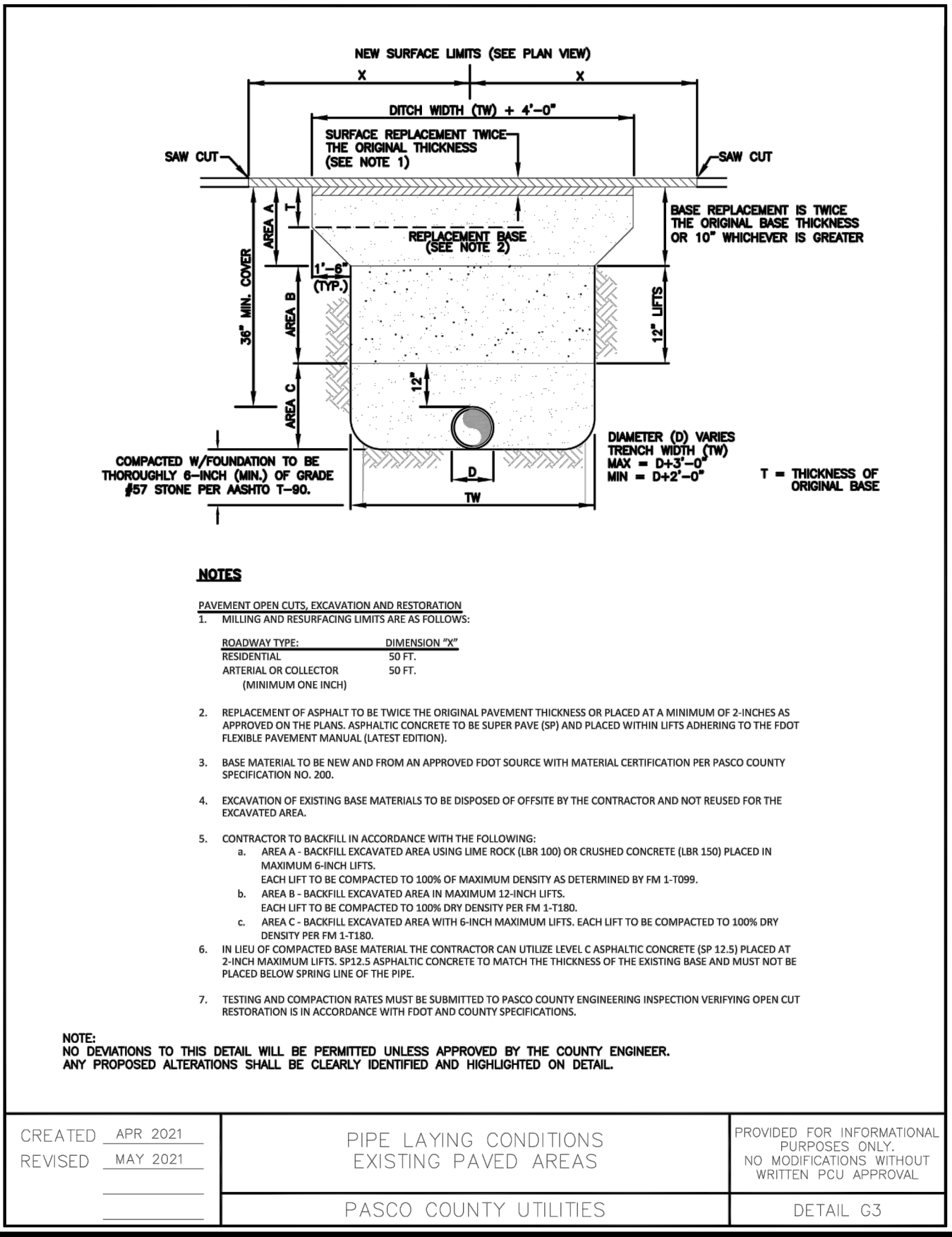
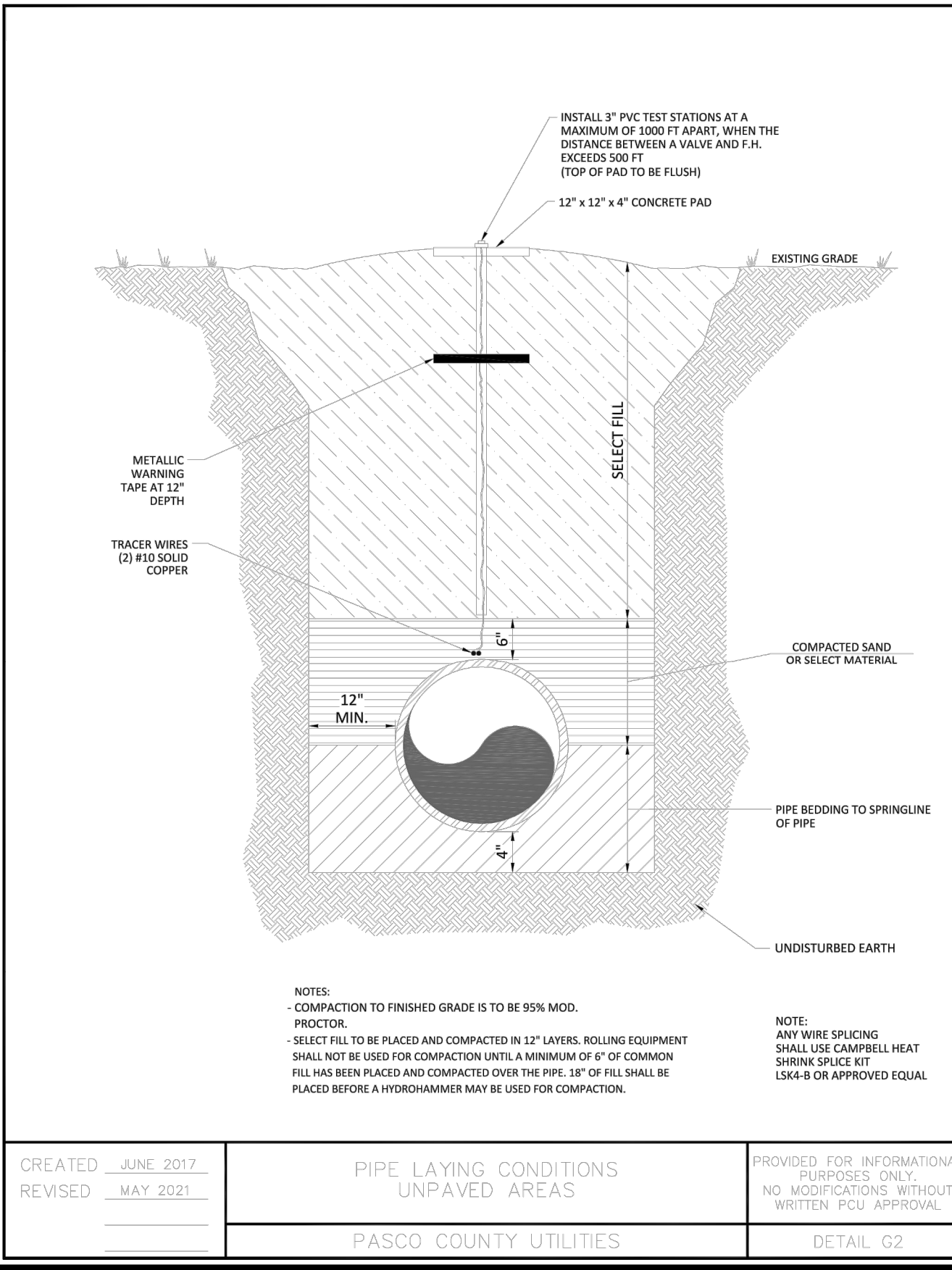
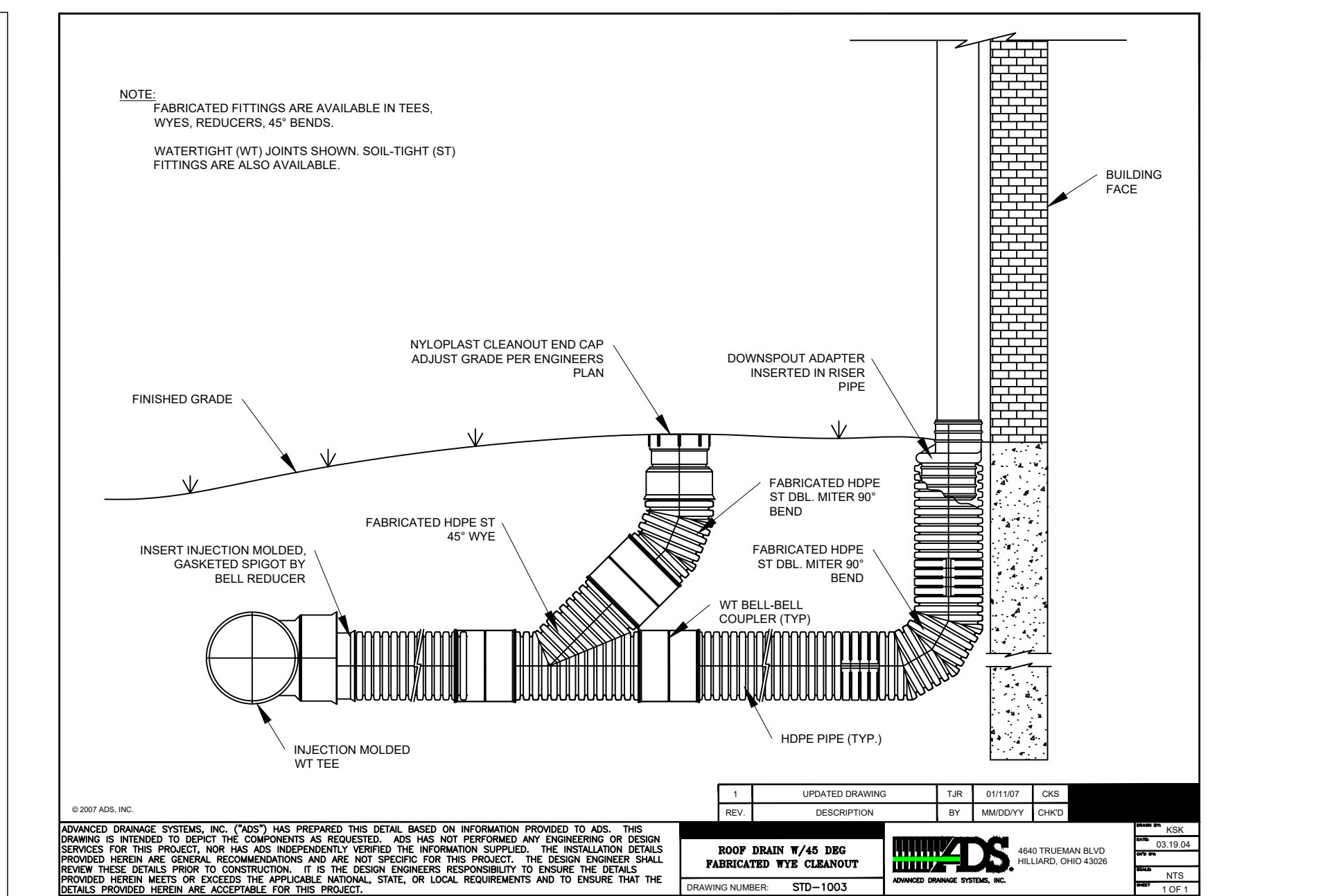
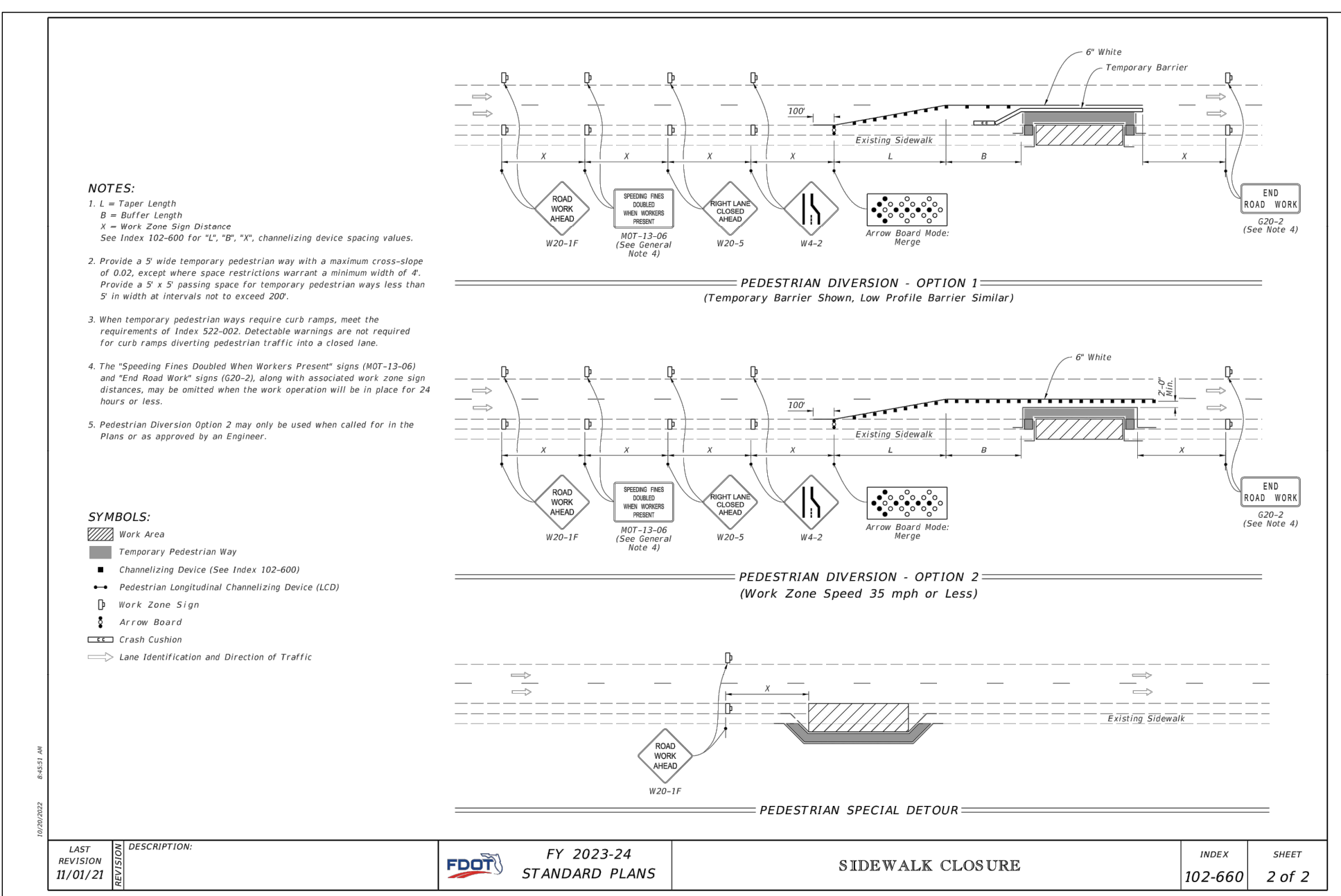
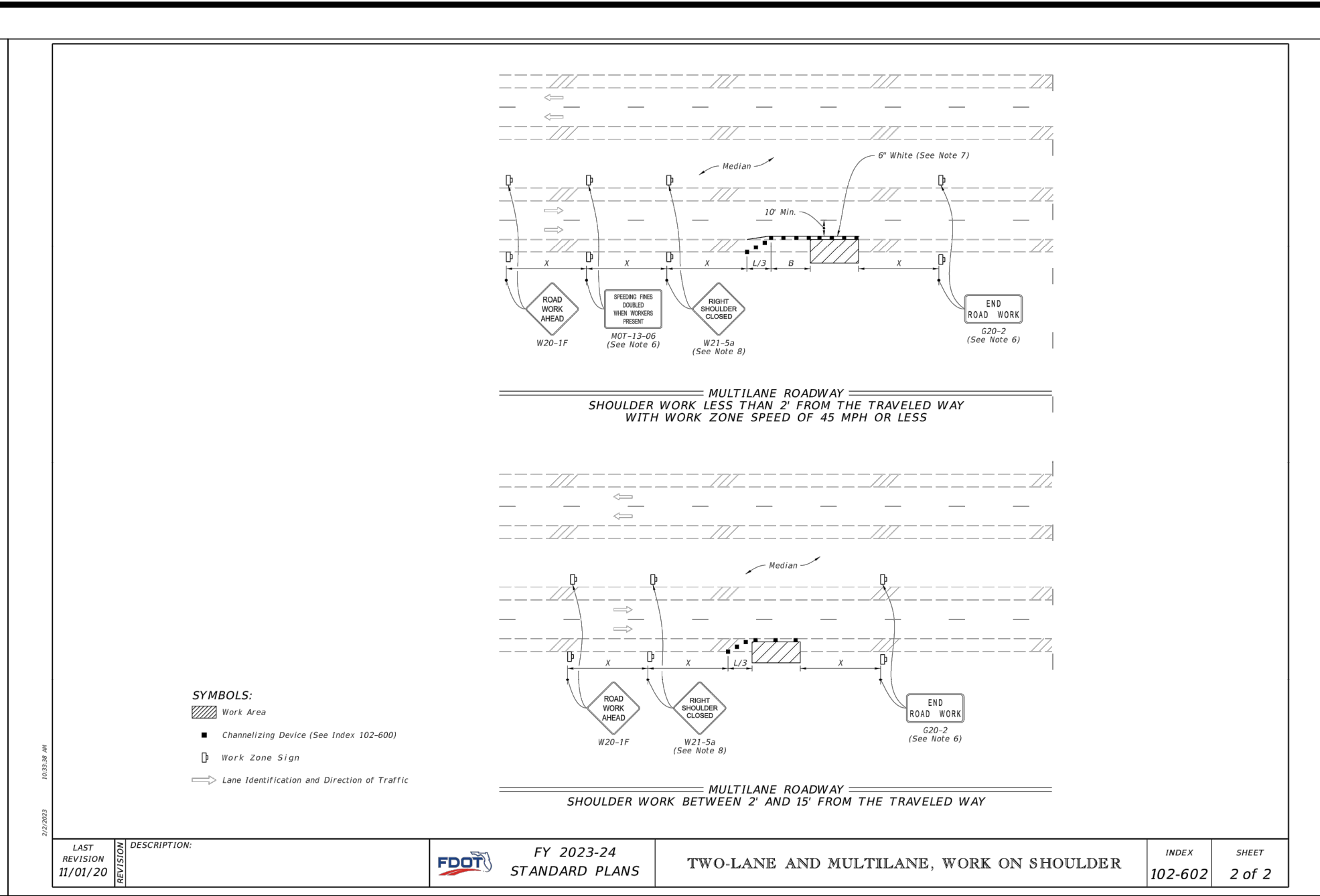
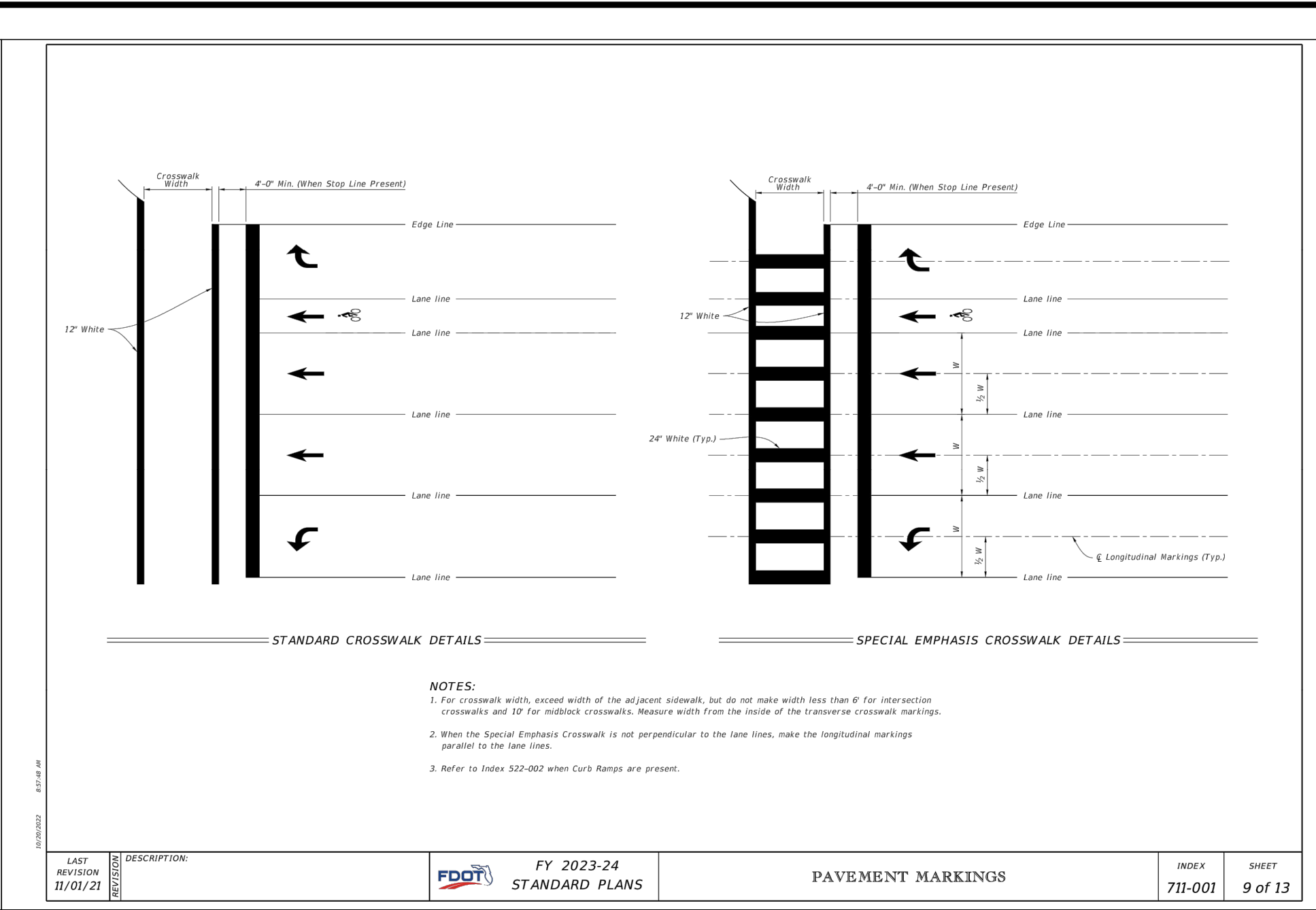
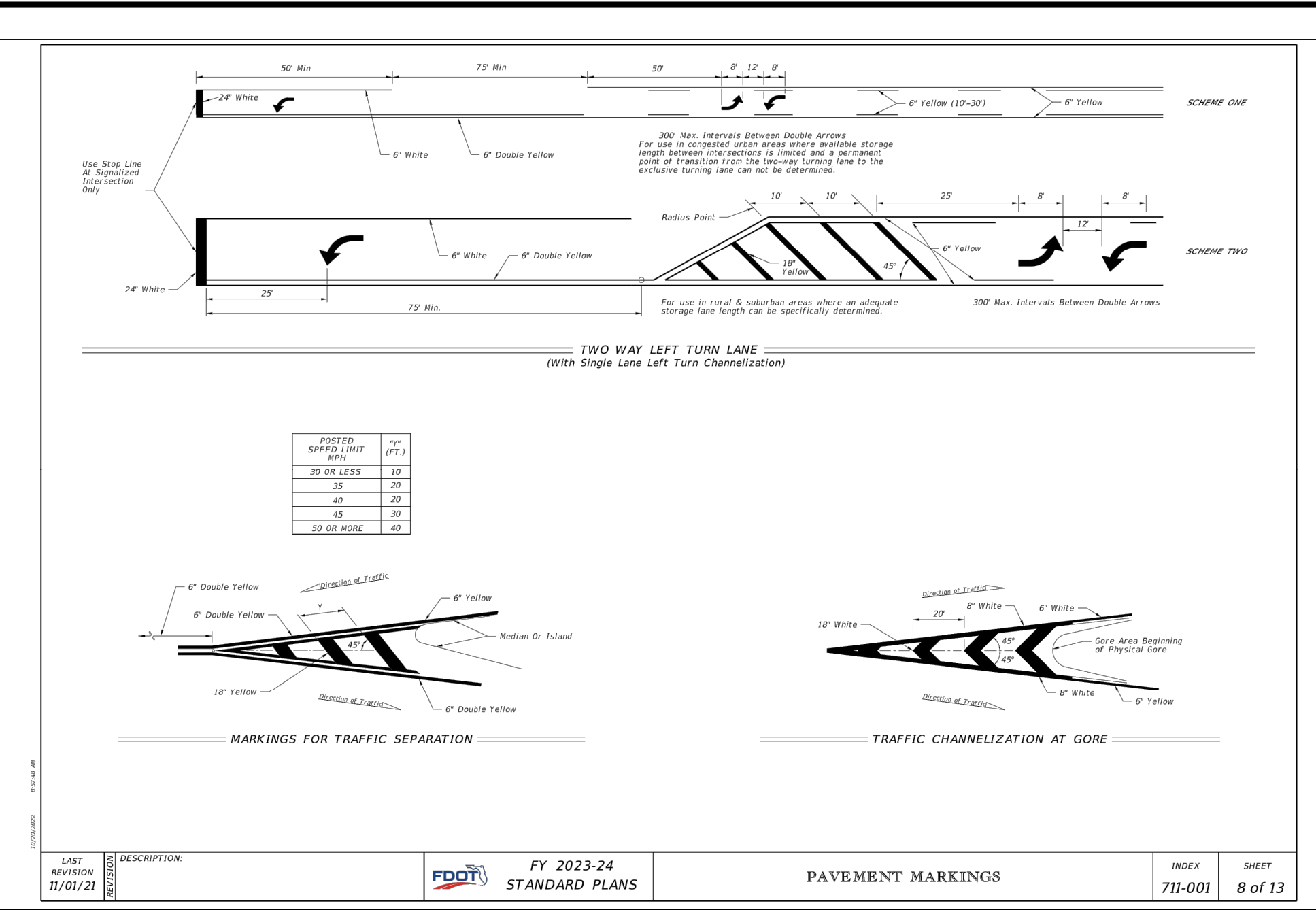
NO.	DATE	BY	REVISIONS

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PROJECT: LCSTB 22003  
DATE: 2024-03-29  
DRAWING SCALE: ---  
DRAWN BY: AV  
APPROVED BY: JS

**CS6003**





**Pennoni**  
PENNONI ASSOCIATES INC.  
Tampa Office  
324 Henderson Blvd., Suite 200  
Tampa, FL 33609  
T 813.255.0066

**M. JASON SHERIDAN, P.E.**  
FL P.E. LIC. NO. 88424

**04/03/24**  
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**ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK**

**WIREGRASS M2 - TOWN HOMES**

**CONSTRUCTION DETAILS**

**JANE HOLE, LLC**  
P.O. BOX 290669  
TAMPA, FL 33687

**PROJECT** LCSTB 22003  
**DATE** 2024-03-29  
**DRAWING SCALE** ---  
**DRAWN BY** AV  
**APPROVED BY** JS

**CS6005**

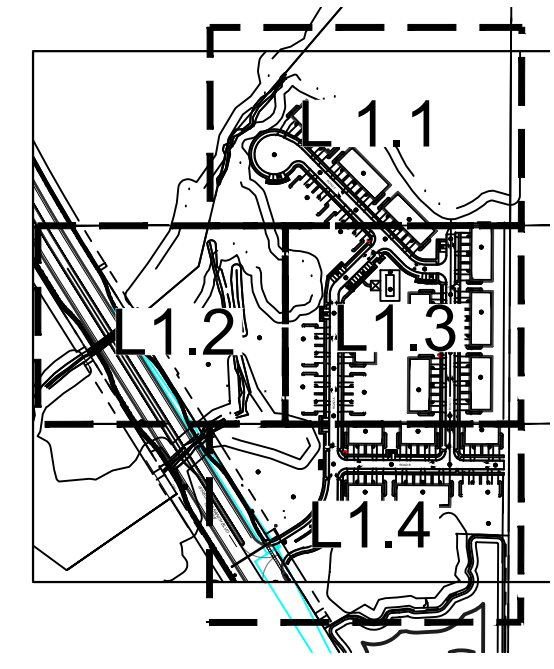
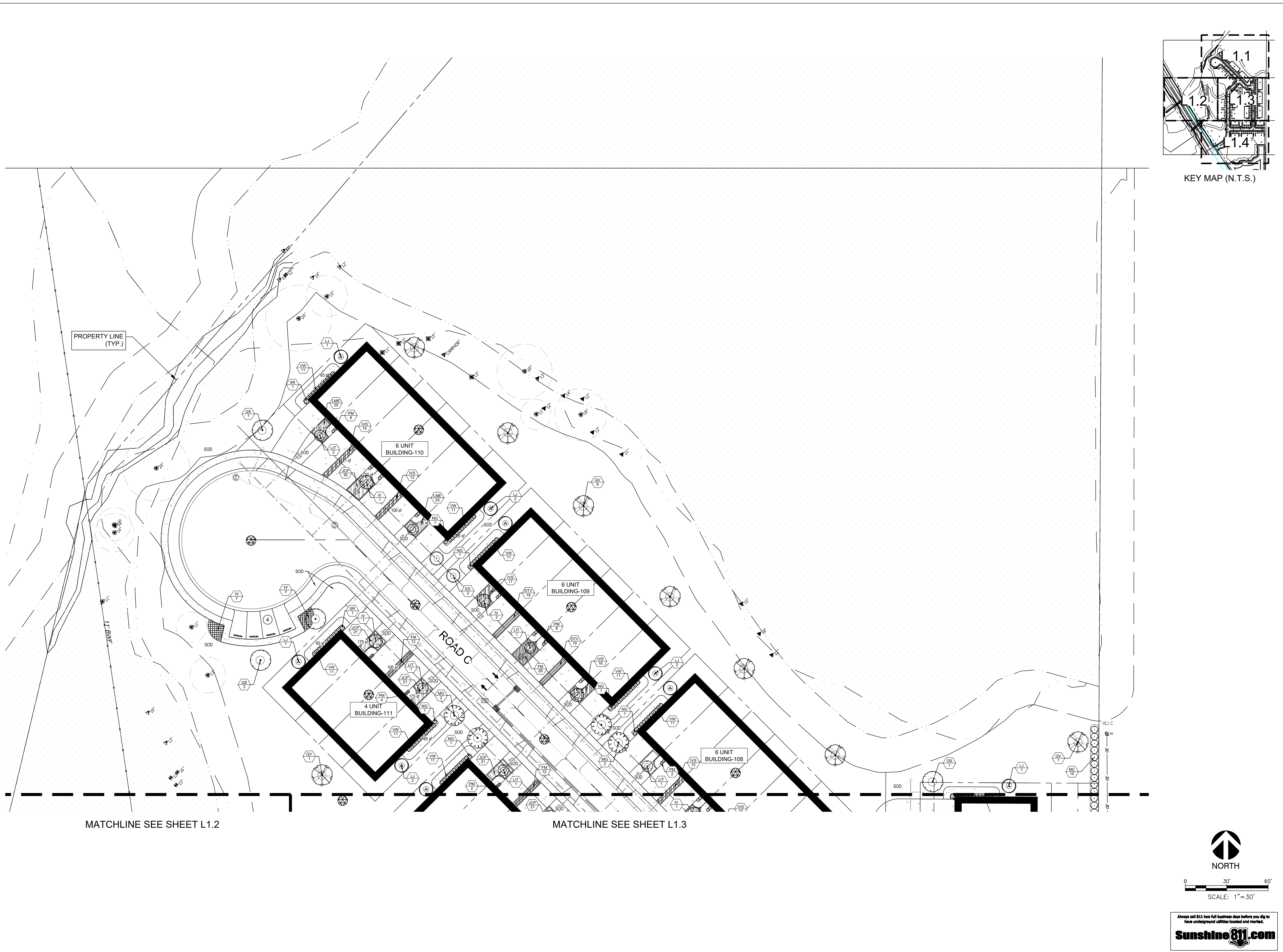












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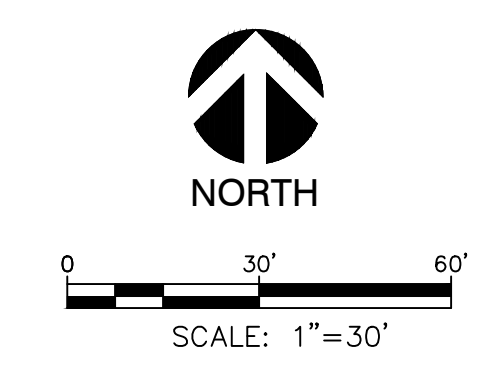
WIREGRASS M2 - TOWN HOMES  
 LANDSCAPE PLAN

JANE HOLE, LLC  
 P.O. BOX 290069  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

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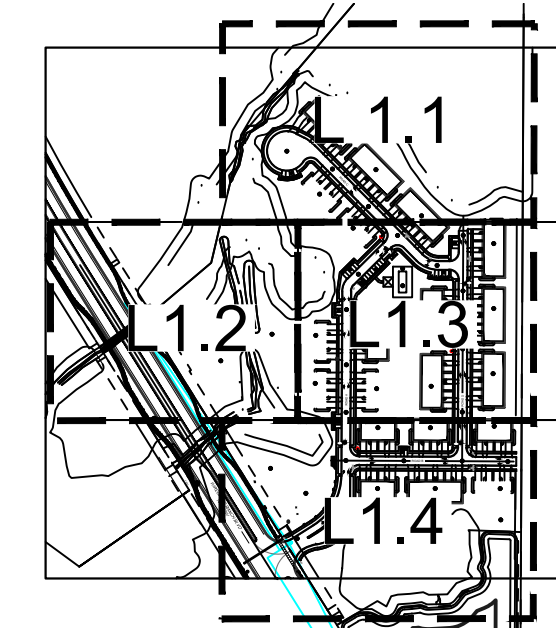
PROJECT LCSTB 22003  
 DATE 2024-07-22  
 DRAWING SCALE As noted  
 DRAWN BY KC  
 APPROVED BY JER



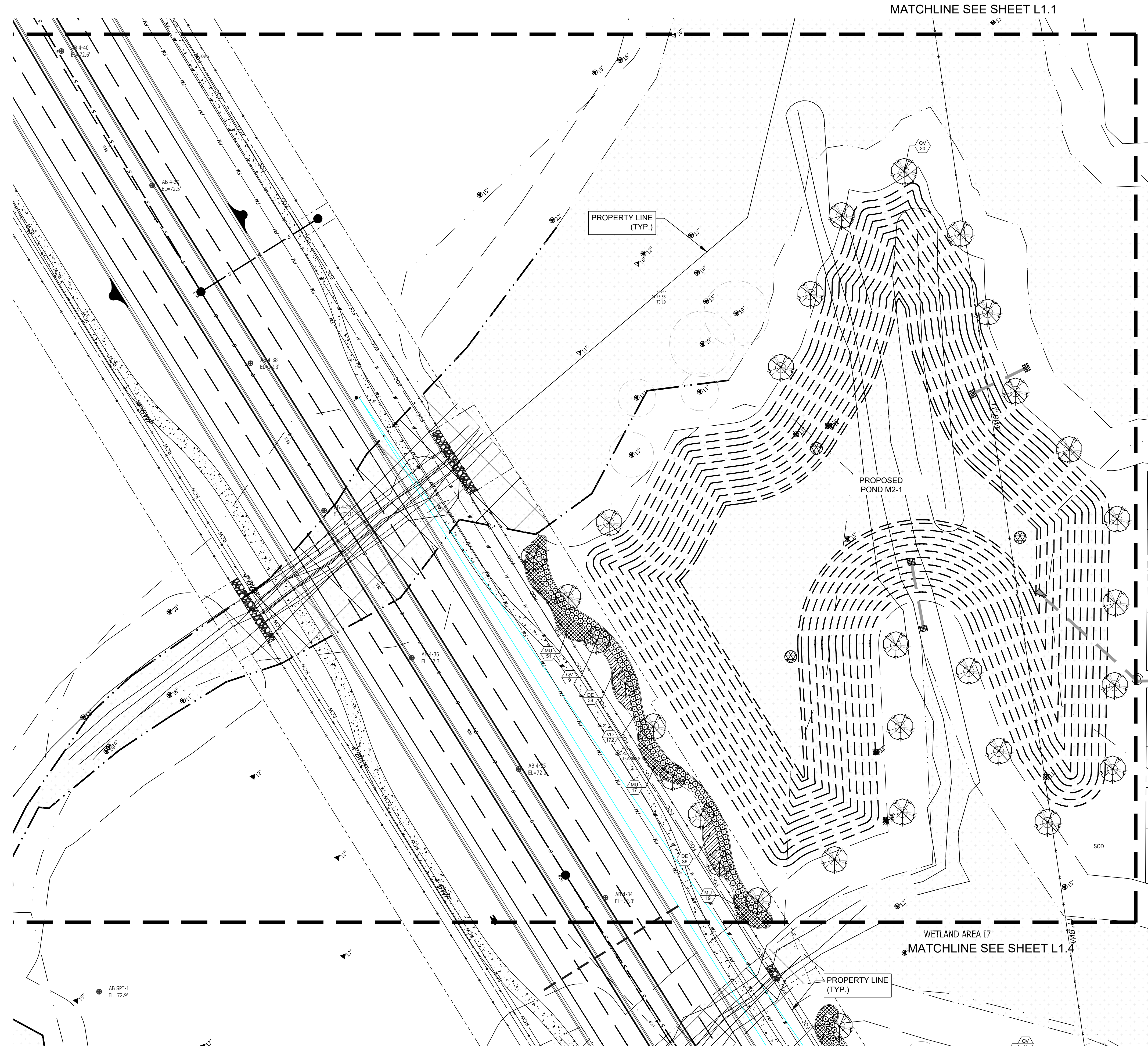
Always call 811 two full business days before you dig to have underground utilities located and marked.

**Sunshine 811.com**

**L1.1**



KEY MAP (N.T.S.)



MATCHLINE SEE SHEET L1.1

MATCHLINE SEE SHEET L1.3

WETLAND AREA I7  
MATCHLINE SEE SHEET L1.4



NORTH



SCALE: 1" = 30'



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WIREGRASS M2 - TOWN HOMES

LANDSCAPE PLAN

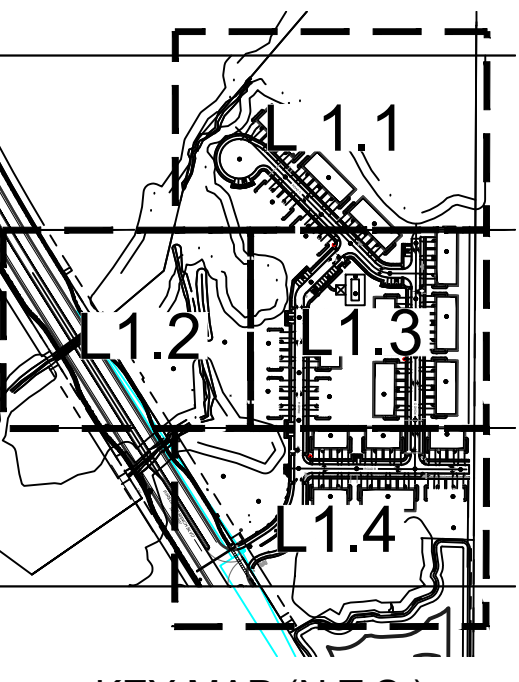
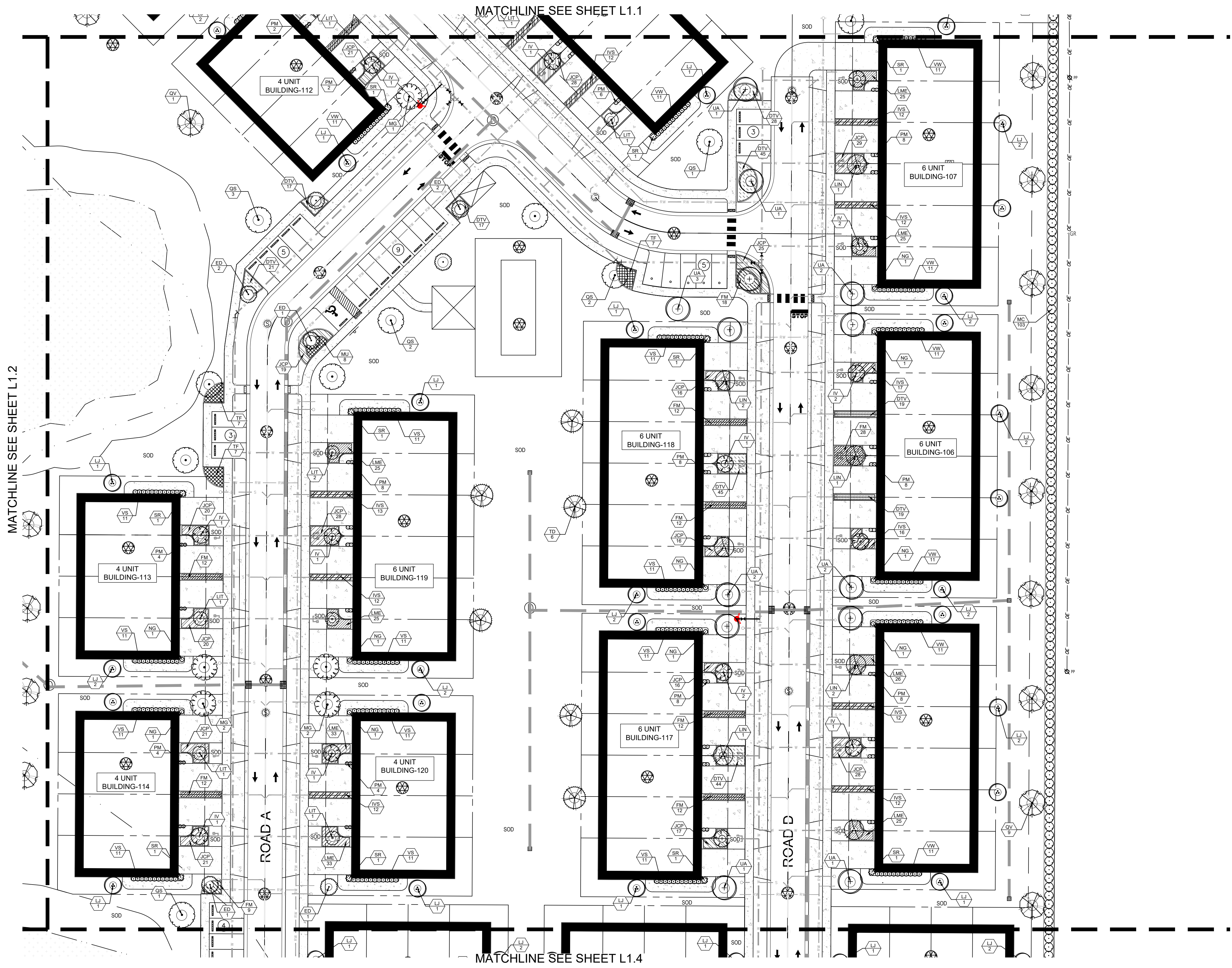
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PROJECT LCSTB 22003  
 DATE 2024-07-22  
 DRAWING SCALE As noted  
 DRAWN BY KC  
 APPROVED BY JER

L1.2



KEY MAP (N.T.S.)

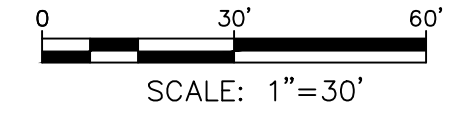
MATCHLINE SEE SHEET L1.2

MATCHLINE SEE SHEET L1.1

MATCHLINE SEE SHEET L1.4



NORTH



SCALE: 1" = 30'



**Pennoni**  
**PENNONI ASSOCIATES INC.**  
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 3242 Henderson Blvd., Suite 200  
 Tampa, FL 33609  
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WIREGRASS M2 - TOWN HOMES

LANDSCAPE PLAN

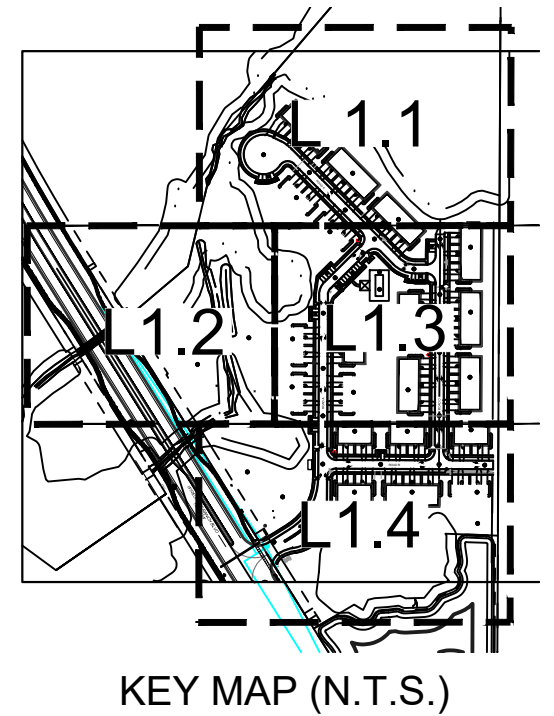
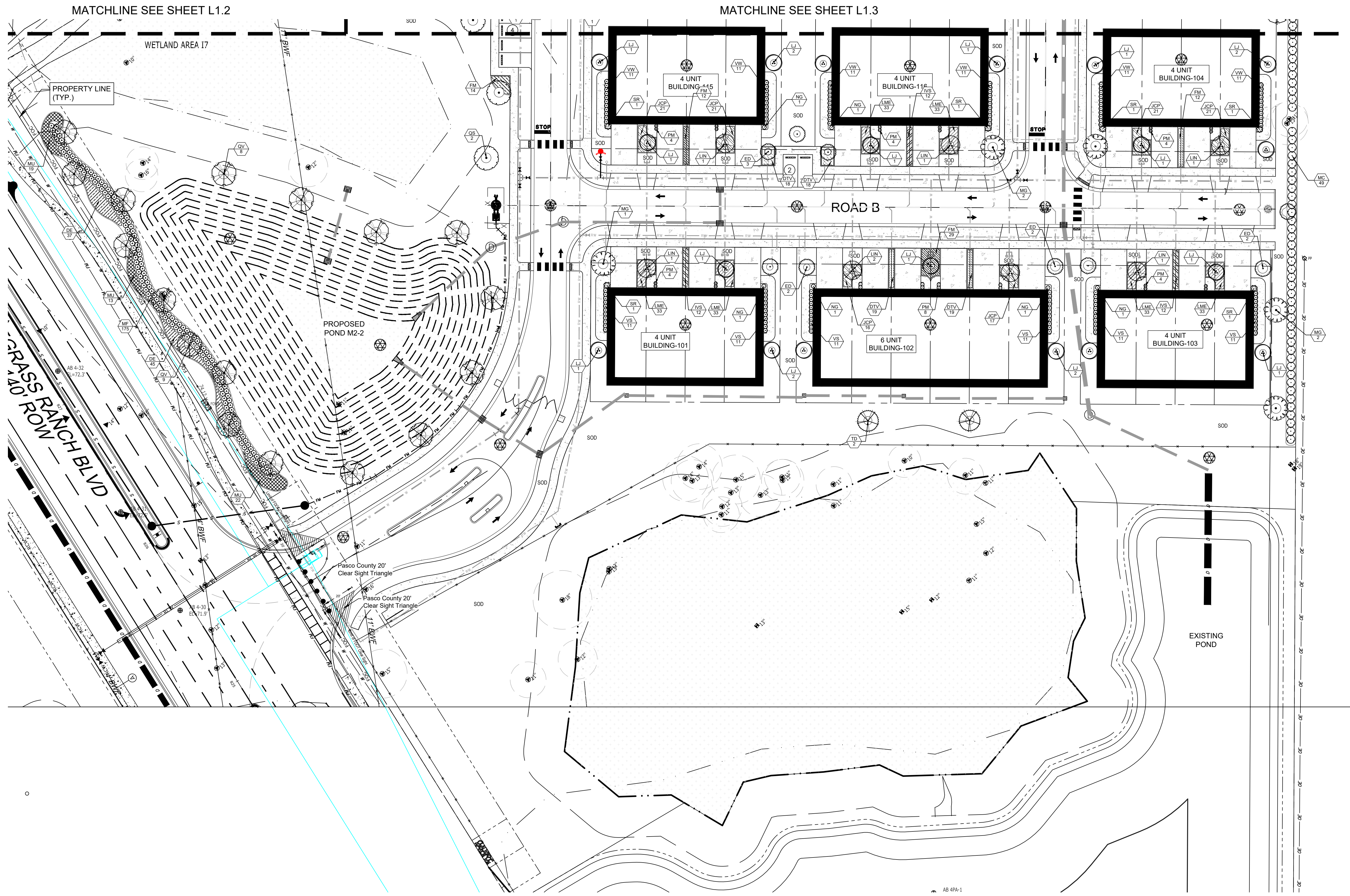
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DATE	2024-07-22
DRAWING SCALE	As noted
DRAWN BY	KC
APPROVED BY	JER

L1.3



MATCHLINE SEE SHEET L1.2

MATCHLINE SEE SHEET L1.3

WIREGRASS RANCH BLVD  
40' ROW

WETLAND AREA I7

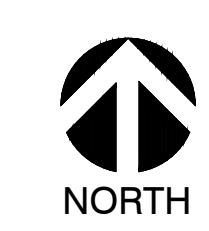
PROPOSED POND M2-2

ROAD B

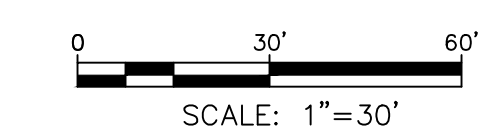
EXISTING POND

Pasco County 20' Clear Sight Triangle

Pasco County 20' Clear Sight Triangle



NORTH



SCALE: 1" = 30'



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WIREGRASS M2 - TOWN HOMES  
LANDSCAPE PLAN

NO.	DATE	BY

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DATE	2024-07-22
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L1.4

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**LANDSCAPE MATERIALS LIST**

TREES (6 SPECIES REQUIRED)						
Symbol	Key	No	Scientific Name	Common Name	Size Requirements	Drought Tolerant
	ED	18	Elaeocarpus decipiens	Japanese Blueberry Tree	B&B, min. 8' ht. x 3'-4' spr., 2' cal.	NO YES
	IV	18	Ilex vomitoria	Yaupon Holly	B&B, min. 8' ht. x 3'-4' spr., 2' cal.	YES YES
	LIN	14	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	B&B, min. 8' ht. x 3'-4' spr., 2' cal. std.	NO YES
	LIT	12	Lagerstroemia indica 'Tuscarora'	Tuscarora Crape Myrtle	B&B, min. 8' ht. x 3'-4' spr., 2' cal. std.	NO YES
	LJ	53	Ligustrum japonicum	Tree Ligustrum	B&B, min. 8' ht. x 6'-8' spr., multi-trunk	NO YES
	MG	14	Magnolia grandiflora	Bracken's Brown Beauty Magnolia	B&B, min. 8' ht. x 3'-4' spr., 2' cal.	YES YES
	QS	15	Quercus shumardii	Shumard Oak	B&B, min. 8' ht. x 3'-4' spr., 2' cal.	YES YES
	QV	64	Quercus virginiana	Live Oak	B&B, min. 12' ht. x 4'-5' spr., 3' cal.	YES YES
	TD	8	Taxodium distichum	Bald Cypress	B&B, min. 8' ht. x 3'-4' spr., 2' cal.	YES YES
	UA	13	Ulmus alata	Winged Elm	B&B, min. 8' ht. x 3'-4' spr., 2' cal.	YES YES

All proposed multiple-trunk trees shall have no less than three (3) trunks. Each trunk shall be equal to or greater than one (1) inch caliper. Each trunk shall be a minimum of six (6) feet in height at the time of installation.

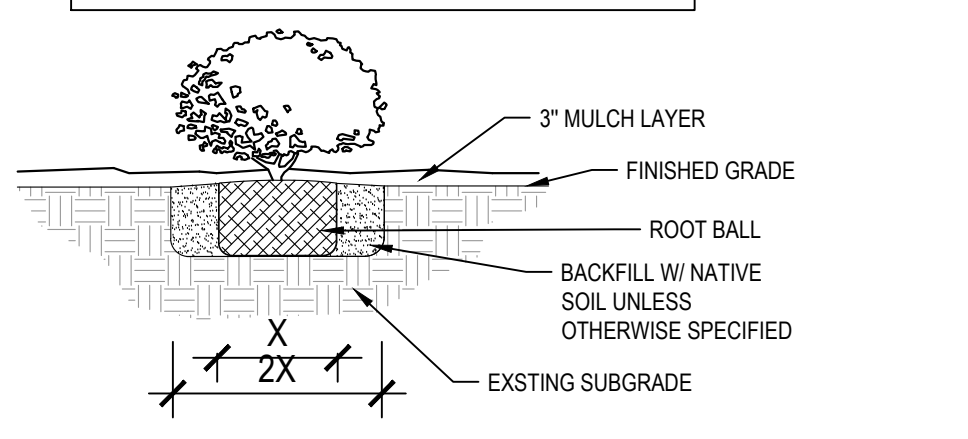
**SHRUBS / ACCENT PLANTS MAX 25% EACH SPECIES BY QUANTITY (= MIN. 4 SPECIES)**

Symbol	Key	No	Scientific Name	Common Name	Size Requirements	Min. 30% Native Florida	Min. 50% Drought Tolerant
	MF	175	Myrcianthes fragrans	Simpson's Stopper	Min. 7 gal., 36" ht. @ 36" o.c.	YES	YES
	MC	162	Myrica cerifera	Wax Myrtle	Container Grown, Min. 6' ht. @ 60" o.c.	YES	YES
	NG	22	Neomarica gracilis	Walking Iris	Min. 3 gal.	NO	YES
	PM	120	Podocarpus macrophyllus	Podocarpus	Min. 3 gal., 24" ht. @ 24" o.c.	NO	YES
	SR	18	Strelitzia reginae	Bird Of Paradise	Min. 7 gal., 30"-36" ht. x 30"-36" sprd.	NO	YES
	VW	242	Viburnum obovatum	Walter's Viburnum	Min. 3 gal., 24" ht. @ 30" o.c.	YES	YES
	VO	172	Viburnum odoratissimum	Sweet Viburnum	Min. 7 gal., 36" ht. @ 36" o.c.	NO	YES
	VS	198	Viburnum suspensum	Sandankwa Viburnum	Min. 3 gal., 24" ht. @ 30" o.c.	NO	YES
	DE	156	Duranta repens 'Gold Mound'	Dwarf GoldenDewdrops	Min. 3 gal., 14" ht. @ 30" o.c.	NO	YES
	FM	247	Ficus microcarpa	Dwarf Green Island Ficus	Min. 3 gal., 14" ht. @ 30" o.c.	NO	YES
	IVS	250	Ilex vomitoria 'Schillings Dwarf'	Dwarf Schillings Holly	Min. 3 gal., 14" ht. @ 30" o.c.	YES	YES
	MU	149	Muhlenbergia capillaris	Pink Muhly Grass	Min. 3 gal. @ 36" o.c.	YES	YES
	TF	35	Tripsacum floridana	Dwarf Fakahatchee Grass	Min. 3 gal. @ 48" o.c.	YES	YES
	DTV	367	Dianella tasmanica 'Variegata'	Variegated Flax Lily	Min. 1 gal. @ 24" o.c.	NO	YES
	JCP	535	Juniperus chinensis 'Parsonii'	Parsoni Juniper	Min. 3 gal. @ 30" o.c.	NO	YES
	LME	465	Liriope muscari 'Evergreen Giant'	Giant Liriope	Min. 1 gal. @ 24" o.c.	NO	YES

MULCH						
Symbol	Key	No	Scientific Name	Common Name	Size Requirements	Drought Tolerant
	MUL	1	Pine Bark Mulch	Mini Nuggets	Cu. Yd., Min. 3" depth	
SOD/SEED						
	SOD	1	Paspalum notatum	Bahia Sod	Sq. ft. 95% weed free, roll after installation	

The above material specifications are the minimum requirements. Based on current market availability the contractor shall price and install larger container sizes as needed to meet this criteria at installation.

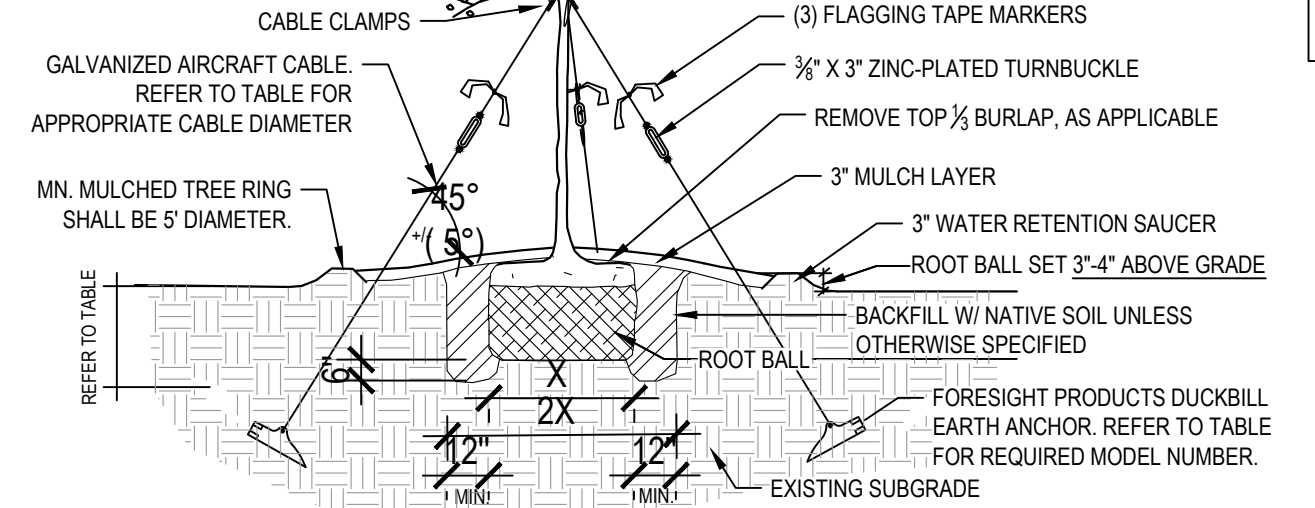
**NOTES:**  
 1. SPACING VARIES, SEE PLANSCHEDULE.  
 2. PLANT SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS IT BORE IN THE CONTAINER.  
 3. PLANTING HOLE SHALL HAVE VERTICAL SIDES.



**1 SHRUB/GROUND COVER PLANTING DETAIL**  
L1.5 NOT TO SCALE

ALL STAKING SHALL BE CONTAINED WITHIN MULCHED RINGS. ADJUST SIZE AS NEEDED.

**STAKING PLAN**  
NOT TO SCALE



**2 TYPICAL TREE PLANTING AT GRADE**  
L1.5 NOT TO SCALE

**NOTE:** THE DUCKBILL ANCHORING SYSTEM IS DESIGNED TO BE USED WITH MANUFACTURER SUPPLIED COMPONENTS. INSTALL ANCHORS AS PER MANUFACTURERS SPECIFICATIONS.

TREE CALIPER	MODEL NUMBER	RATED CAPACITY	MINIMUM DEPTH OF INSTALLATION
UP TO 3"	40-DTS	300 LBS. EA.	20"
UP TO 6"	60-DTS	1,100 LBS. EA.	30"
UP TO 11"	80-DTS	3,000 LBS. EA.	42"
NOT RATED	138-DTS	5,000 LBS. EA.	60"

**NOTE:** RATED FOR WINDS UP TO 50 MPH  
 NOTE: ALL TREES SHALL BE WATERED THOROUGHLY WITH A HIGH PRESSURE WATER NOZZLE AND PACKED WITH SOIL TO REMOVE EXISTING AIR POCKETS AND TO PREVENT FURTHER TREE SETTLEMENT.

**LANDSCAPE REQUIREMENTS**

DIVERSITY REQUIREMENT			
<b>Drought Tolerant Plantings</b>	Percent Required	Percent Achieved	
50% of the planting material other than trees must be drought tolerant	50%	100%	
<b>Native Plantings</b>	Percent Required	Percent Achieved	
30% of the shrubs and groundcover plantings are required to be a native species.	30%	30%	
<b>Required Number of Trees Species</b>	Species Required	Species Provided	
Per Table 905.2-B, there are 189 trees required on the site.	6	10	
<b>Diversity of Plantings</b>	Percent Allowed	Percent Provided	
No one plant of ground cover species may constitute more than 25% of the number of plantings.	25%	7%	

OFF STREET VEHICLE USE AREA (VUA)			
<b>VUA Plantings</b>	Square Footage Required	Square Footage Provided	
10% of the VUA must be devoted to interior landscape areas.	6,963 sq. ft.	Minimum 6,963 sq. ft.	
<b>Shade Trees in the VUA</b>	Shade Trees Required	Shade Trees Provided	
There shall be one shade tree planted for every 200 square feet of required interior landscape area.	35 trees	Minimum 35 trees	

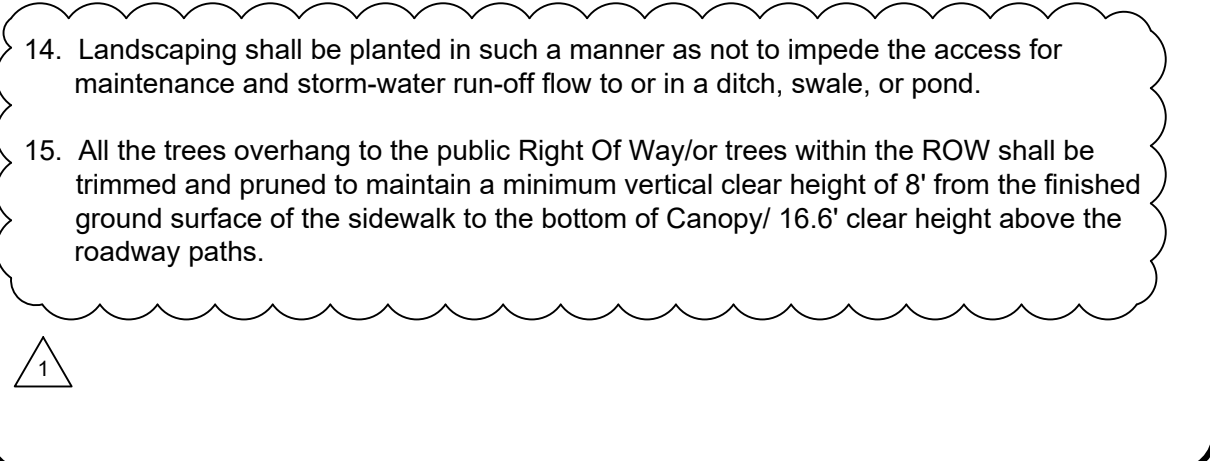
BUILDING PERIMETER PLANTINGS (Building Number 4 units and 6 units)				
Plantings are required around the building making up at least 10% of the buildings ground-level floor area.	The building's ground-level floor area 4 units building = 5,760 sf 6 units building = 8,640 sf	Square Footage Required 4 units = 576 sq. ft. 4 units = 864 sq. ft.	Square Footage Provided Minimum 576 sq. ft. 864 sq. ft.	
<b>Building Perimeter Plantings</b>		Linear Required	Linear Provided	
50% of this building's perimeter is required to be planted.	The building's perimeter linear feet. 4 units building = 312 x 50% = 6 units building = 468 x 50% =	156 Ln. ft. 234 Ln. ft.	Minimum 156 Ln. ft. 234 Ln. ft.	
<b>Building Perimeter Plantings</b>		Tree Required	Tree Provided	
One tree or palm is required per fifty (50) linear feet of the building perimeter	The building's Linear footage 4 units building = 312 / 50 = 6 units building = 468 / 50 =	6 trees 9 trees	Minimum 6 tree 9 tree	

PERIMETER LANDSCAPE BUFFERING AND SCREENING				
	NORTH BUFFER	EAST BUFFER	SOUTH BUFFER	WEST BUFFER
Buffer Type Required	-	Type 'B'	-	Type 'D-2'
Buffer Type Provided	-	Type 'B'	-	Type 'D-2'
Width Required	-	15'	-	15'
Width Provided	-	15'	-	15'
Shade Tree Required	-	(1) per 60 LF	-	(1) per 30 LF
Shade Tree Provided	-	14 trees	-	18 trees
Shrub Required	-	Single row	-	Double row, 3' ht
Shrub Provided	-	162 shrubs	-	347 shrubs
Additional Planting Required	-	None	-	(30) Accent per 100 LF
Additional Planting Provided	-	None	-	297 accent planting
Visual Screening Required	-	6' ht screen	-	None
Visual Screening Provided	-	6' ht screen	-	None

Water Management Systems (Pond Number / Number: )			
<b>Retention / detention Ponds Between ROW and Development</b>	Average Pond Width Required	Average Pond Width Provided	
The proposed pond is between a Type 1 Subdivision Road and the development.	Ponds between a Type 1 Subdivision Road and the proposed development require a width of 125 feet along the frontage.	125 ft.	
The proposed pond is between a Collector Road and the development.	Ponds between a Collector Road and the proposed development require a width of 175 feet along the frontage.	Minimum M2-1 = 217 ft. M2-2 = 210 ft.	
<b>Retention / detention Ponds located in a Required Buffer</b>	Encroachment Allowed	Encroachment Proposed	
Ponds may encroach up to 70% into a proposed buffer, assuming a 5-foot-wide level planting area is maintained between the development and the ROW.	The Buffer is required to be 15 feet wide. The pond is encroaching 0' feet into the buffer.	70% 0%	

**PASCO COUNTY LANDSCAPING NOTES**  
(Pasco LDC 905.2)

- Maintenance Responsibility. The County is not responsible for maintenance of any landscaping unless approved through a County maintenance agreement. (LDC 905.2-C.1.a)
- Clear-Sight Triangle. Where a driveway/accessway intersects a road right-of-way or where two (2) road rights-of-way intersect, vegetation, structures, and non-vegetative visual screens shall not be located so as to interfere with the clear-sight triangle as defined in this Code or the Florida Department of Transportation, Manual of Uniform Minimum Standards, most recent edition (Green Book), whichever is more restrictive. (LDC 905.2-C.1.b)
- Sustainable Practices. Landscaping shall be installed so that landscaping materials meet the concept of right material/right place. Installed trees and plants shall be grouped into zones according to water, soil, climate, and light requirements. Plant groupings based on water requirements are drought tolerant, natural, and oasis. (LDC 905.2-C.1.c)
- Diversity. A maximum of 50 percent of the plant materials used, other than trees, may be non-drought tolerant. A minimum of 30 percent of the plant materials, other than trees and turfgrass, used to fulfill the requirements of this subsection shall be native Florida species, suitable for growth in the county. (LDC 905.2-C.1.d)
- Diversity. No one plant species of shrubs or ground cover plants, excluding turfgrass, shall constitute more than 25 percent coverage of the overall landscape area. (LDC 905.2-C.1.d.5)
- Quality. All plant materials shall be Florida No. 1 grade per "Grades and Standards for Nursery Plants," Florida Department of Agriculture and Consumer Services (FDACS), which is incorporated herein by reference. (LDC 905.2-C.2.a)
- Avoid Easements. Trees shall not be planted within any easement so as to interfere with the use of that easement, nor under any present or planned overhead utility, nor in any rights-of-way without County approval through the associated review process. (LDC 905.2-C.3.c)
- Mulch shall be used in conjunction with living plant materials so as to cover exposed soil. Mulch shall be installed to a minimum depth of three (3) inches. The mulch should not be placed directly against the plant stem or tree trunk. Mulch shall not be required for annual beds. Stone or gravel may be used to cover a maximum of 20 percent of the landscaped area. (LDC 905.2-C.3.d)
- Quality Practices. All landscaping shall be installed in accordance with standards and practices of the Florida Nursery, Growers, and Landscape Association and the Florida Chapter of the International Society of Arboriculture. (LDC 905.2-C.3.e)
- All portions of a lot upon which development has commenced, but not continued for a period of 30 days, shall be planted with a grass species or ground cover to prevent erosion and encourage soil stabilization. Adequate coverage, so as to suppress fugitive dust, shall be achieved within 45 days. (LDC 905.2-C.3.g)
- All required landscaping shall be maintained in a healthy condition in perpetuity in accordance with this Code. (LDC 905.2-E.2)
- Ongoing maintenance to prevent the establishment of prohibited exotic species is required. (LDC 905.2-E.4)
- Ground cover plants shall be spaced so as to present a finished appearance and to obtain a reasonably complete coverage within one (1) year after planting. Nonliving ground cover, such as mulch, gravel, rocks, etc., shall be used in conjunction with living plants so as to cover exposed soil and suppress fugitive dust.
- Landscaping shall be planted in such a manner as not to impede the access for maintenance and storm-water run-off flow to or in a ditch, swale, or pond.
- All the trees overhanging the public Right Of Way/ or trees within the ROW shall be trimmed and pruned to maintain a minimum vertical clear height of 8' from the finished ground surface of the sidewalk to the bottom of Canopy/ 16.6' clear height above the roadway paths.



THE INTENT OF THIS STANDARD IS TO PROVIDE A WINDOW WITH VERTICAL LIMITS OF NOT LESS THAN 5' ABOVE AND 1'-6" BELOW THE SIGHT LINE DATUM, AND HORIZONTAL LIMITS DEFINED BY THE LIMITS OF CLEAR SIGHT.

**3 PICTORIAL WINDOW DETAIL**  
L1.5 (FDOT index 546 detail) NOT TO SCALE

**GENERAL LANDSCAPE NOTES:**

- All landscape material shall be fl. no. 1 grade or better, as specified in grades and standards for nursery plants, parts I and II, by Division of Plant Industry, Florida Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurseryman Standards for Nursery Stock. Landscape material shall be planted according to sound nursery practices.
- Shrubs grown in appropriately sized containers shall have the ability to be a minimum of twenty-four (24) inches in height within one (1) year of planting (unless otherwise required) and shall maintain that height. Shrubs shall be a minimum of eighteen (18) inches in height at the time of installation. Shrubs shall be spaced a distance appropriate to the species to create a continuous appearance within one (1) year of planting, but at no more than thirty-six (36) inches on center at the time of installation.
- All required shade trees shall be a minimum of 6' overall height, with a min. 2" trunk caliper at time of planting. Adjust tree locations as necessary to avoid utilities, obstructions, etc. see materials list for exact specifications.  
All required trees shall be located a minimum of 5 feet from impervious surfaces, all shrubs 2 feet.
- Dwarf variety of shrubs grown in the appropriate-sized containers shall be a minimum of ten (10) inches in height at the time of installation. Dwarf shrubs shall be placed a distance appropriate to the species to create a continuous appearance within one (1) year of planting, but at no more than thirty-six (36) inches on center at the time of installation.
- An automatic underground irrigation system shall be installed to maintain the landscape area in a healthy manner and provide 100% coverage.
- The contractor shall sod all disturbed areas. All planting shall be mulched to a 3" minimum depth.
- The contractor shall be responsible for the clean up of premises and removal of all discarded and surplus materials, and rubbish.
- Verify the locations of existing trees, lawns, and shrubs. Remove extraneous materials such as rocks, branches, building materials or unacceptable soils prior to planting sod, trees, and shrubs, where encountered.
- Contractor shall become acquainted with the related paving, site grading, and all utilities (including water, sewer, and electrical supply) to preclude any misunderstandings and ensure a trouble free installation.
- The exact location of all existing structures, underground utilities, and pipes may not be as indicated on drawings; the contractor shall determine the location of these items and shall conduct his work in a manner to prevent interruption or damage to existing systems which must remain operational. The contractor shall protect existing structures and utility services which must remain operational and shall be responsible for their replacement if damaged by him.
- Contractor shall call Sunshine State One-Call at least 48 hours prior to digging. (1-800-432-4770).
- Quantities on plan take precedence over materials list. Quantities on materials list are provided as a courtesy only.
- All landscape material shall be maintained in perpetuity to provided all required FDOT and local site clearance distances for vehicles.
- Install a minimum 5' diameter mulch ring for all new trees. Mulch ring diameter shall be enlarged as needed to contain tree staking within mulched area.
- A Tree Permit will be required prior to any construction, native vegetative removal within the dripline of a tree and / or tree removal.
- A landscape warranty shall be provided for all installed landscaping which at a minimum shall include the following: (1) one year for trees, (90) ninety days for all shrubs, groundcover and sod.
- Soil testing shall be provided by the landscape contractor to confirm ph and soil nutrient composition throughout the project. Base on these tests, contractor shall determine if any soil amendments or additional fertilization will be needed for successful plant of sod establishment.

**TREE REMOVAL & REPLACEMENT & MITIGATION**

The tree inventory of identified trees by type and size (not including palm and pine tree, except for longleaf)

TREES INCHES TO BE REMOVED - (10" DBH AND LARGER)					
LIVE OAKS			OTHER TREES		
SIZE (IN.)	NO.	TOTAL OAK INCHES	TYPE	NO.	TOTAL INCHES
10	1	10	-	-	-
11	7	77	-	-	-
12	3	36	-	-	-
13	3	39	-	-	-
15	2	30	-	-	-
TOTAL OAK:		192	TOTAL OTHER:		-

LIVE OAKS TO BE REPLACED INCH FOR INCH  
 OTHERS TO BE REPLACED INCH FOR 1/3 INCH.

TOTAL TREES INCHES TO BE REPLACED					
LIVE OAKS			OTHER TREES		
LIVE OAKS TO BE REPLACED INCH FOR INCH. OTHERS TO BE REPLACED INCH FOR 1/3 INCH					
LIVE OAKS		OTHERS			
TOTAL OAKS	192"	TOTAL OTHER:	NONE		
INCH FOR INCH	192"	1/3	0		
192" or (64) 3" Live Oaks have been provided on site.					



ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY M. JASON SHERIDAN, P.E. ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

WIREGRASS M2 - TOWN HOMES

LANDSCAPE PLAN

JANE HOLE, LLC  
 P.O. BOX 290069  
 TAMPA, FL 33687

NO.	DATE	REVISIONS	BY

PROJECT	LCSTB 22003
DATE	2024-07-22
DRAWING SCALE	As noted
DRAWN BY	KC
APPROVED BY	JER