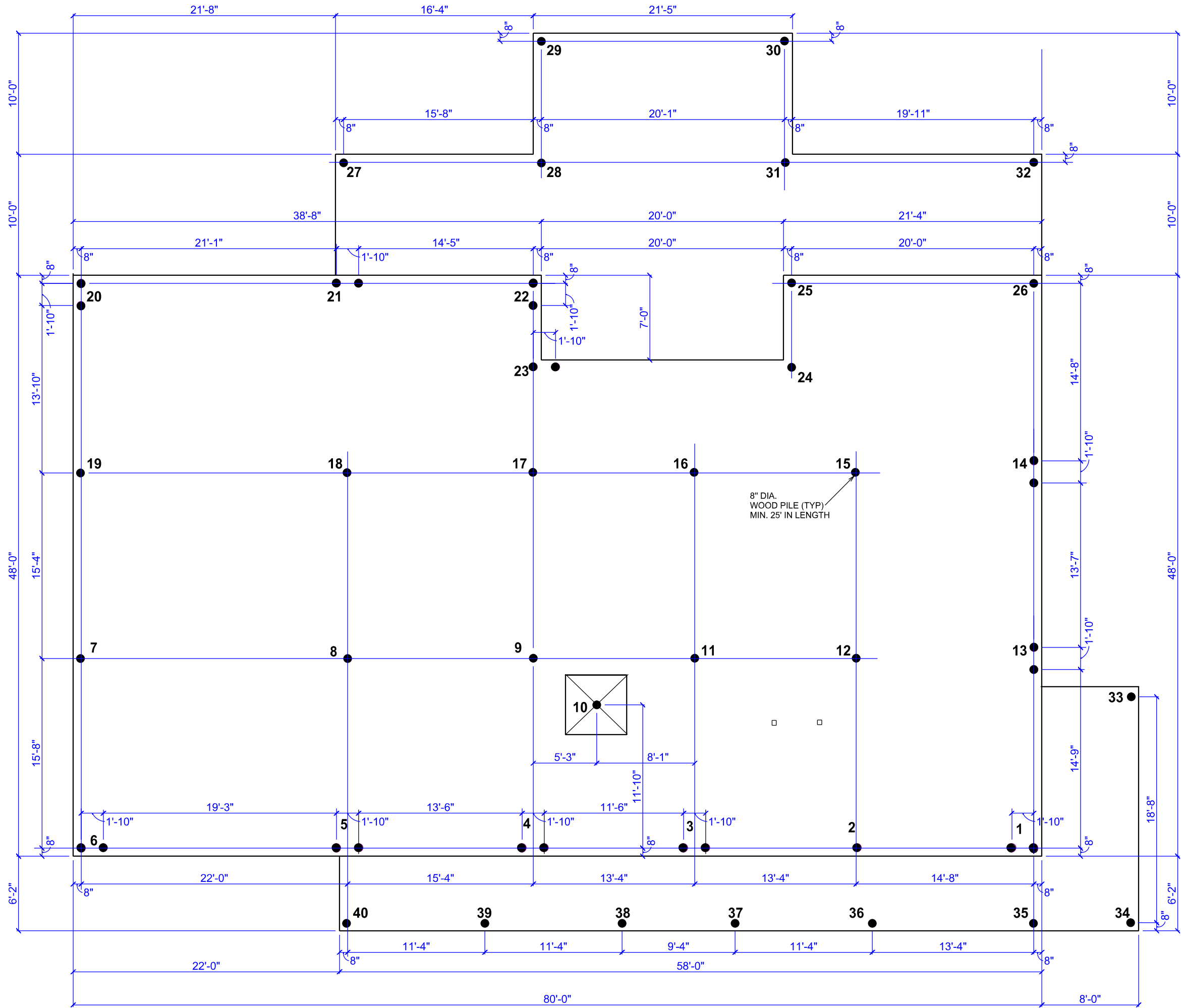


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3	2	1.2
4	2	1.2
5	2	1.7
6	2	1.9
7	1	1.1
8	1	0.6
9	1	0.7
10	1	1.1
11	1	0.8
12	1	0.8
13	2	1.7
14	2	1.7
15	1	0.7
16	1	0.7
17	1	0.6
18	1	0.7
19	1	1.1
20	2	1.9
21	2	1.7
22	2	1.4
23	2	1.2
24	1	0.9
25	1	1.1
26	2	1.3
27	1	0.3
28	1	0.6
29	1	0.4
30	1	0.4
31	1	0.6
32	1	0.3
33	1	0.3
34	1	0.3
35	1	0.3
36	1	0.3
37	1	0.3
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40	1	0.3



PILING LAYOUT PLAN

SCALE 1/8" = 1'-0"

**1**

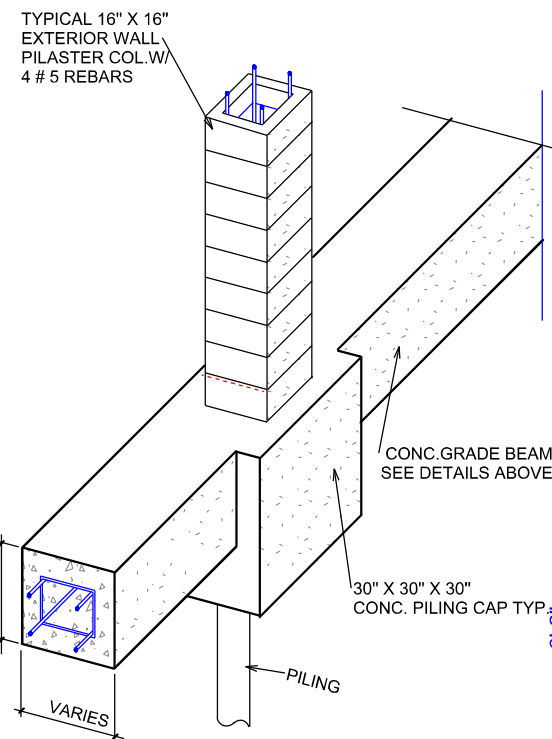
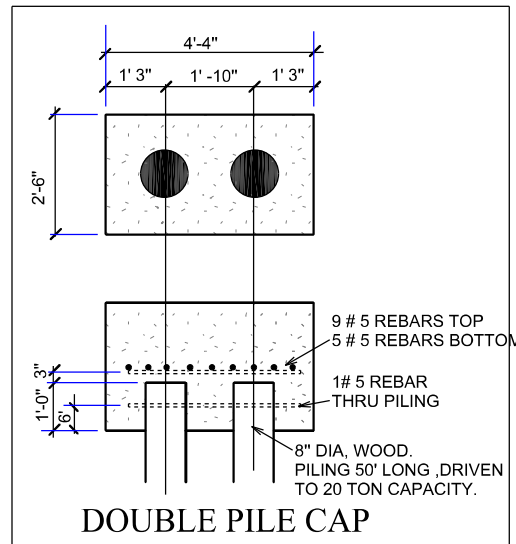
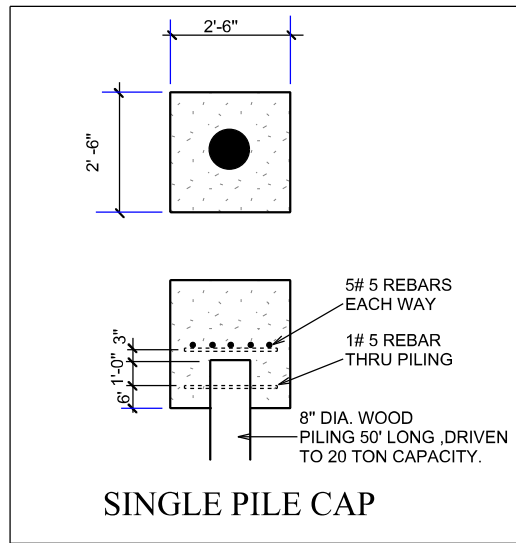
DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE
05-08-20
07-14-22
03-18-22
04-01-22
06-24-22

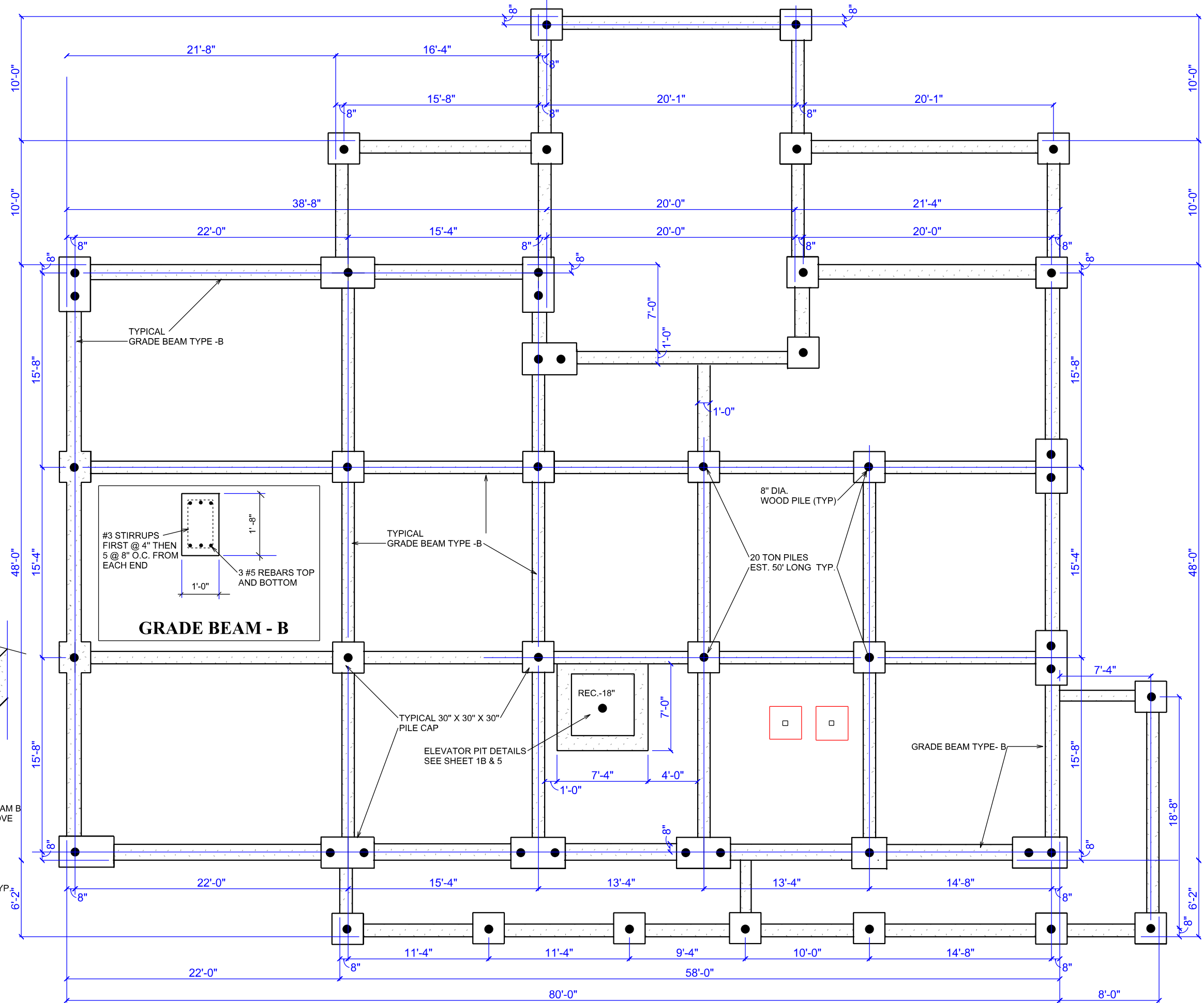
ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.

JOB # 6582

RICHARD MARCEAU  
PE # 64466  
P.O. BOX 3886  
HOLIDAY, FL. 34692



**TYPICAL GRADE BEAM / PILE CAP DETAIL**



**JOB # 6582**

RICHARD MARCEAU

PE # 64466  
P.O. BOX 3886  
HOLIDAY, FL. 34692

SCALE 1/8" = 1'-0"

**ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.**

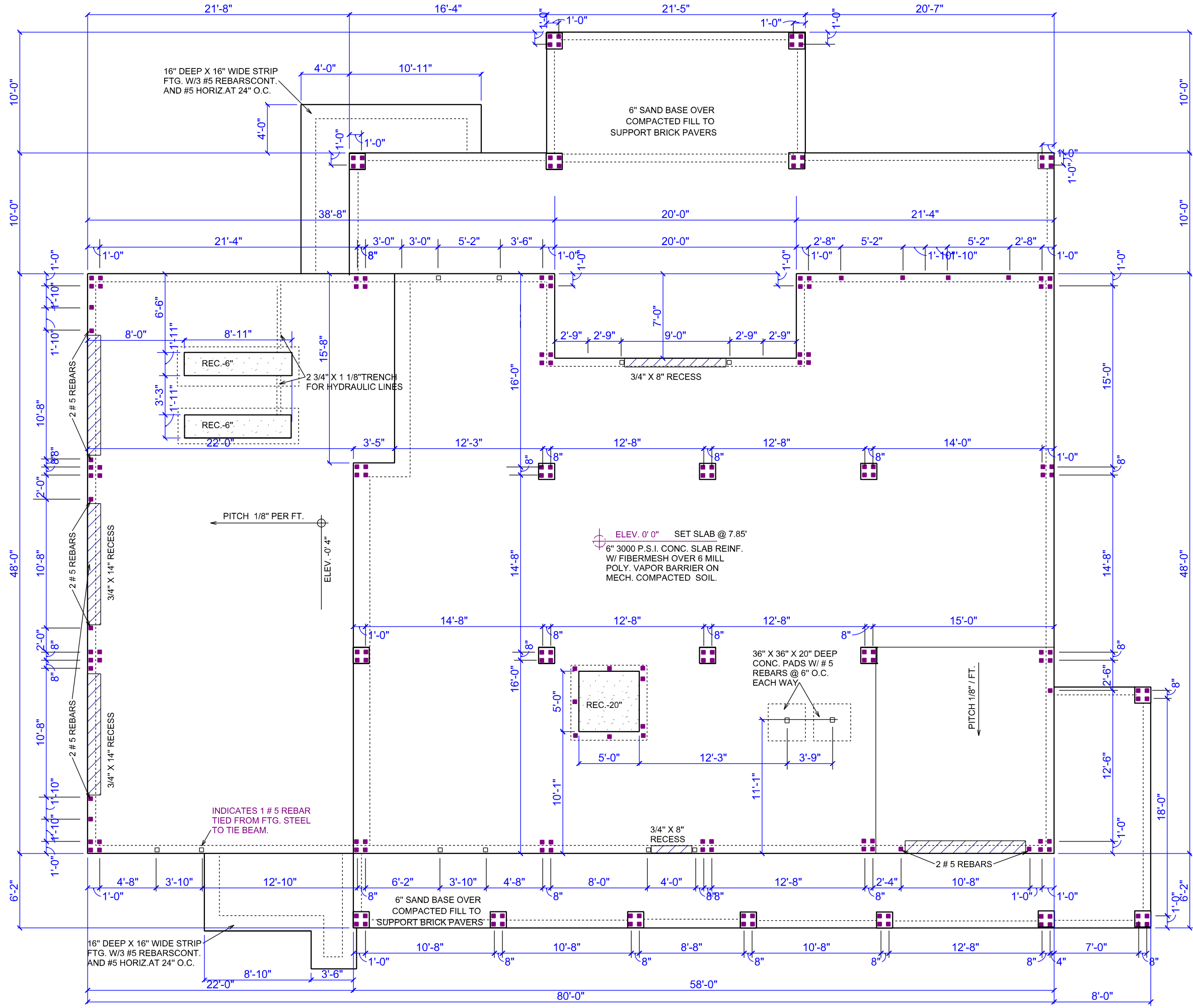
**PLAN DATE**

05-08-20	07-14-22
03-18-22	
04-01-22	
06-24-22	

**GRADE BEAM PLAN**

**DEEB FAMILY  
HOMES, LTD.**  
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**1A**



SLAB PLAN

SCALE 1/8" = 1'-0"

**1B**

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PLAN DATE
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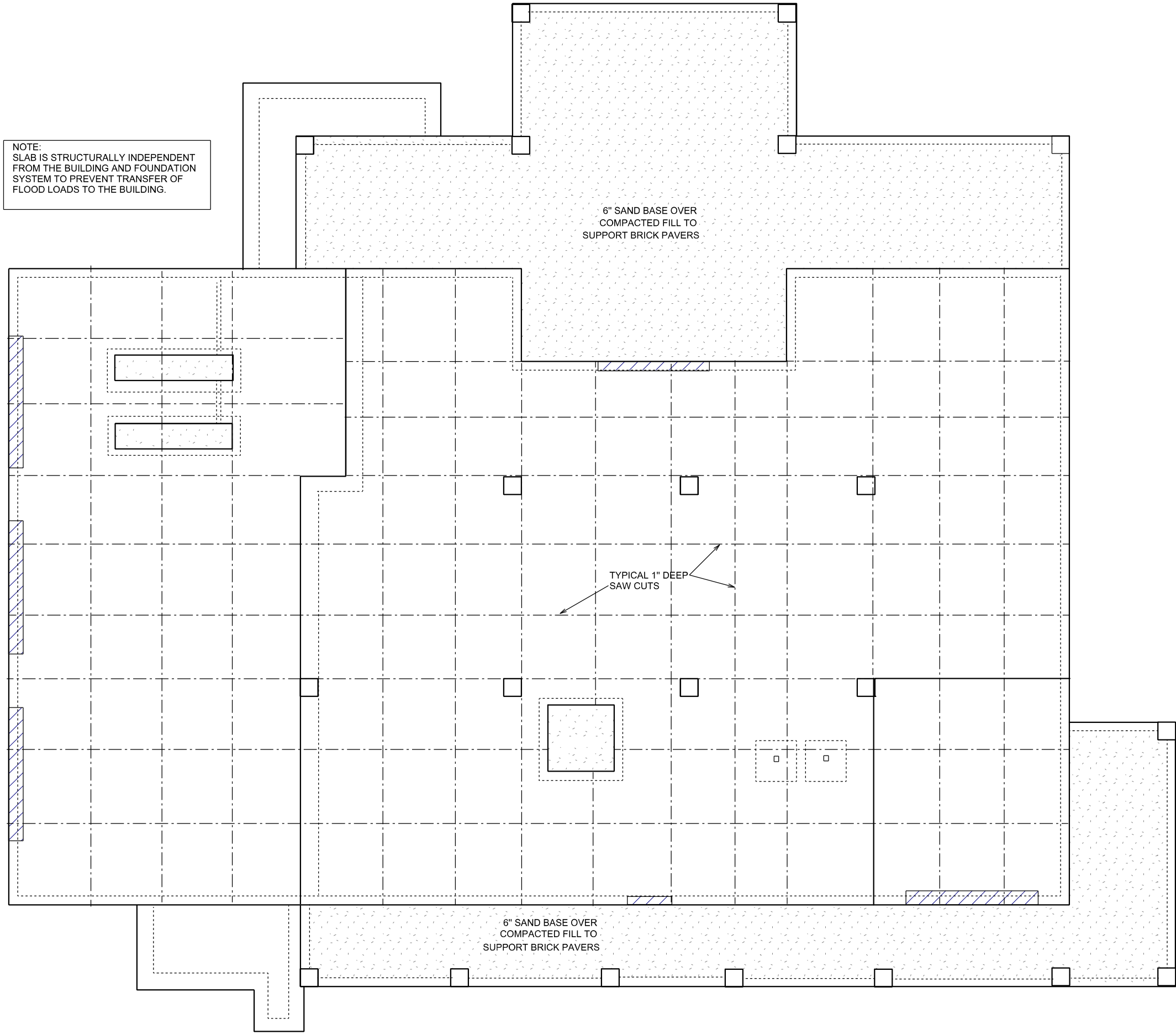
ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.



JOB # 6582

RICHARD MARCEAU  
PE # 64466  
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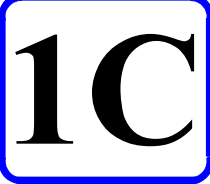
NOTE:  
SLAB IS STRUCTURALLY INDEPENDENT  
FROM THE BUILDING AND FOUNDATION  
SYSTEM TO PREVENT TRANSFER OF  
FLOOD LOADS TO THE BUILDING.



GROUND FLOOR SLAB PLAN

SCALE 1/8" = 1'-0"

JOB # 6582



DEEB FAMILY  
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ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.



RICHARD MARCEAU  
PE # 64466  
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HOLIDAY, FL. 34692

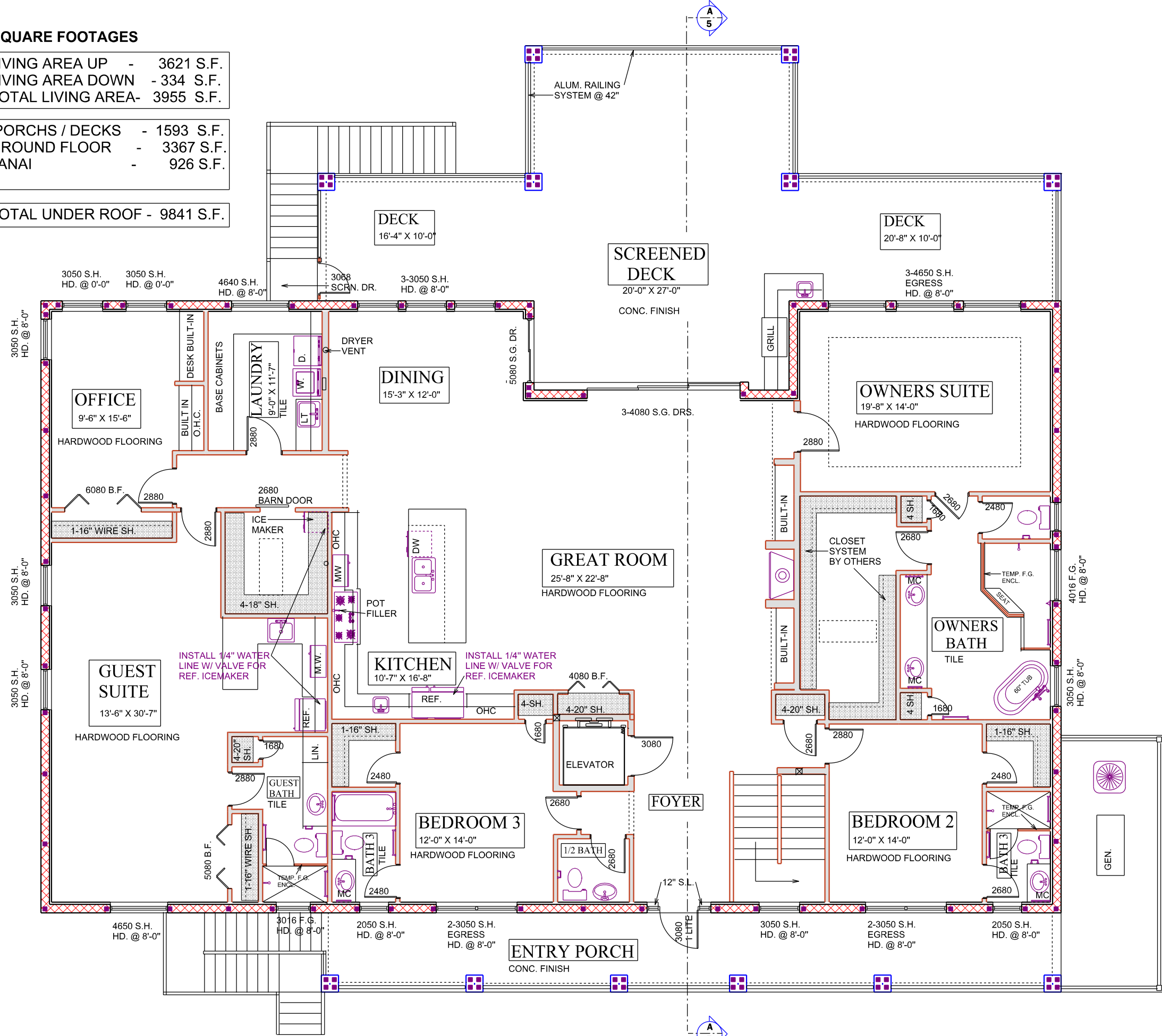


**SQUARE FOOTAGES**

LIVING AREA UP - 3621 S.F.  
 LIVING AREA DOWN - 334 S.F.  
 TOTAL LIVING AREA- 3955 S.F.

PORCHS / DECKS - 1593 S.F.  
 GROUND FLOOR - 3367 S.F.  
 LANAI - 926 S.F.

TOTAL UNDER ROOF - 9841 S.F.



**JOB # 6582**

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 120 SHORE DRIVE  
 OLDSMAR, FL.**

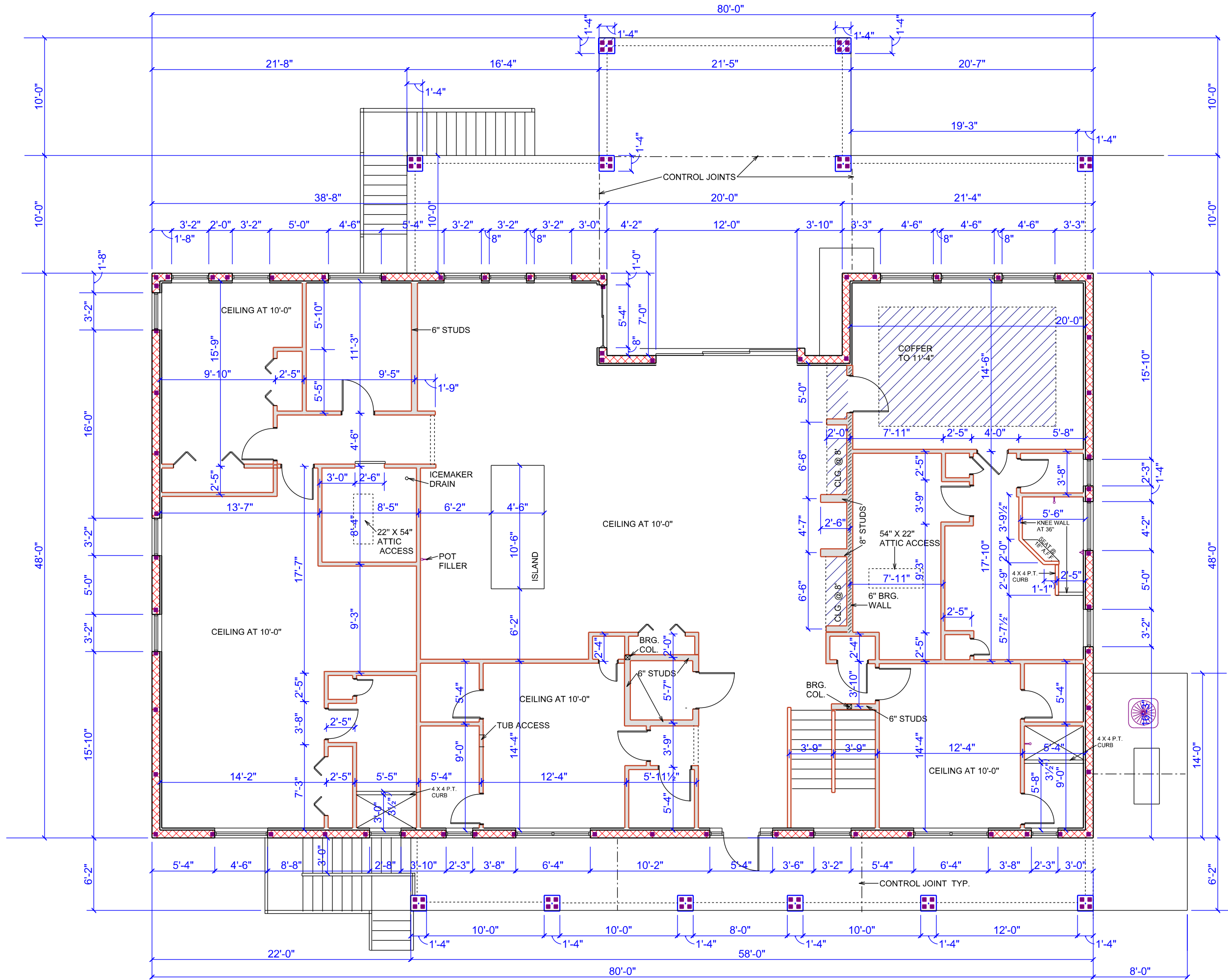
SCALE 1/8" = 1'-0"

PLAN DATE
05-08-20
07-14-22
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06-24-22

**DEEB FAMILY  
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 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

**FLOOR PLAN NOTES**

**2**



SCALE 1/8" = 1'-0"

FLOOR PLAN DIMENSIONS

**2A**

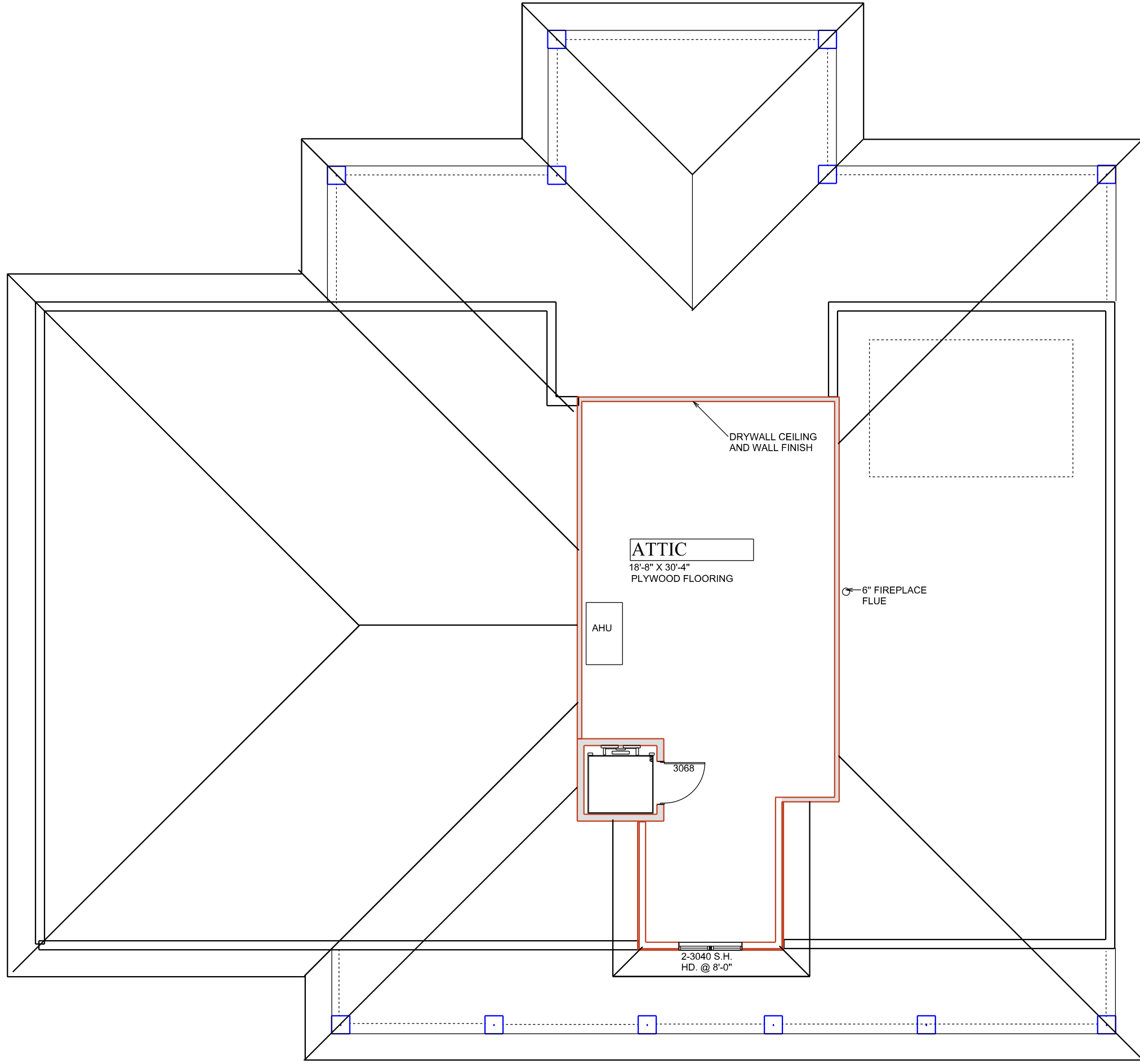
**DEEB FAMILY HOMES, LTD.**  
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**120 SHORE DRIVE**  
**OLDSMAR, FL.**

**JOB # 6582**

**RICHARD MARCEAU**  
 PE # 64466  
 P.O. BOX 3886  
 HOLIDAY, FL. 34692



ATTIC NOTES

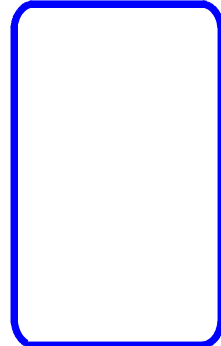
SCALE 1/8" = 1'-0"

**3**

**DEEB FAMILY  
HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
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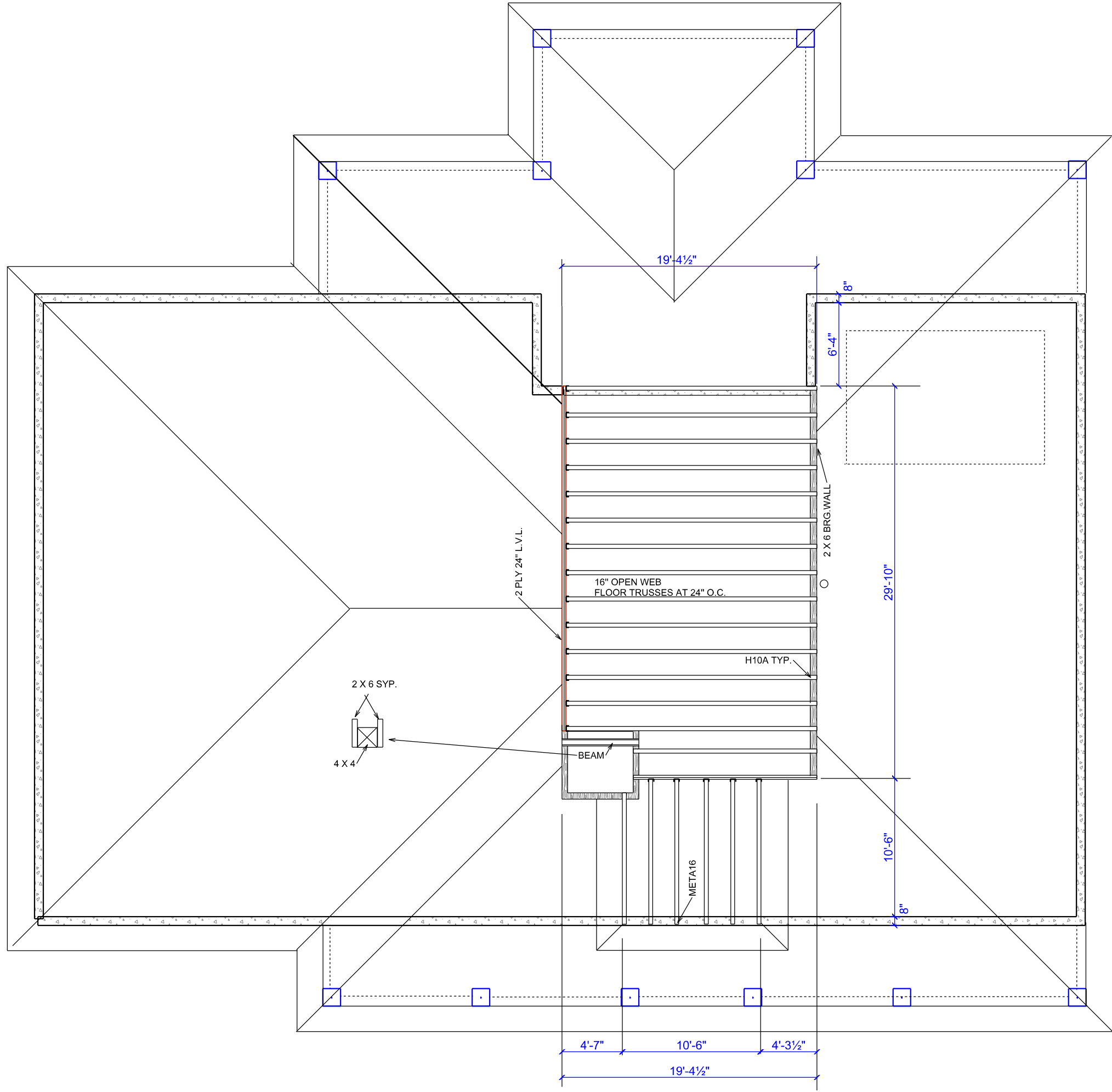
PLAN DATE
05-08-20
07-14-22
03-18-22
04-01-22
06-24-22

**ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.**



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HOLIDAY, FL. 34692



**ATTIC FLOOR JOISTS**

SCALE 1/8" = 1'-0"

**DEEB FAMILY HOMES, LTD.**  
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 727-376-6831

PLAN DATE	DATE
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03-18-22	
04-01-22	
06-24-22	

**ZERO RESIDENCE**  
**120 SHORE DRIVE**  
**OLDSMAR, FL.**

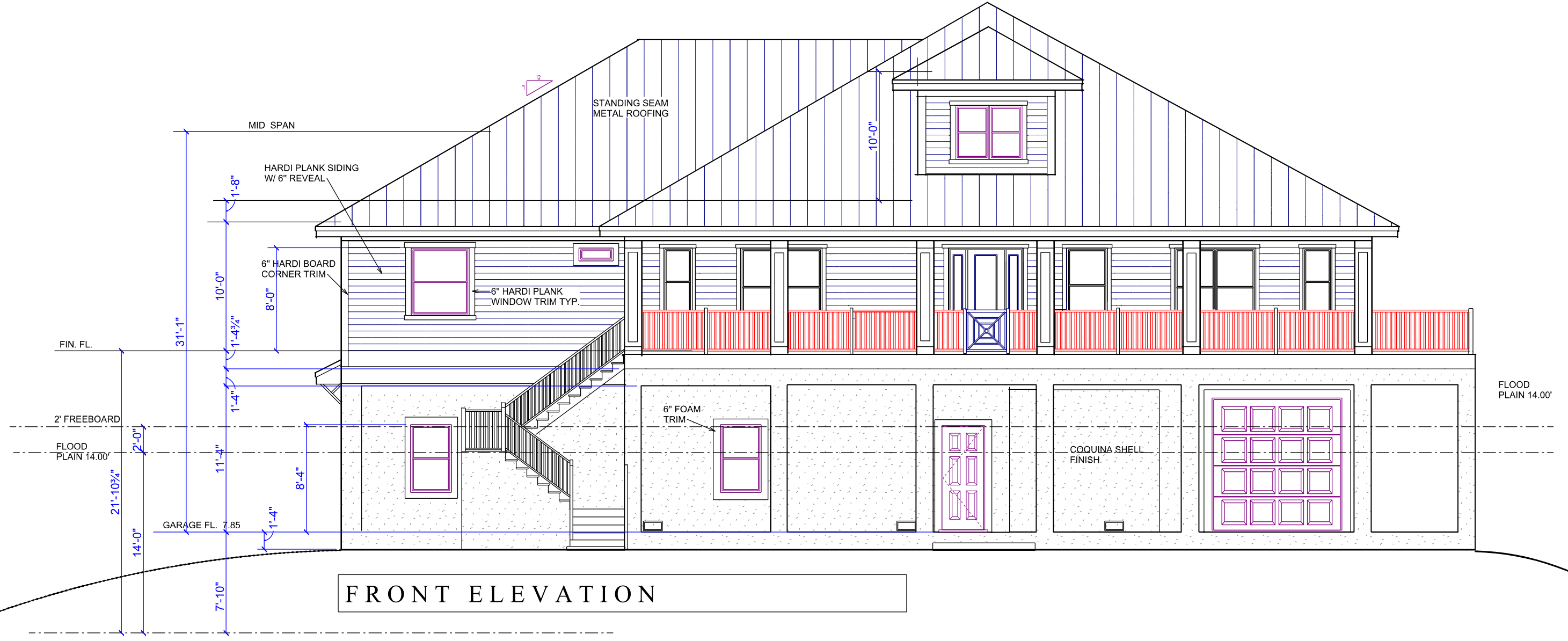
**JOB # 6582**

**RICHARD MARCEAU**

PE # 64466  
 P.O. BOX 3886  
 HOLIDAY, FL. 34692

**3A**





FRONT ELEVATION

FRONT ELEVATION

SCALE 1/8" = 1'-0"

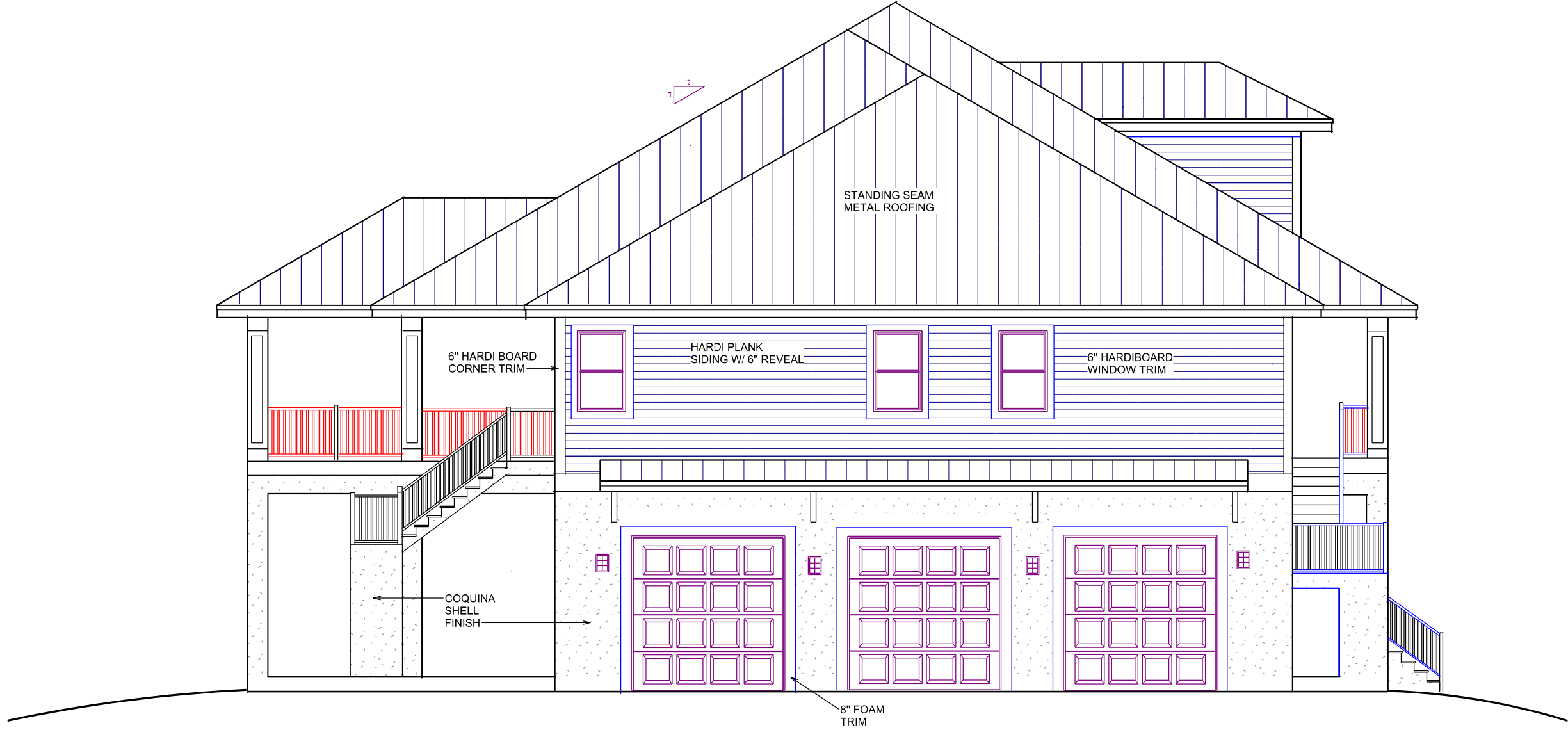
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DEEB FAMILY  
HOMES, LTD.  
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NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE
05-08-20
03-18-22
04-01-22
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ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.

JOB # 6582  
RICHARD MARCEAU  
PE # 64466  
P.O. BOX 3886  
HOLIDAY, FL. 34692



**LEFT SIDE ELEVATION**

LEFT ELEVATION

SCALE 1/8" = 1'-0"

**4A**

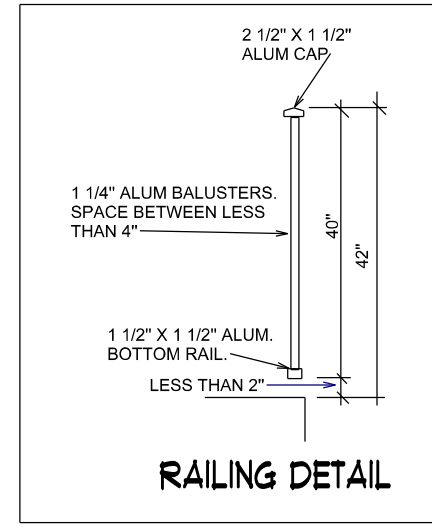
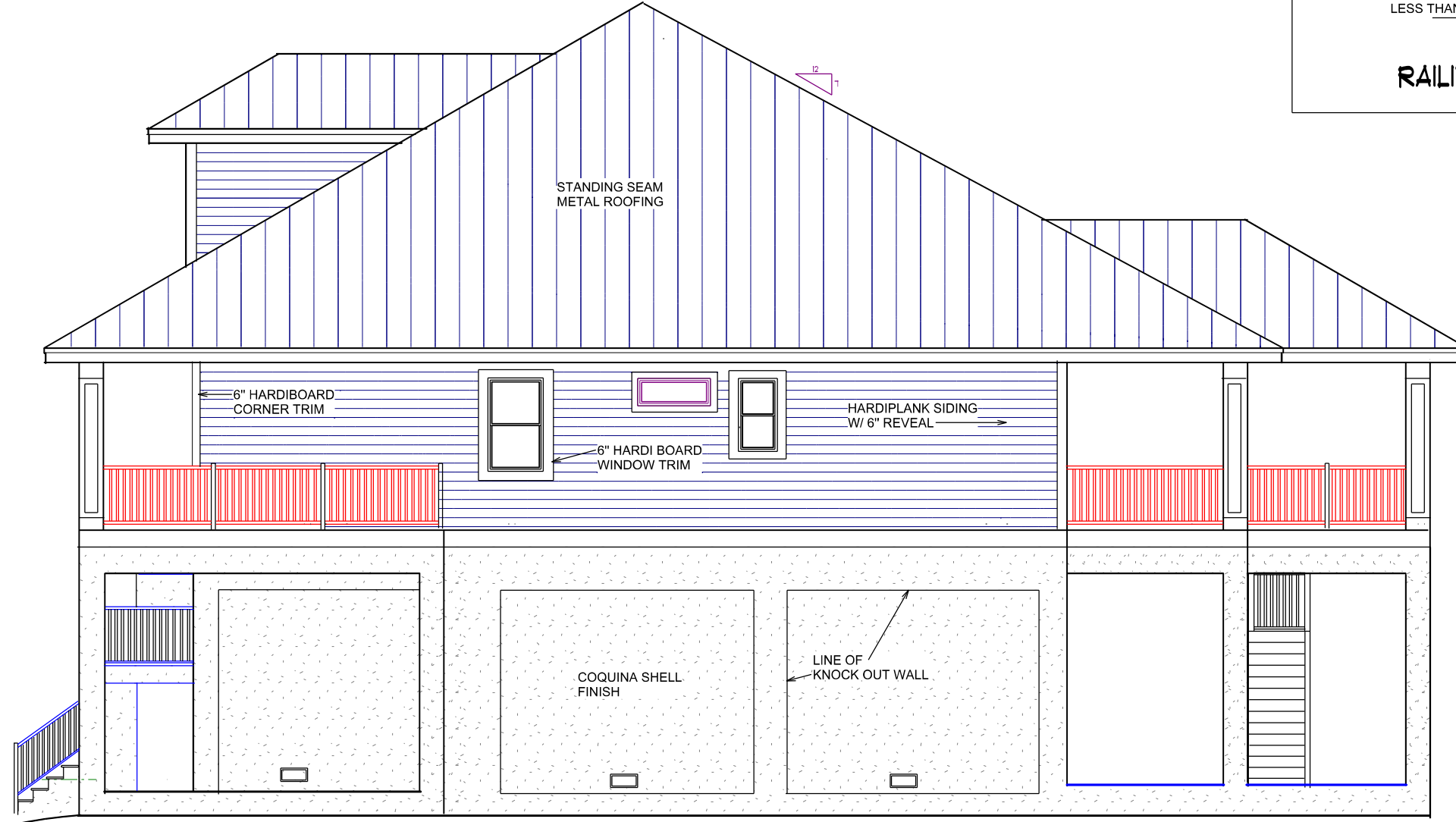
**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE
05-08-20
07-14-22
03-18-22
04-01-22
06-24-22

**ZERO RESIDENCE**  
**120 SHORE DRIVE**  
**OLDSMAR, FL.**

**JOB # 6582**

**RICHARD MARCEAU**  
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 P.O. BOX 3886  
 HOLIDAY, FL. 34692



RIGHT SIDE ELEVATION

RIGHT ELEVATION

SCALE 1/8" = 1'-0"

**4B**

**DEEB FAMILY HOMES, LTD.**  
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 727-376-6831

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06-24-22

**ZERO RESIDENCE**  
**120 SHORE DRIVE**  
**OLDSMAR, FL.**

**JOB # 6582**  
**RICHARD MARCEAU**  
 PE # 64466  
 P.O. BOX 3886  
 HOLIDAY, FL. 34692





REAR ELEVATION

REAR ELEVATION

SCALE 1/8" = 1'-0"

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727-376-6831

PLAN DATE
05-08-20
03-18-22
04-01-22
06-24-22

ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.

JOB # 6582

RICHARD MARCEAU  
PE # 64466  
P.O. BOX 3886  
HOLIDAY, FL. 34692



JOB # 6582

RICHARD MARCEAU

PE # 64466

P.O. BOX 3886

HOLIDAY, FL. 34692

ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.

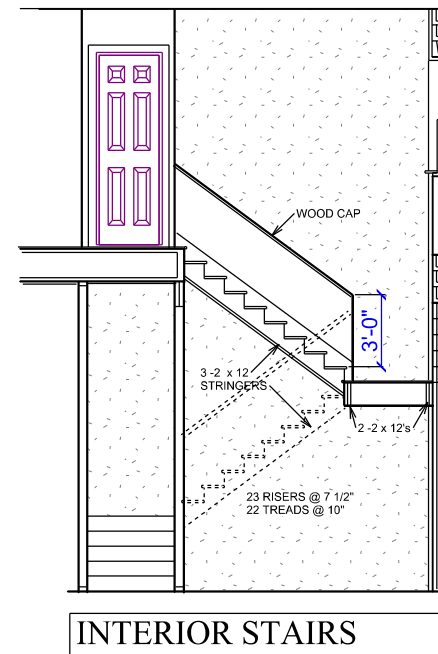
PLAN DATE	DATE
05-08-20	07-14-22
03-18-22	04-01-22
04-01-22	06-24-22

DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLD.  
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727-376-6831

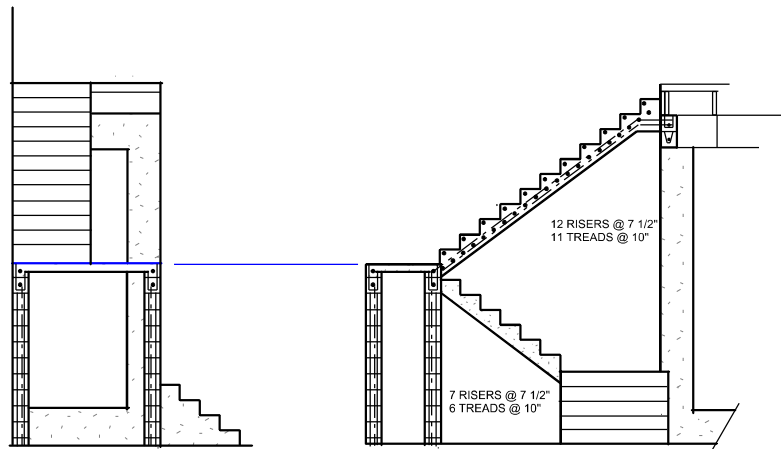
5

SECTION DETAILS

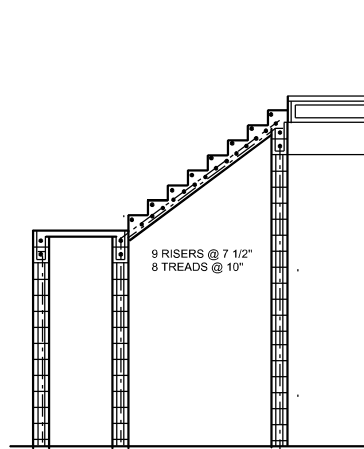
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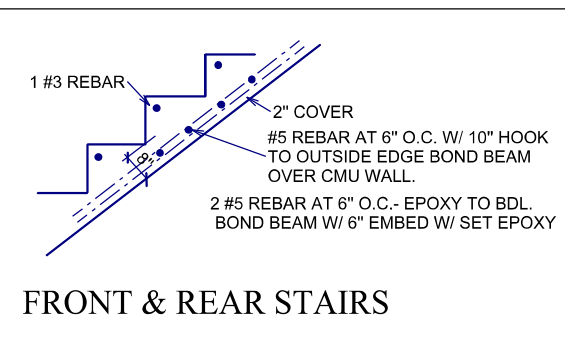
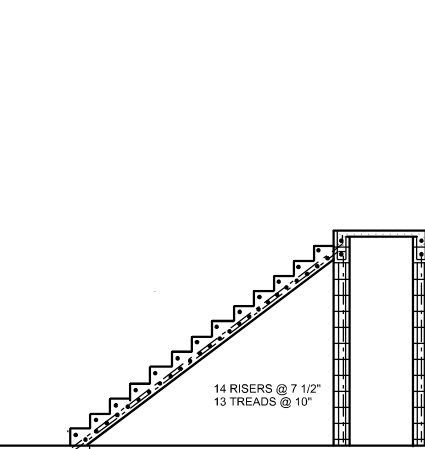
INTERIOR STAIRS



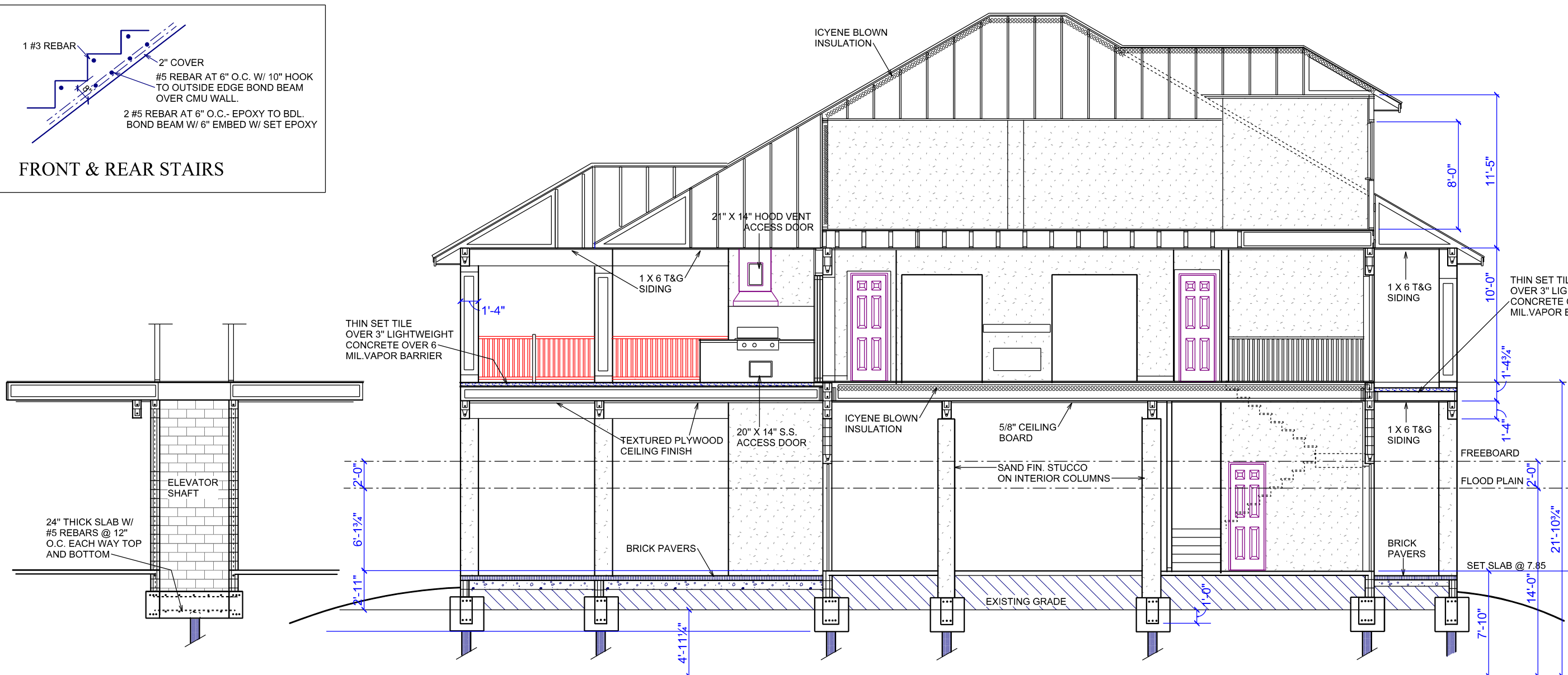
FRONT STAIRS



REAR STAIRS

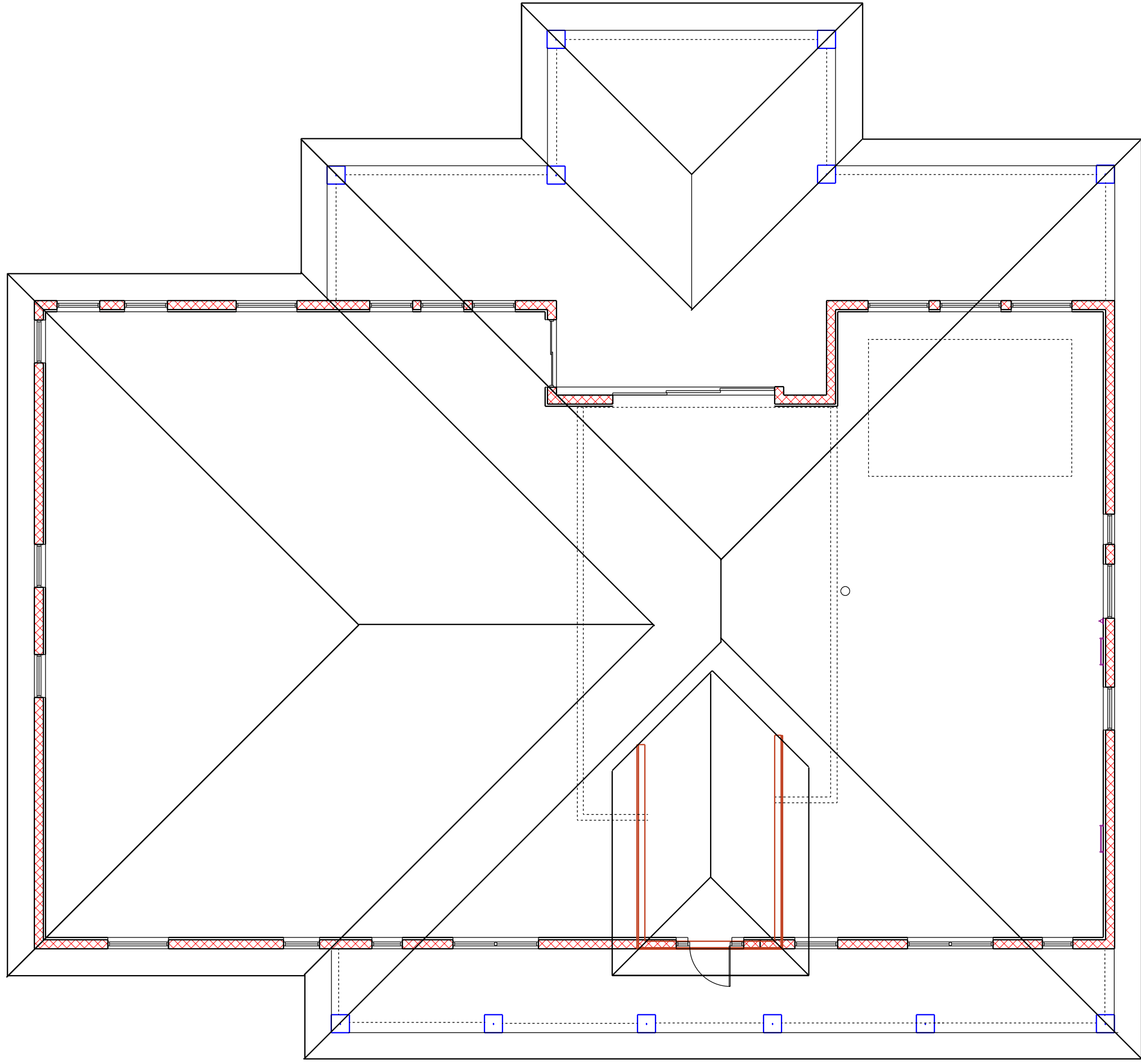


FRONT & REAR STAIRS



SECTION A - A

ELEVATOR SHAFT



ROOF PLAN

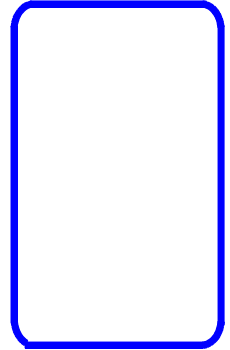
SCALE 1/8" = 1'-0"

**6**

**DEEB FAMILY  
HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE
05-08-20
07-14-22
03-18-22
04-01-22
06-24-22

**ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.**



**JOB # 6582**

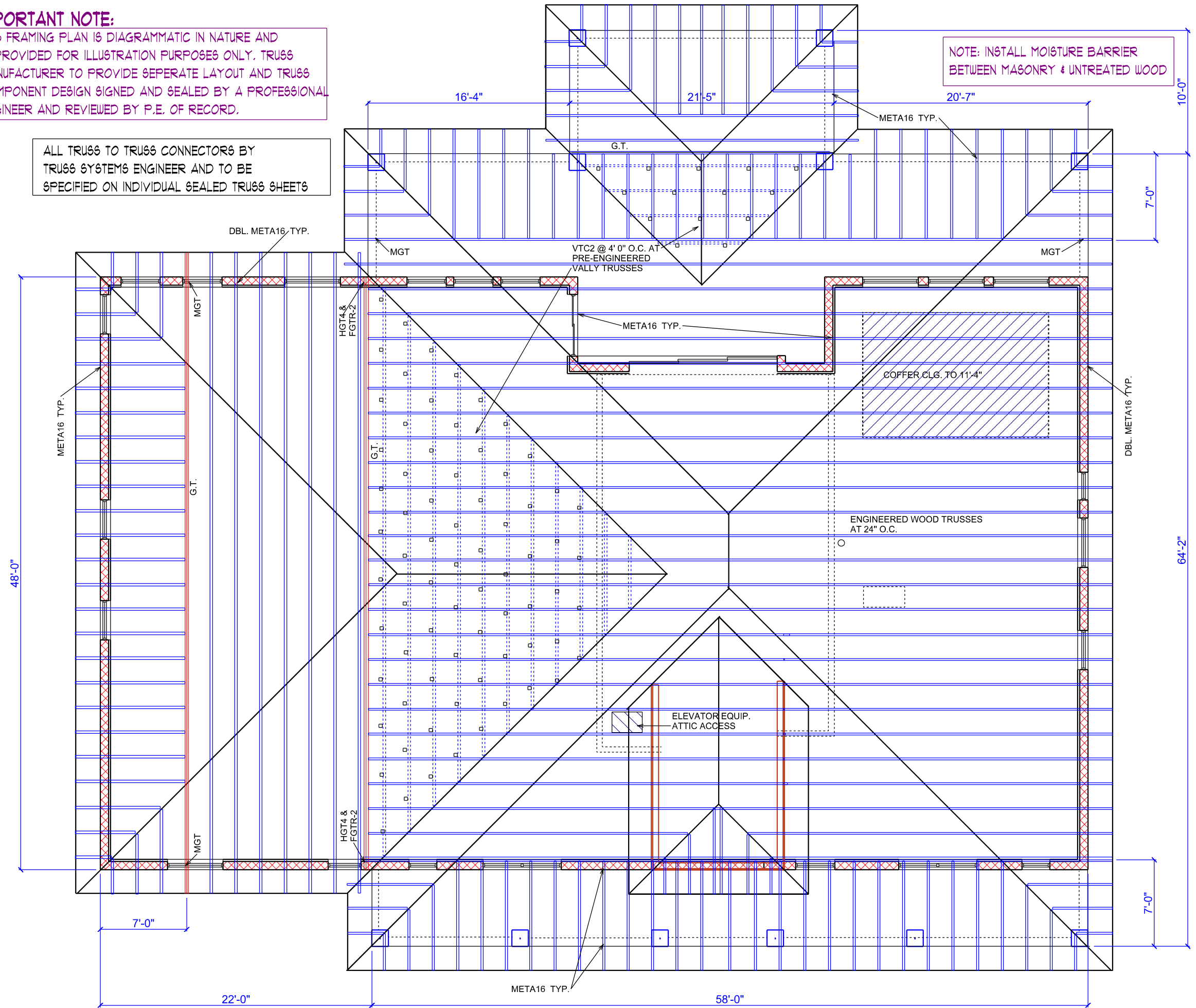
**RICHARD MARCEAU**  
PE # 64466  
P.O. BOX 3886  
HOLIDAY, FL. 34692

**IMPORTANT NOTE:**

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

ALL TRUSS TO TRUSS CONNECTORS BY TRUSS SYSTEMS ENGINEER AND TO BE SPECIFIED ON INDIVIDUAL SEALED TRUSS SHEETS

NOTE: INSTALL MOISTURE BARRIER BETWEEN MASONRY & UNTREATED WOOD



TRUSS PLAN SCALE 1/8" = 1'-0"

**6A**

DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

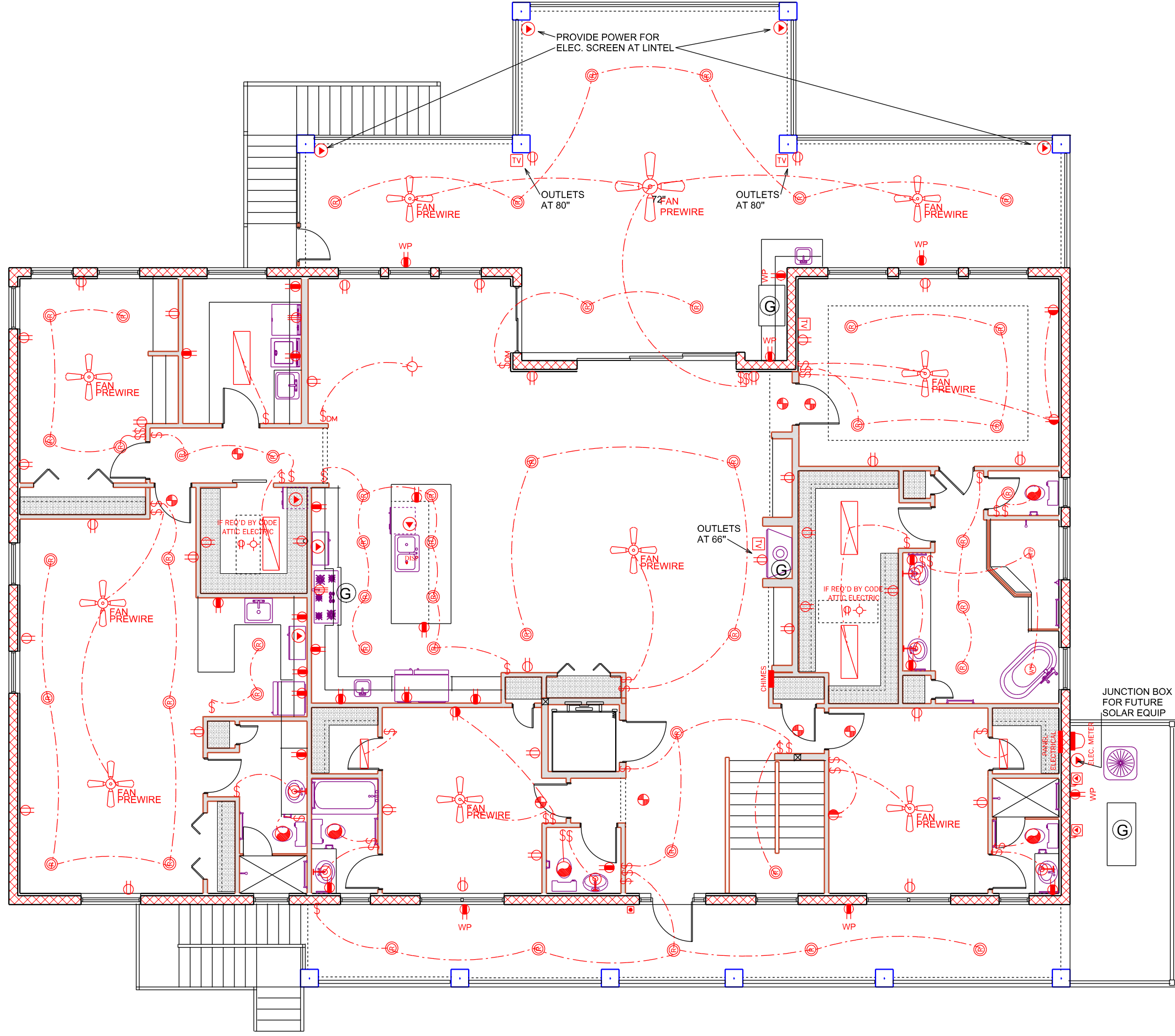
PLAN DATE
05-08-20
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**ZERO RESIDENCE**  
**120 SHORE DRIVE**  
**OLDSMAR, FL.**

**JOB # 6582**

RICHARD MARCEAU

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HOLIDAY, FL. 34692



**ELECTRICAL PLAN**

SCALE 1/8" = 1'-0"

**JOB # 6582**

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**ZERO RESIDENCE**  
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PLAN DATE
05-08-20 07-14-22
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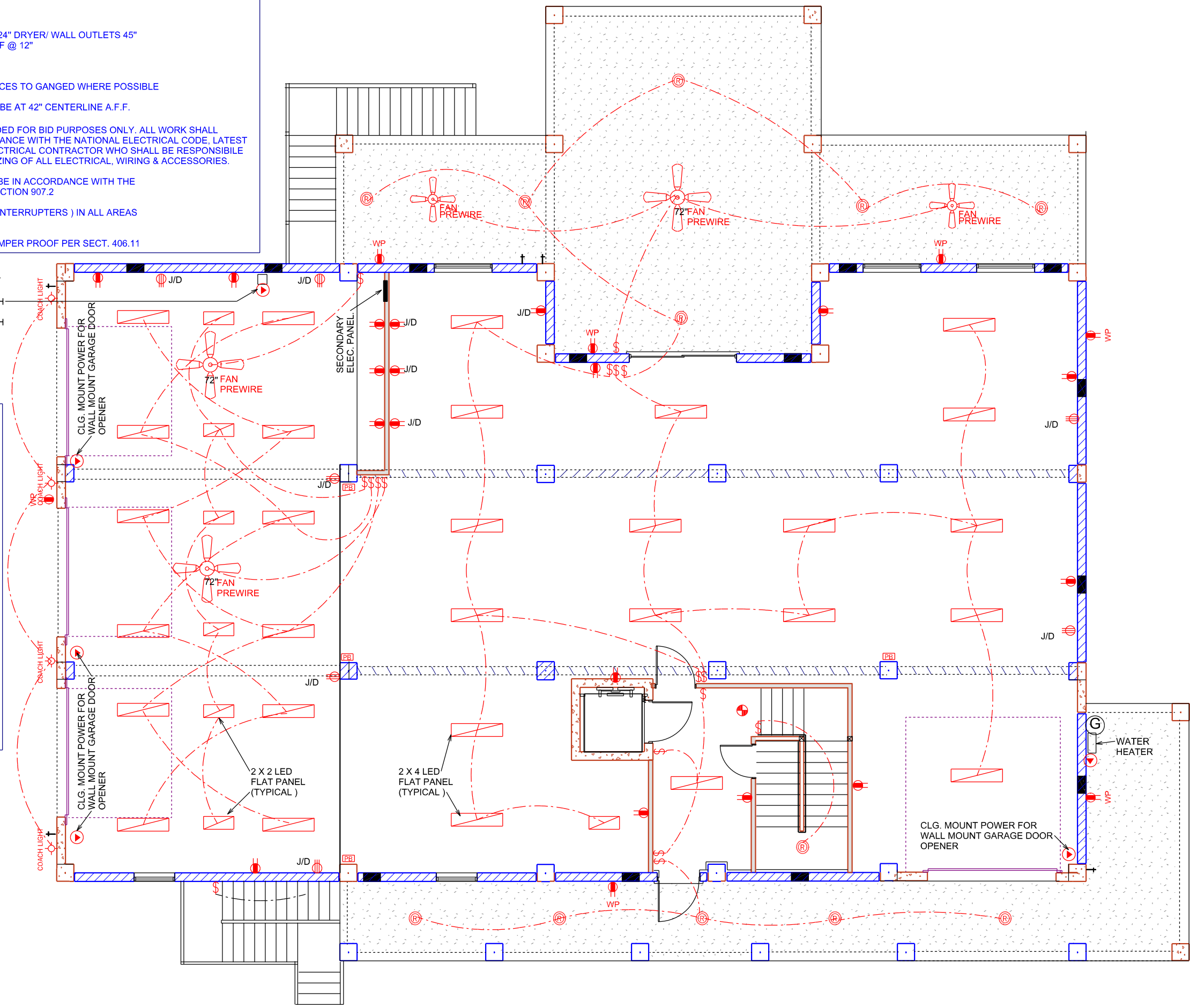
**RICHARD MARCEAU**

PE # 64466  
 P.O. BOX 3886  
 HOLIDAY, FL. 34692

- UNLESS OTHERWISE NOTED  
 1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. ( GENERAL )
- KITCHEN 42"  
 BATHROOM 42"  
 LAUNDRY 36" WASHER/ 24" DRYER/ WALL OUTLETS 45"  
 EXTERIOR WATERPROOF @ 12"  
 GARAGE GFI @ 45"  
 RANGE 220V @ 4"
2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE
3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION 907.2
6. PROVIDE AFCI ( ARC FAULT INTERRUPTERS ) IN ALL AREAS PER NEC, SECTION 210-12
7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11

STUB OUT POWER AT DOCK AREA

- ELECTRICAL LEGEND**
- \$ SINGLE POLE SWITCH
  - \$2 DOUBLE POLE SWITCH
  - \$3 THREE-WAY SWITCH
  - \$4 FOUR-WAY SWITCH
  - \$DM DIMMER SWITCH
  - ☉ CEILING FIXTURE
  - ☉ SCOURCE ( WALL MOUNTED ) FIXTURE
  - ⊕ 110 VOLT DUPLEX OUTLET
  - ⊕ 110 VOLT SPLIT SWITCHED OUTLET
  - ⊕ GROUND FAULT INTERRUPT
  - ⊕ WP WATER PROOF W/ GROUND FAULT
  - ⊕ 220 VOLT OUTLET
  - ⊕ SPECIAL SERVICES OUTLET
  - TV T.V. CABLE OUTLET
  - ☎ TELEPHONE CABLE OUTLET
  - ⊕ RECESSED LIGHTING
  - ⊕ WP WATER PROOF RECESSED LIGHTING
  - ⊕ BATH FAN
  - ⊕ BATH FAN W/ LIGHT
  - ☉ SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR
  - ☉ FLOOD LIGHT
  - ☉ FLUORESCENT LIGHTING
  - ☉ TRACK LIGHTING
  - ☉ CEILING FAN
  - ☉ CHIMES
  - ☉ DOOR BELL CHIMES
  - ☉ DOOR BELL
  - ☉ DISP DISPOSAL
  - ☉ DISCONNECT SWITCH
  - ☉ SP PREWIRE SPEAKER
  - ☉ JUNCTION BOX
  - ☉ THERMOSTAT
  - ☉ LOW VOLTAGE LIGHTING
  - ☉ IC INTERCOM SYSTEM
  - ☉ PB GARAGE DOOR PUSH BUTTON



JOB # 6582

RICHARD MARCEAU  
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 P.O. BOX 3886  
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ZERO RESIDENCE  
 120 SHORE DRIVE  
 OLDSMAR, FL.

SCALE 1/8" = 1'-0"

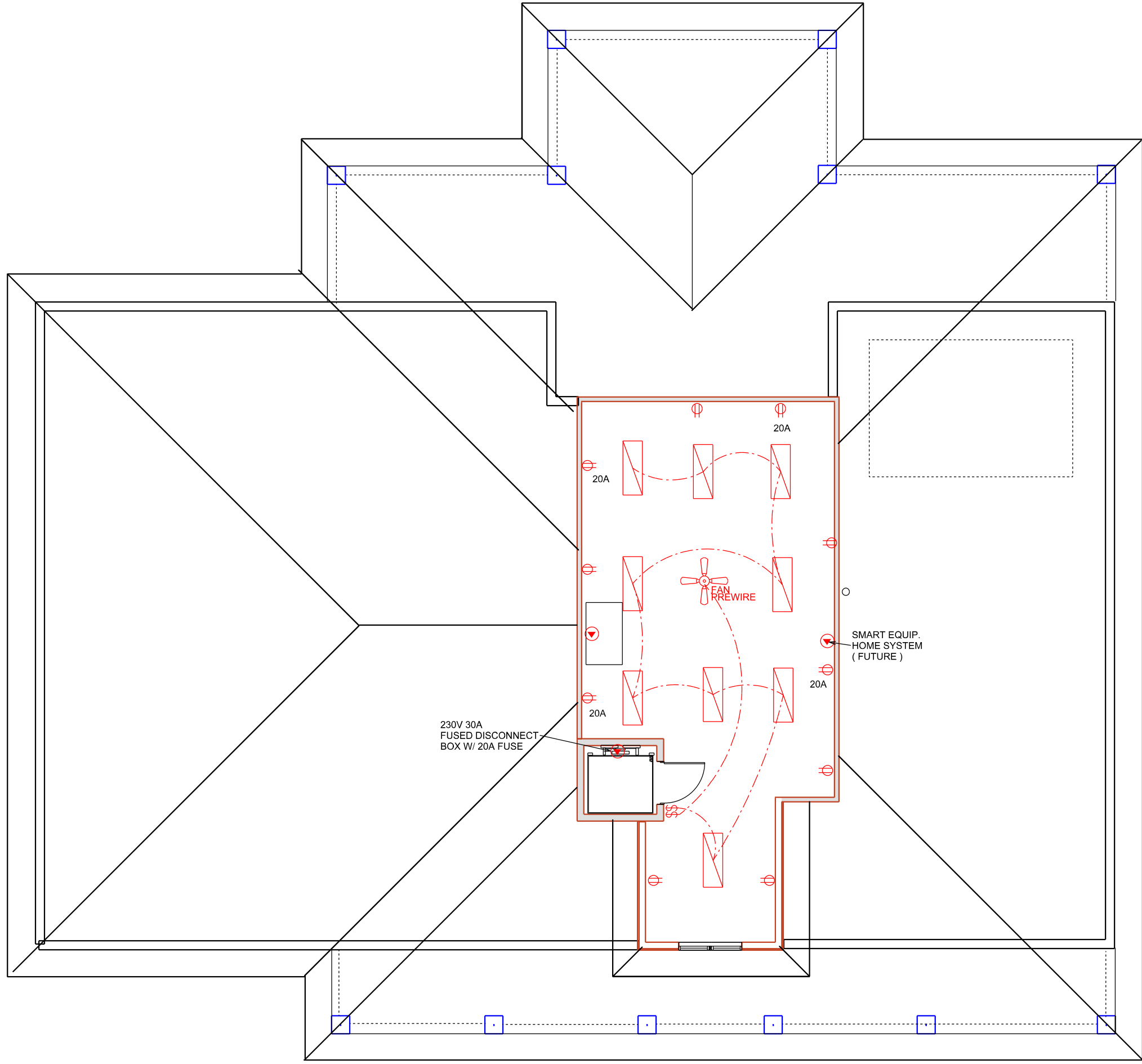
GROUND FLOOR ELECTRICAL

PLAN DATE

05-08-20	07-14-22
03-18-22	
04-01-22	
06-24-22	

DEEB FAMILY  
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 9400 RIVER CROSSING BLD.  
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7A



ATTIC ELECTRICAL SCALE 1/8" = 1'-0"

**7B**

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HOMES, LTD.**  
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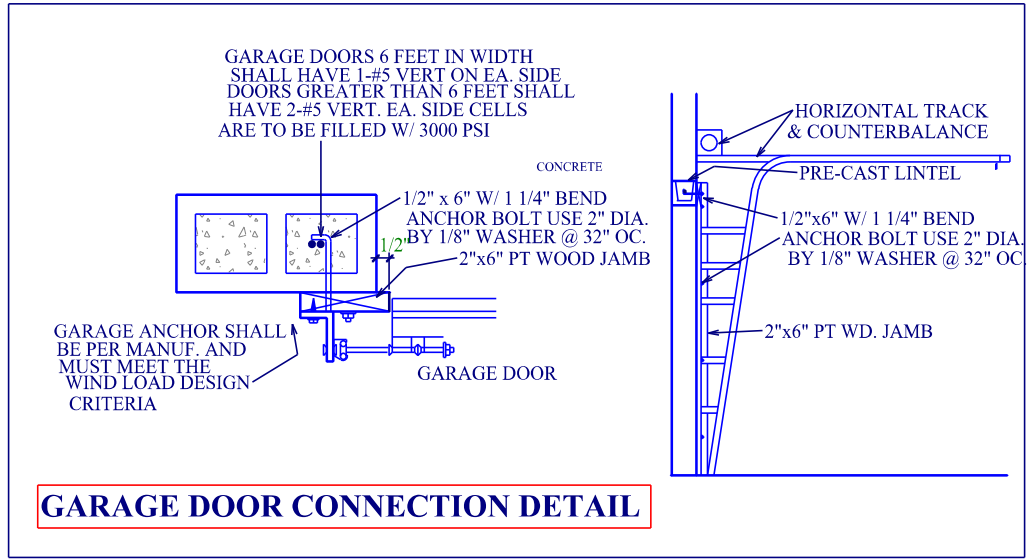
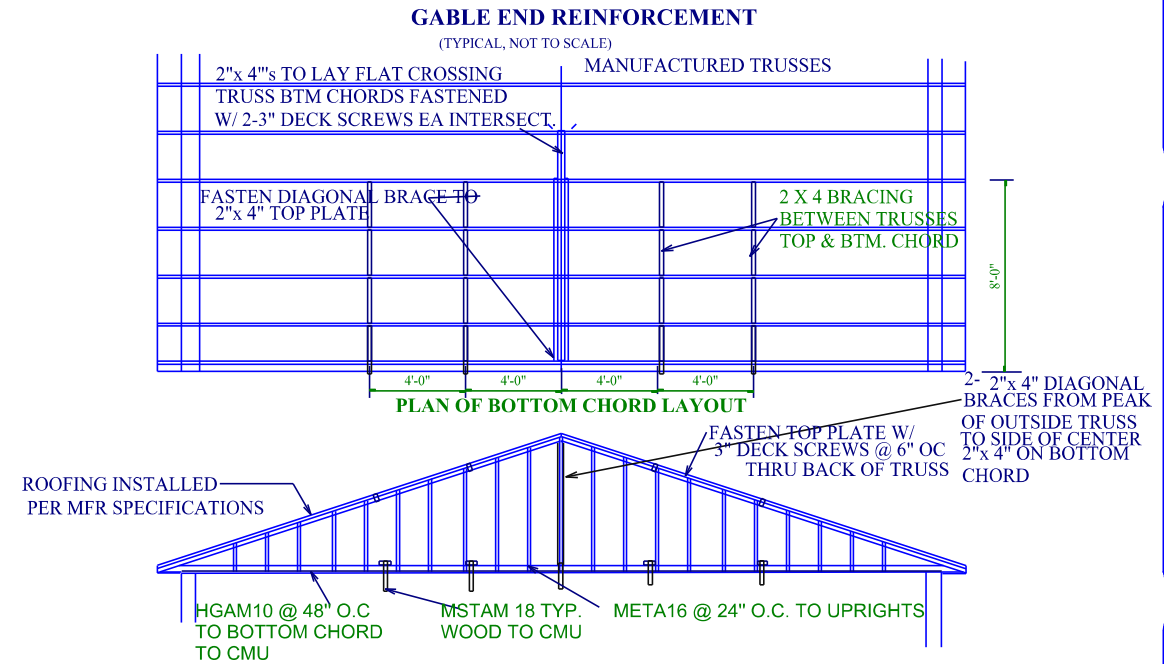
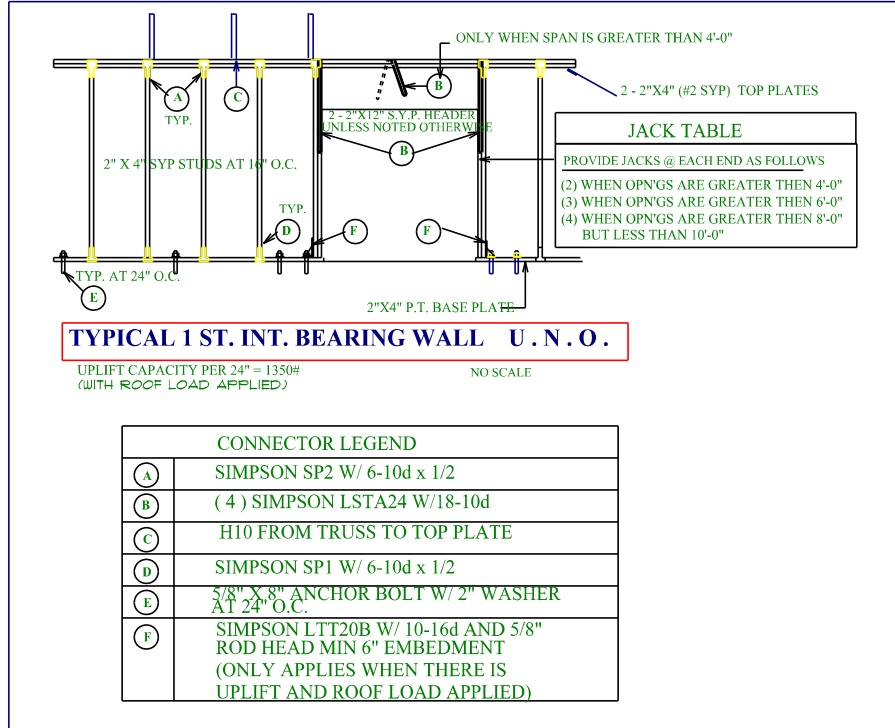
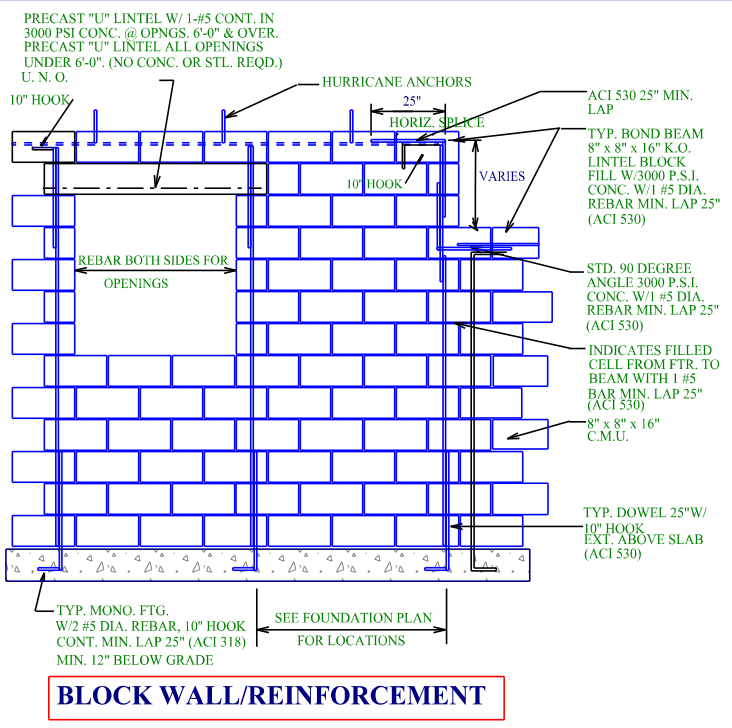
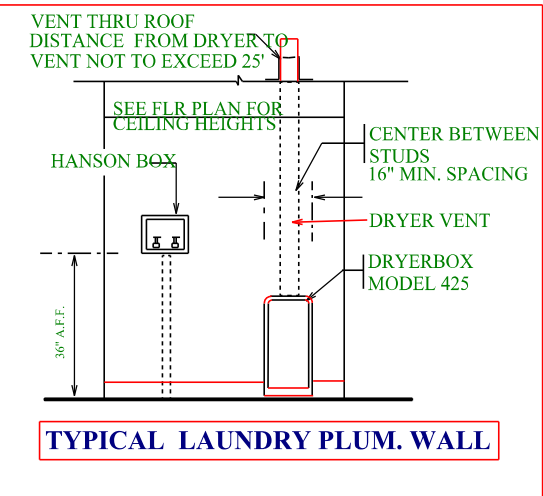
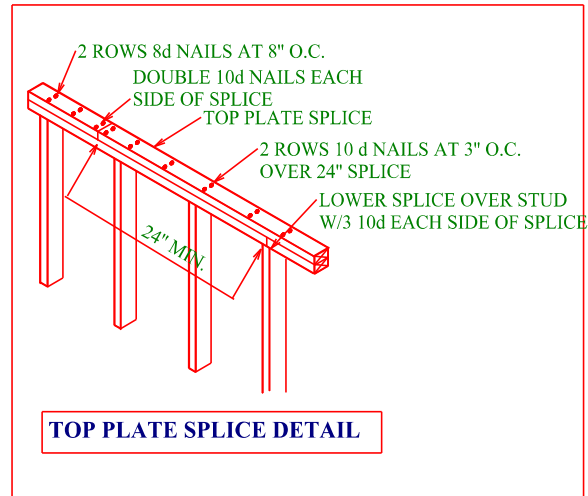
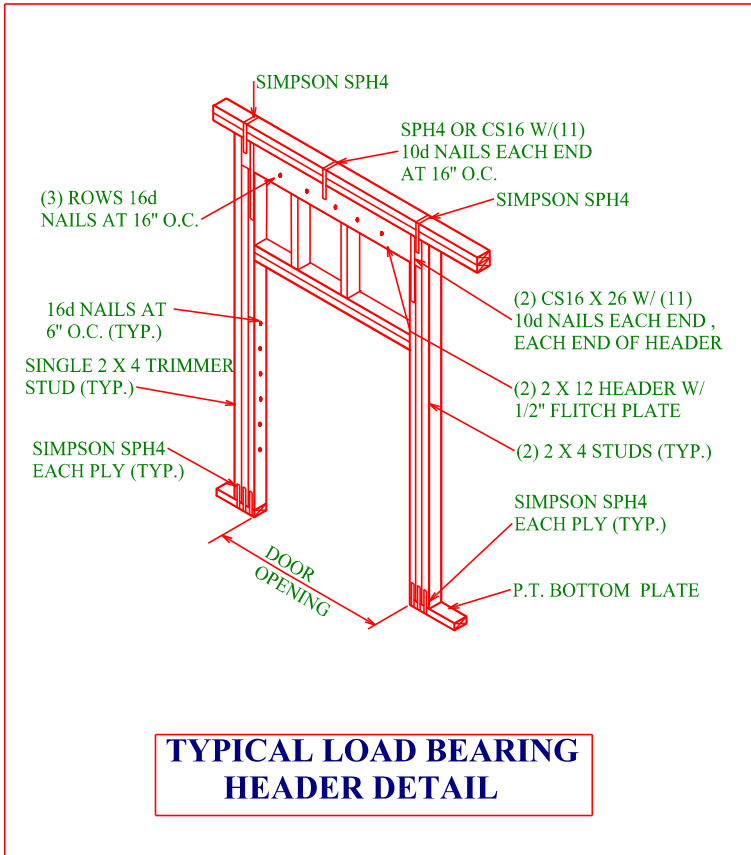
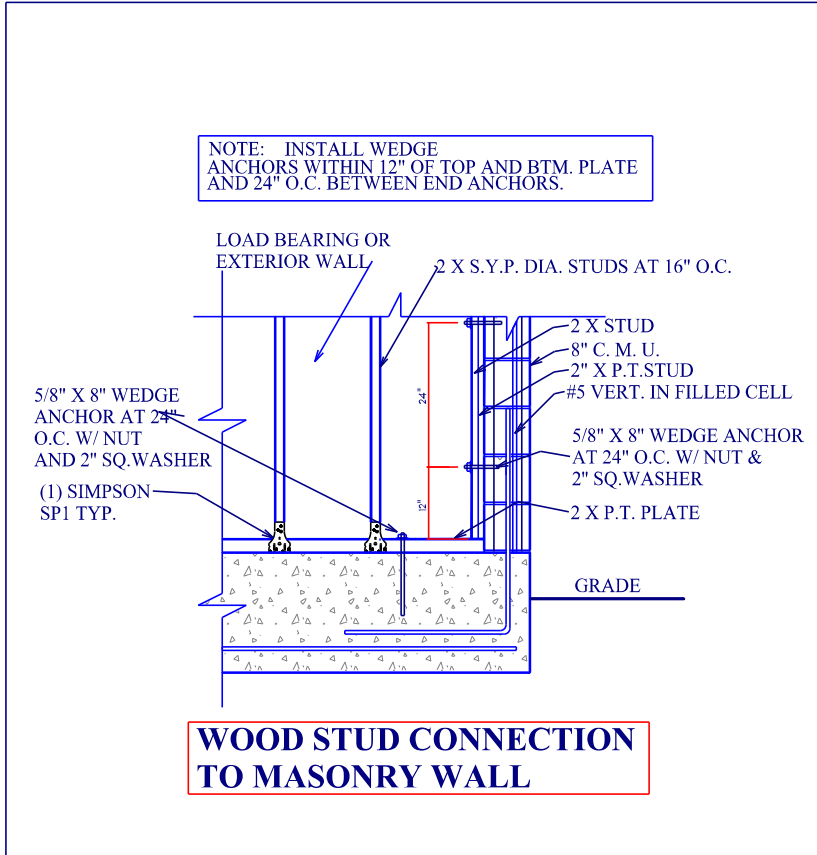
PLAN DATE
05-08-20
07-14-22
03-18-22
04-01-22
06-24-22

**ZERO RESIDENCE  
120 SHORE DRIVE  
OLDSMAR, FL.**



**JOB # 6582**  
**RICHARD MARCEAU**  
PE # 64466  
P.O. BOX 3886  
HOLIDAY, FL. 34692





**JOB # 6582**

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HOLIDAY, FL. 34692

**ZERO RESIDENCE**  
**120 SHORE DRIVE**  
**OLDSMAR, FL.**

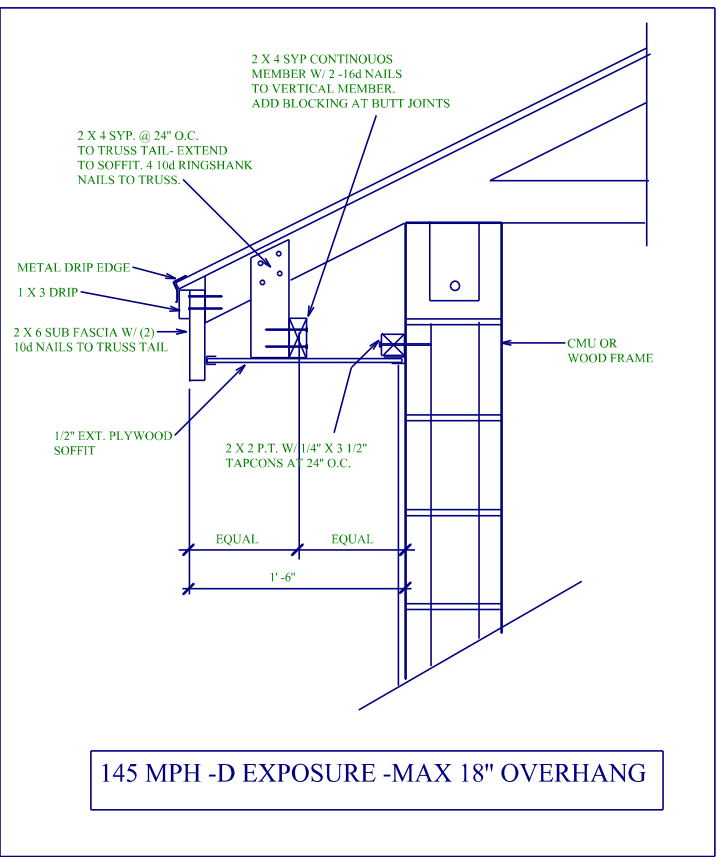
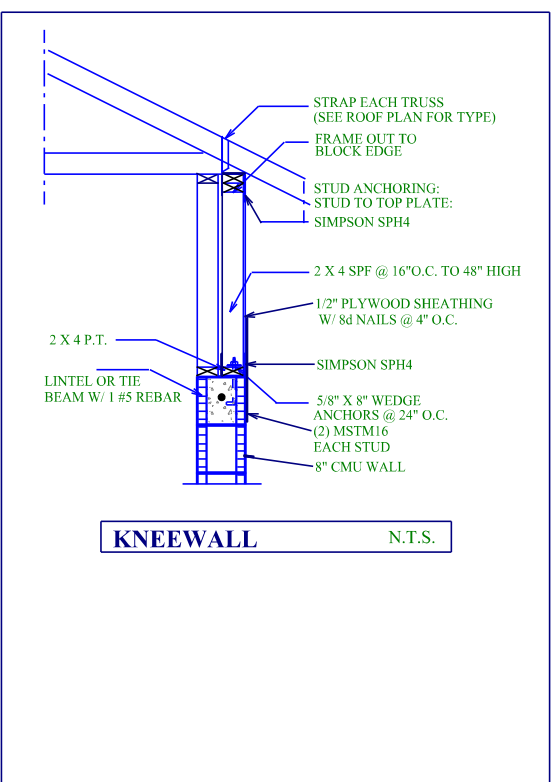
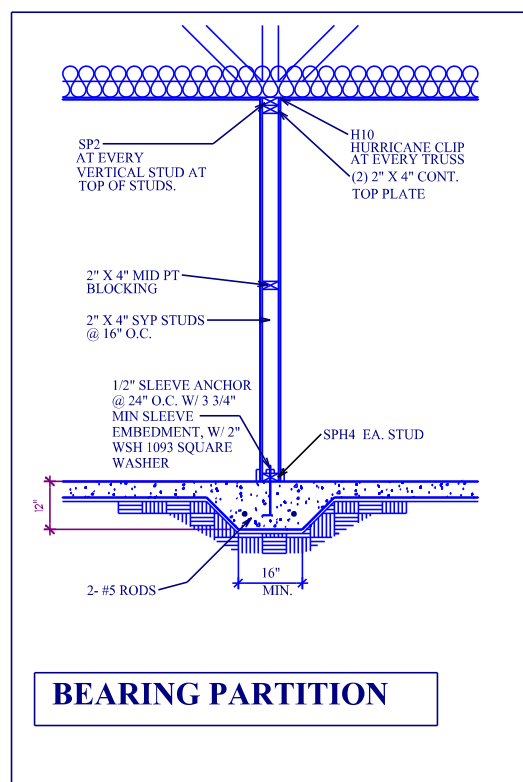
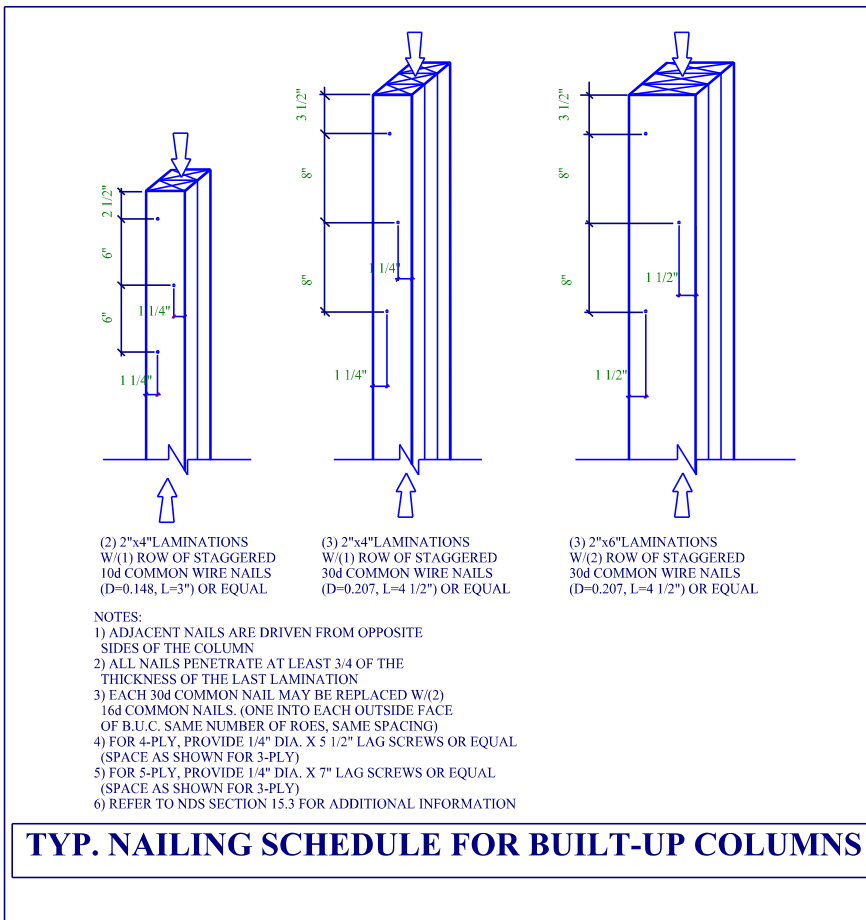
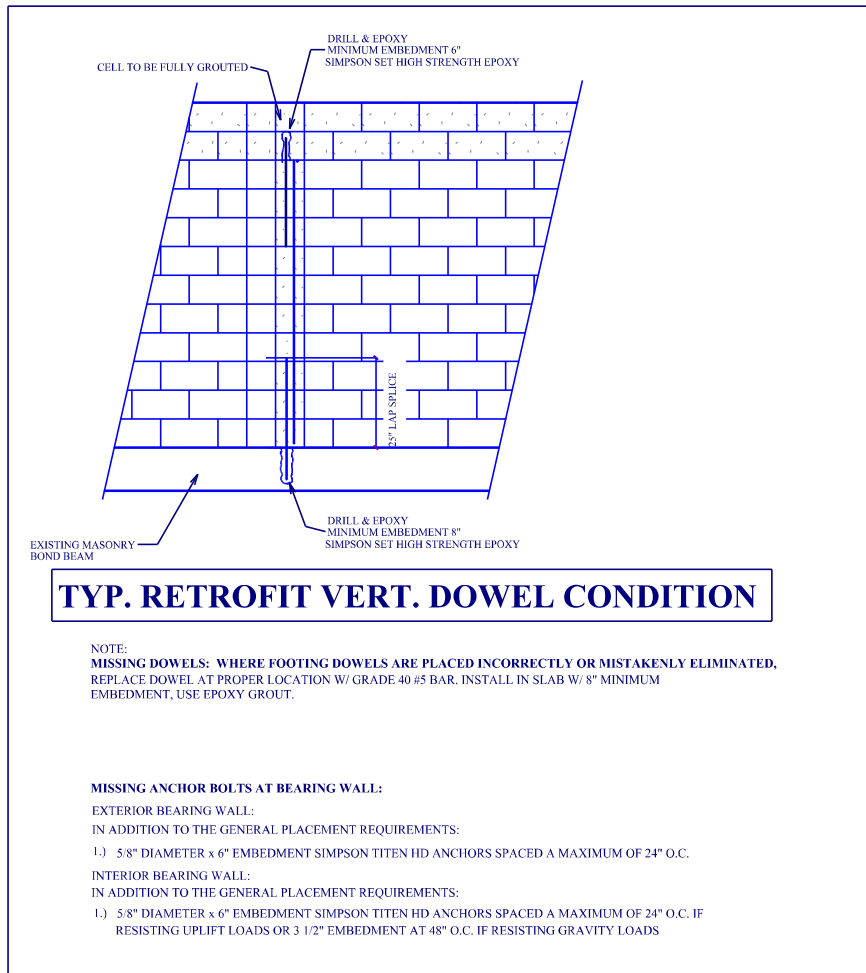
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**CONST. DETAILS**

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**8**



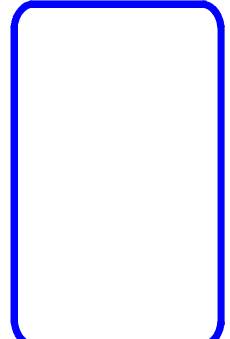


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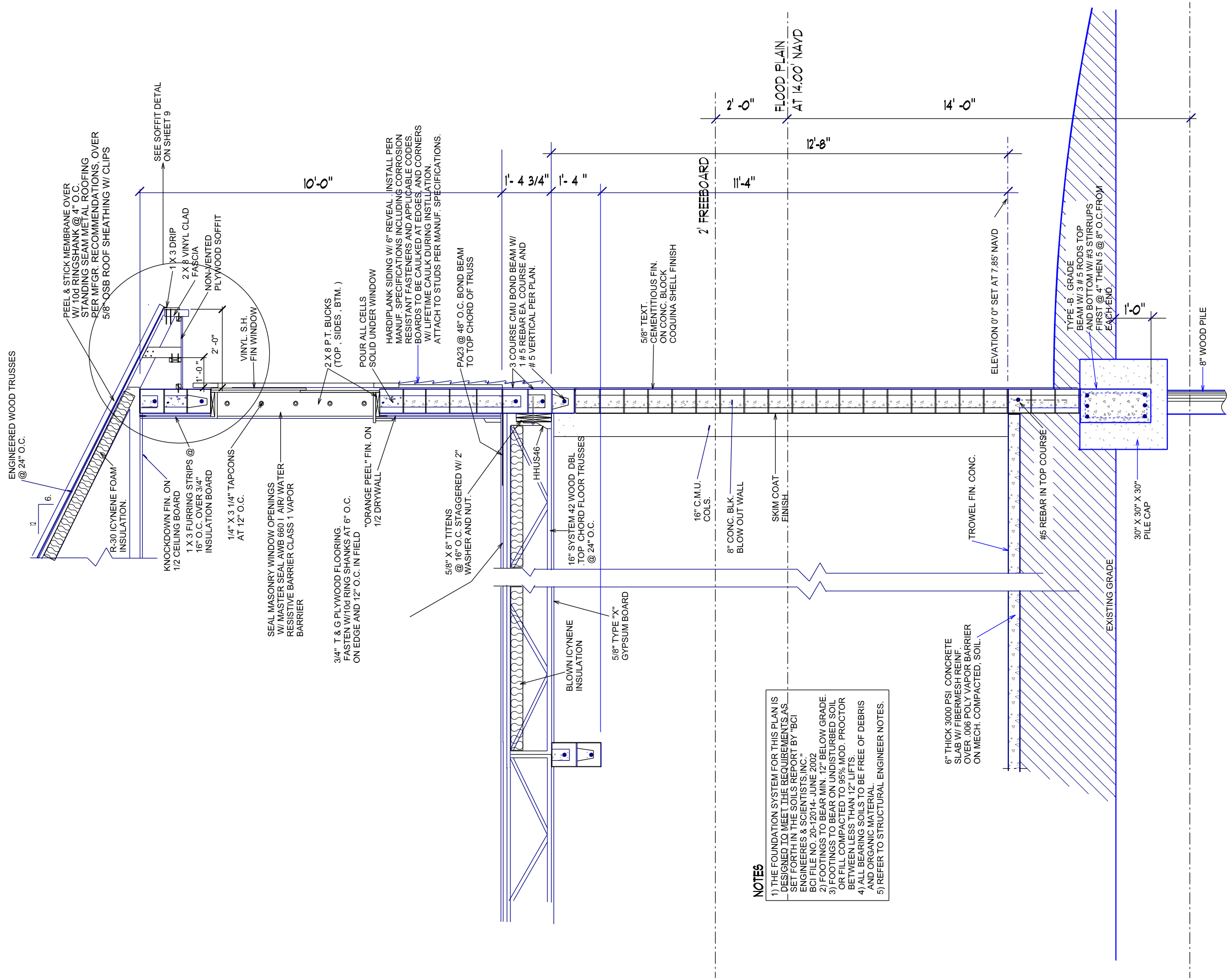
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**NOTES**

- 1) THE FOUNDATION SYSTEM FOR THIS PLAN IS DESIGNED TO MEET THE REQUIREMENTS AS SET FORTH IN THE SOILS REPORT BY "BCI ENGINEERS & SCIENTISTS, INC." BCI FILE NO. 20-12014- JUNE 2002
- 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
- 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
- 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 5) REFER TO STRUCTURAL ENGINEER NOTES.

**TYPICAL WALL SECTION**

**10**

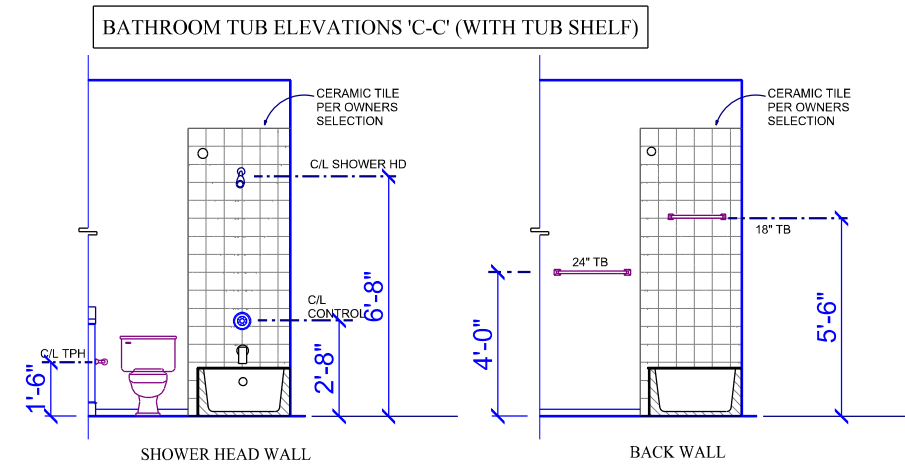
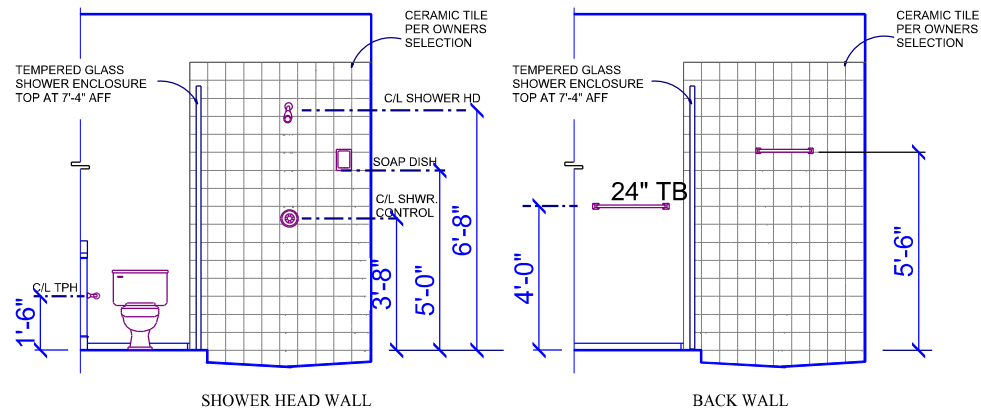
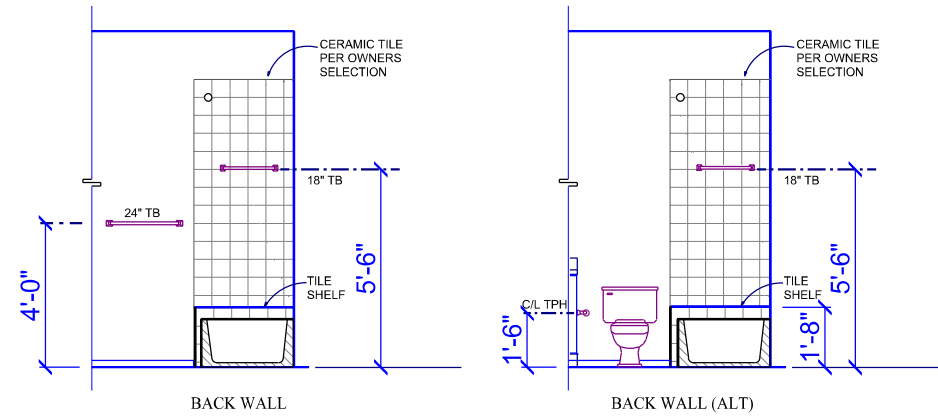
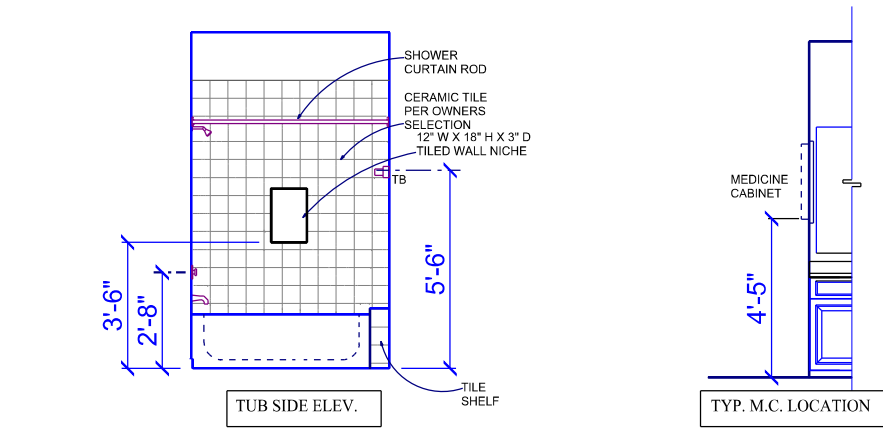
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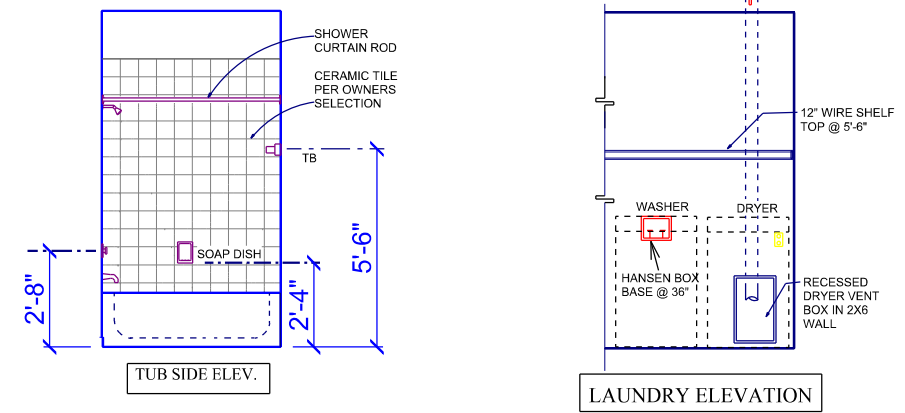
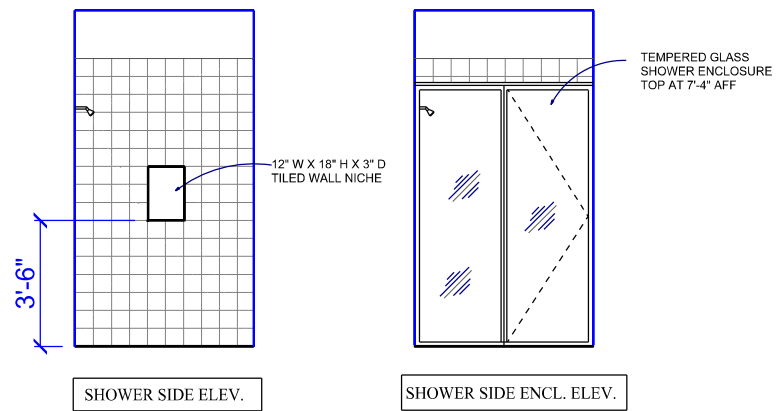
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BATHROOM SHOWER ELEVATIONS 'A-A'

BATHROOM TUB ELEVATIONS 'B-B'



SHOWER SIDE ELEV.

SHOWER SIDE ENCL. ELEV.

TUB SIDE ELEV.

LAUNDRY ELEVATION

TYPICAL INTERIOR BATHROOM DETAILS

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**COMMONLY USED ABBREVIATIONS**

A/C	AIR CONDITIONER
A.F.F.	ABOVE FINISHED FLOOR
ALUM.	ALUMINUM
BR. OR BDRM.	BEDROOM
B.F.	BI-FOLD
BLK.	BLOCK
BM.	BEAM
CLG.	CEILING
CONC.	CONCRETE
CONT.	CONTINUOUS
C.M.U.	CONCRETE MASONRY UNIT
D.	DRYER
DR.	DOOR
D.W.	DISH WASHER
ENCL.	ENCLOSURE
ELEC.	ELECTRICAL
ELEV.	ELEVATION
F.G.	FIXED GLASS
F.G. BATT	FIBERGLASS BATT INSULATION
H.B.	HOSE BIB
K.O. BLK.	KNOCK OUT BLOCK
L.T.	LAUNDRY TUB
L.V.L.	LAMINATED VENEER LUMBER
M.C.	MEDICINE CABINET
MIN.	MINIMUM
O.C.	ON CENTER
O.H.C.	OVERHEAD CABINET
O.H. GAR. DR.	OVERHEAD GARAGE DOOR
PKT. DR.	POCKET DOOR
REC.	RECESSED
REF.	REFRIGERATOR
S.G.D.	SLIDING GLASS DOOR
SH.	SHELF
S.H.	SINGLE HUNG (WINDOW )
SCRN,	SCREEN
S.Y.P.	SOUTHERN YELLOW PINE
W.	WASHER
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
P.T.	PRESSURE TREATED

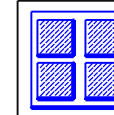
ROOM SIZES READ FROM LEFT TO RIGHT AND FRONT TO REAR

WINDOW OR DOOR SIZES ARE READ IN FEET AND INCHES.  
EXAMPLE : 3050 MEANS 3'-0" X 5'-0" NOT 30" X 50"

**GENERAL NOTES:**

THE FOLLOWING TECHNICAL CODES SHALL APPLY:  
2020 FLORIDA BUILDING CODE,  
PLUMBING , MECHANICAL, FUEL GAS,  
ENERGY EFFICIENCY, ACCESSIBILITY,  
AND NATIONAL ELECTRICAL CODES  
NEC 2017

- TANK TYPE WATER CLOSET VOLUME  
1.6 GALLONS
- WALL MOUNT WATER CLOSET VOLUME  
3.5 GALLONS
- WATER - FLOW RATE.  
PUBLIC FACILITIES 0.5 G.P.M.  
PRIVATE FACILITIES 2.2 G.P.M.  
SHOWER HEADS 2.5 G.P.M.  
  
VTR LOCATIONS ARE APPROXIMATE  
AND MAY CHANGE DUE TO JOBSITE  
CONDITIONS  
THE FOLLOWING SHALL COMPLY  
WITH THE 2020 FBC.  
 PORCHES AND BALCONIES  
 HANDRAILS  
 GUARDRAILS  
 STAIRS  
 CHIMNEY & FIREPLACE  
 EGRESS WINDOWS
- ALL OPENINGS SHALL COMPLY WITH  
2020 FBC WIND LOADS AS STATED  
BELOW. ATTACHMENTS OF WINDOWS,  
DOORS, SLIDING GLASS DOORS  
AND O.H. GARAGE DOORS ARE DELEGATED  
THE MANUFACTURER OF THESE ITEMS. THE  
MANUFACTURER OF THESE ITEMS  
SHALL SUBMIT ATTACHMENTS TO ENGINEER  
OF RECORD FOR REVIEW PRIOR TO INSTALLATION.  
SEE ATTACHED SPECIFICATION SHEETS FOR  
MANUFACTURERS DESIGN CRITERIA AND  
INSTALLATION METHODS FOR WINDOWS,  
DOORS, SLIDING GLASS DOORS, OVERHEAD  
GARAGE DOORS, AND ROOFING.
- ALL DOORS INTERIOR & EXTERIOR ARE  
8' 0" UNLESS OTHERWISE NOTED  
ALL SHOWER ENCLOSURES TO BE  
TEMPERED GLASS
- ALL WINDOWS WITHIN 24" OF DOORS  
(INTERIOR & EXTERIOR) AND WITHIN  
18" OFF FLR TO BE TEMPERED GLASS.



**ROBBIAN DESIGN**  
AL ROBBIAN A.I.B.D.  
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NEW PORT RICHEY, FL. 34653  
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MAIL-al@robbiandesign.com



**A I B D**  
AIBD  
7059 Blair Road NW  
Suite 201  
Washington DC 20012

**INDEX OF DRAWINGS**

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S2	STRUCTURAL ENGINEER NOTES
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12	RAILING ATTACHMENT DETAILS
13	HAND RAILS CONNECTION DETAILS

**NOTICE TO SUBCONTRACTORS :**

DUE TO SPACE LIMITATIONS IN THIS 11"X 17" PLAN FORMAT, AND TO ELIMINATE CLUTTER AND TEXT READABILITY ISSUES , SOME DETAILS AND NOTATIONS MAY OR MAY NOT BE LOCATED ON THE SAME SHEETS OR IN THE SAME LOCATIONS AS PROVIDED FOR BY OTHER CONTRACTORS OR ARCHITECTS. IT WOULD BE IN YOUR BEST INTREST TO REVIEW THESE PLANS AND LOCATE THE APPROPRIATE INFORMATION REQUIRED TO COMPLETE YOUR SPECIFIC PORTION OF THE JOB BEFORE BEGINNING CONSTRUCTION.

**NOTICE TO BUILDER**

IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION. STOP AND CALL THE DESIGNER LISTED IN THIS TITLE PAGE. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL THAT IS CONSTRUCTING THIS PROJECT TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS AND ANY AND ALL CORRECTIONS, IF NEEDED, TO BE MADE BEFORE ANY WORK IS DONE.

**WINDOW INSTALLATION NOTES:**

- WINDOWS MUST BE FASTENED INTO STRUCTURAL MEMBERS PER MFG'S. DETAIL REQUIREMENTS PER DESIGN CRITERIA NOTED ON THESE DRAWINGS.
- WINDOWS ARE IMPACT RESISTANT TYPE. NO STORM SHUTTERS OR PANELS ARE REQUIRED.
- ROOF ,WALLS AND WINDOW FASTENINGS MUST BE ENGINEERED AND SPECIFIED FOR CUMULATIVE INTERNAL PRESSURE AND EXTERNAL NEGATIVE ( SUCTION ) PRESSURES WHICH VARIES ACCORDING TO AREAS AS NOTED IN THE DESIGN CRITERIA AS NOTED ON PAGE S4.

**COVER SHEET**



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## SPECIFICATIONS

### I. General

1. Contractor is responsible for means and methods of construction to ensure the safety of the building until structural system is completed. This includes, but is not limited to, the addition of whatever temporary bracing, shoring, guys to tie-downs that may be necessary.
2. Contractor is solely responsible for the safety of his work during construction.
3. Applicable Building Codes – Florida Building Code – Residential 7<sup>th</sup> Edition 2020.
4. Design Loads:
  - a. Roof: LL – 20 psf (min); DL - 10 psf (shingle), 20 psf (tile)
  - b. Floor: LL – 40 psf (min); DL – 25 psf
  - c. Soil Pressure – 2,000 psf (assumed min.)
5. All contractors, subcontractors, suppliers and fabricators shall be responsible for the content of shop drawings, and for the supply and design of appropriate materials and work performance.
6. All manufactured articles, materials and equipment shall be applied, installed, erected, used, cleaned and conditioned in strict accordance with manufacturer's recommendations.

### ii. Site Work

1. Foundation design is based on an allowable soil pressure of 2,000 psf. If a soils report was not prepared, the contractor is responsible to retain a Geotechnical Engineer to confirm the soil conditions. Should field conditions indicate this minimum condition does not exist, the contractor shall immediately notify the Engineer of Record.
2. The subgrade under the new concrete foundations shall be compacted to 95% optimum density. Soil compaction tests to be taken by a qualified soils laboratory prior to pouring concrete.
3. Footings shall be neat excavated, where possible, with sides and top edges free of loose or wet materials. Where neat excavation is not possible, footing excavation shall be open cut with edges formed and braced. All footings with formed edges shall be backfilled from bottom to top of footing with select fill. The bottom excavation shall be clean and dry with all loose material removed for an essentially flat bearing surface.
4. Provide soil treatment for termites per the 2020 FBC, Residential.

### iii. Cast in Place Concrete

1. Concrete to be normal weight with the following minimum compressive strengths at 28 days:
  - a. Footings, Slab on Grade, Slab Fill – 3,000 psi
  - b. Masonry Wall Columns, Beams – 3,500 psi
  - c. Suspended Slabs, Beams – 5,000 psi
2. Reinforcing Steel: ASTM A615 Grad 60, Deformed Bars
3. Required Slump Range: 3" to 5"
4. Welded Wire Fabric: ASTM A185
5. Moisture Barrier: 5 mil polyethylene or Code minimum, whichever is greater.

5. Minimum Lap Splice: 48 bar diameters, unless noted otherwise.
7. Slab Expansion Joints shall be cut on day of pour, or use prefabricated metal joint material of the proper depth for the slab.
3. Reinforcing Bar Cover;
  - a. Footings 3"
  - b. Columns 1.5"
  - c. Beams and Walls 1.5"
  - d. Slabs ¾" (interior), 1.5" (exterior)
9. Concrete shall be placed within 90 minutes of batch time.
10. Provide corner bars at all wall footing corners and tie beams to match horizontal bars (48 bar diameters min. lap)
11. All building slabs on grade shall be nominal 4" thick fiber-mesh conc or reinforced with 6x6-W1.4 WWF on vapor barrier, except as specifically noted on plans.
12. Anchor Bolts for wood plate to concrete or masonry alternatives:
  - a. J Bolts – Use ½" x 4" embedment and 2" projection when installed prior to placing concrete.
  - b. Expansion Anchors – Use ½" x 4" embedded Hilti Kwik Bolt II or equal at locations (other than edge conditions) in lieu of J Bolts.
  - c. Epoxy Anchors in Concrete – Use ½" x 4.25" embedment with Hilti C100 or Anchor Bond by Caltite, Inc. at edge of slab condition, where bolt is less than 6" to a concrete edge.
  - d. Epoxy Anchors in top of block walls – Use threaded rod (3/4" x 6.625" embedment on top of 8" masonry walls with Hilti HIT C-100 adhesive or Anchor Bond, when ½" x 8" J Bolts are omitted.
13. Footing sizes shown are typical only for stated safe soil bearing capacity and consistent compaction. Contractor shall be responsible for footings complying with the design requirements of specific soil conditions or notification to Engineer of Record.
14. Provide ½" expansion joint material between all concrete slabs and abutting concrete or masonry walls occurring in exterior or unconditioned areas.

### Masonry

1. Hollow Load Bearing Units (CMU) shall conform to ASTM C90, normal weight, Type I, Grade N. Minimum net compressive strength 2,000 psi
2. Mortar shall be type Mor S and conform to ASTM C270
3. Concrete Grout shall conform to ASTM C476
  - a. 3,000 psi @ 28 days
  - b. 3/8" max. aggregate
  - c. 8"-11" slump
4. Bars shall have minimum clearance of ½" from masonry. The clear distance between bars shall not be less than one bar diameter, nor less than 1".
5. Vertical reinforcing shall be at all corners, each jamb of openings over 3' wide, under all girder loads, and not to exceed 8' o/c for straight walls, or as shown on the drawings. Fill cells with concrete grout as specified. Provide ACI 90-degree standard hooks into footing and tie beams.
6. Reinforcing bars shall be straight except for bends around corners and where bends or hooks are detailed on the plans.

**STRUCTURAL ENGINEER NOTES**

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**S1**



7. Reinforcing bars shall be lapped 48 bar diameters where spliced and shall be wired together.
8. When a foundation dowel does not line up with a vertical core, it shall not be slope more than one horizontal unit in six verticals. Dowels shall be grouted into a core in vertical alignment, even though it is in an adjacent cell to the vertical wall reinforcement.
9. Cleanouts shall be provided in the bottom course of masonry in each grout pour when the pour height exceeds 5'. Provide 4"x4" observation hole to verify concrete grout placement.
10. Place all masonry in running bond with 3/8" mortar joints. Provide complete coverage face shell mortar bedding, horizontal and vertical. Fully mortar webs in a courses of piers, columns and pilasters and adjacent to grouted cells.
11. Provide 8"x8" precast reinforced concrete lintels over all masonry openings not shown to have a structural beam. Minimum end bearing of 4".
12. Provide metal cavity caps, 6" wire mesh, or Dur-o-stop by Dur-a-wall, Inc where required to retain grout in vertical cells.

V. **Carpentry**

1. Dimensioned lumber shall be dressed S4S and shall bear the grade stamp of the manufacturer's association.
2. All lumber shall be sound, seasoned and free from warp.
3. All Structural Beams and Headers shall be Southern Yellow Pine (SYP) No. 2 grade or better, with single member (unfactored) allowable stresses as follows:
  - a. Fv= 90 psi
  - b. Fc= 975 psi
  - c. E= 1,600,000 psi
  - d. 19% maximum moisture content
4. Other Framing members shall be #2 Spruce-Pine-Fir or better.
  - a. Interior non-load bearing wall framing may be utility grade.
5. All lumber in contact with masonry or concrete shall be pressure treated. Pressure treated lumber shall be impregnated with a CCA Salt treatment in accordance with F.S. TT-W-571 and bear the American Wood Preservers Institute Equality Mark LP.
6. Sheathing for roofs and walls shall be APA rated (Exposure 1) sheathing with exterior glue. All roof sheathing to be installed with ply clips (max 24" o/c). See details for sheathing thicknesses.
7. Nailing for plywood roofs and wall sheathing shall be 8d commons @ 4" o/c. @ panel edges and 6" o/c intermediate for 1/2" sheathing or less. Nailing for structurally approved architectural wall panels (1/4"+ shall be 6d common @ 4" o/c at panel edges and 6" o/c intermediate.
8. All flooring material to be 3/4" T&G plywood, nailed and glued to floor joists. Floor with 10d nails @ 3" o/c at panel edges, 6" o/c in the field. Stagger nails at 2" c butt ends of plywood sheathing.
9. Install bridging in all (2x) floor or roof joists at 8' maximum. Install blocking at height in all bearing walls and partitions of 9'. Brace gable end walls at 4' o/c if wall framing is not continuous from foundation to roof, or as shown on drawings.
10. All nailing and bolting shall comply with American Institute of Timber Construction requirements. All nails exposed to the exterior shall be galvanized.

11. All connection hardware shall be galvanized or stainless steel and supplied by Simpson Strongtie Co, or equivalent. Submit shop drawings for all connection hardware to contractor for approval. All nail holes shall be filled or as proscribed by the manufacturer.
12. Provide a single plate at the bottom and double plate at the top of all load bearing stud walls. Stagger end joints in double plates at least 4'. 2"x4" sill plates for bearing walls shall be bolted to foundation at a minimum spacing of 6' o/c except as noted otherwise on plans.
13. Load bearing studs shall be doubled at all angles and around all openings and at structurally approved architectural wall panel joints. Studs shall be tripled at all corners.
14. Wood lintels over openings shall be doubled 2x12 headers unless noted otherwise on plans, with continuous 1/2" plywood fitch plate cut to full depth of beam between 2x members.
15. Rafter schedule for conventional framed areas:
 

a.	Member size 2x4; Max. Span for SYP- 7'; Max Span for SPF#2- 6'		
b.	2x6	9'	8'
c.	2x8	12'	10'
d.	2x10	14'	12'
e.	2x12	16'	14'
16. Further for conventionally framed areas:
  - a. Rafters must be braced laterally by continuous nailing of sheathing or braced at 24" o/c with a minimum 1x4.
  - b. Rafter spacing not to exceed 24" o/c.
  - c. Ridge boards to be one size larger than rafter unless otherwise noted on plans.
  - d. Connector Schedule:
    - i. Simpson MTS 20 or equal between cat blocking and roof trusses.
    - ii. Simpson H5 or equal between rafter tails to cat blocking.
    - iii. Simpson H5 or equal between rafters and ridge board
    - iv. Simpson CS20 at ends of ridge board, or Simpson Joist hanger where applicable.

VI

**Pre-Engineered Wood Trusses**

1. Pre-engineered, prefabricated, metal plate connected wood roof and floor trusses (known as "Wood Trusses") shall be designed by a Florida Professional Engineer, known as a delegated Engineer, who shall submit shop drawings to the Engineer of Record for approval prior to truss fabrication and said trusses shall not be fabricated until the EOR has indicated that the drawings conform to the design concept shown on the plans.
2. Truss layouts on plans are schematic only.
3. Wood truss members and connections shall be designed for all loads shown on the plans including live, dead concentrated and wind.
4. Shop drawings shall include information including, but not limited to the following:
  - a. Span length, overhang and eave dimensions, slope and spacing of the wood trusses.
  - b. All design loads and their points of application
  - c. Reaction forces and their location

- d. Bearing type and minimum bearing length
- e. Deflections
- f. Metal connector plate type, size, gauge and location
- g. Lumber size, species, grade and moisture content
- h. Location and connection design of required lateral bracing
- i. Net uplift loads based on actual building dead load
- j. Web reinforcement details for gable end trusses
- k. Valley sets for over-build conditions
- l. Mean roof height
- m. Horizontal reactions
5. Limit deflections for live load to span/360 for roof and span/480 for floors and limit total deflection for span/240 for roof and span/360 for floor
6. Fire retardant wood is not allowable for use.
7. Continuous bottom bracing with 2x4 members at a minimum of 10' o/c is required unless noted otherwise.
8. Truss erector is responsible for all temporary bracing of truss system during construction including handling and bracing in accordance with HB-91, published by the Truss Plate Institute.
9. All wood trusses shall be fastened to their supports with approved hurricane anchors, rated to carry uplift loads specified by truss manufacturer.
10. Trusses shall be designed to accommodate the proper routing of A/C duct work and plumbing. Designated chases shall not be blocked by wood truss work.
11. Installation of broken, damaged, warped or improperly repaired wood trusses in NOT allowed.
12. Improper OR unauthorized field alterations of wood trusses in NOT allowed.
13. Gable endwall trusses must transfer lateral loads to the shear walls and/or the roof diaphragm.
14. Wood trusses that do not meet interior load bearing walls must be shimmed. DO NOT pull wood trusses down to interior bearings.

**STRUCTURAL ENGINEER NOTES**

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