

Sealed Plans > Shore Dr > Loaded 3/26/19

Revised sheets replaced 5/22/19 Comments & Responses  
S2, 1B, 1C, 2, 2A, 4, 4B, 4C, 5, 6, 6A, 6C, 7B, 10

Revised pool notes - Sheet 12 - 9/6/19

Revised footer, stairs, gen & Elec Motors  
Sheets 1A, 2A, 4, 4A, 7B, 12 10/1/19

**GENERAL NOTES:**

THE FOLLOWING TECHNICAL CODES SHALL APPLY:  
2017 FLORIDA BUILDING CODE,  
PLUMBING, MECHANICAL, FUEL GAS,  
ENERGY EFFICIENCY, ACCESSIBILITY,  
AND NATIONAL ELECTRICAL CODES  
NEC 2014

1. TANK TYPE WATER CLOSET VOLUME  
1.6 GALLONS
2. WALL MOUNT WATER CLOSET VOLUME  
3.5 GALLONS
3. WATER - FLOW RATE.  
PUBLIC FACILITIES 0.5 G.P.M.  
PRIVATE FACILITIES 2.2 G.P.M.  
SHOWER HEADS 2.5 G.P.M.

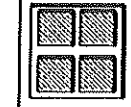
VTR LOCATIONS ARE APPROXIMATE AND MAY CHANGE DUE TO JOBSITE CONDITIONS

THE FOLLOWING SHALL COMPLY WITH THE 2017 FBC.

- PORCHES AND BALCONIES
- HANDRAILS
- GUARDRAILS
- STAIRS
- CHIMNEY & FIREPLACE
- EGRESS WINDOWS

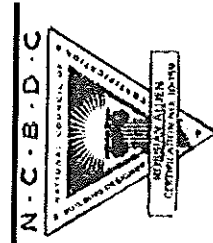
4. ALL OPENINGS SHALL COMPLY WITH 2017 FBC WIND LOADS AS STATED BELOW. ATTACHMENTS OF WINDOWS, DOORS, SLIDING GLASS DOORS AND O.H. GARAGE DOORS ARE DELEGATED THE MANUFACTURER OF THESE ITEMS. THE MANUFACTURER OF THESE ITEMS SHALL SUBMIT ATTACHMENTS TO ENGINEER OF RECORD FOR REVIEW PRIOR TO INSTALLATION. SEE ATTACHED SPECIFICATION SHEETS FOR MANUFACTURERS DESIGN CRITERIA AND INSTALLATION METHODS FOR WINDOWS, DOORS, SLIDING GLASS DOORS, OVERHEAD GARAGE DOORS, AND ROOFING.
5. ALL DOORS INTERIOR & EXTERIOR ARE 8' 0" UNLESS OTHERWISE NOTED  
ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS
6. ALL WINDOWS WITHIN 24" OF DOORS (INTERIOR & EXTERIOR) AND WITHIN 18" OFF FLR TO BE TEMPERED GLASS.

**ROBBIAN DESIGN**  
AL ROBBIAN A.I.B.D.  
6397 CONYERWOOD SQ.  
NEW PORT RICHEY, FL 34653  
(727) 848-2259  
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**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

**AIBD**  
7059 Blair Road NW  
Suite 201  
Washington DC 20012



**INDEX OF DRAWINGS**

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**NOTICE TO SUBCONTRACTORS :**

DUE TO SPACE LIMITATIONS IN THIS 11"X 17" PLAN FORMAT, AND TO ELIMINATE CLUTTER AND TEXT READABILITY ISSUES, SOME DETAILS AND NOTATIONS MAY OR MAY NOT BE LOCATED ON THE SAME SHEETS OR IN THE SAME LOCATIONS AS PROVIDED FOR BY OTHER CONTRACTORS OR ARCHITECTS. IT WOULD BE IN YOUR BEST INTEREST TO REVIEW THESE PLANS AND LOCATE THE APPROPRIATE INFORMATION REQUIRED TO COMPLETE YOUR SPECIFIC PORTION OF THE JOB BEFORE BEGINNING CONSTRUCTION.

**NOTICE TO BUILDER**

IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION, STOP AND CALL THE DESIGNER LISTED IN THIS TITLE PAGE. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL THAT IS CONSTRUCTING THIS PROJECT TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS AND ANY AND ALL CORRECTIONS, IF NEEDED, TO BE MADE BEFORE ANY WORK IS DONE.

**WINDOW INSTALLATION NOTES:**

1. WINDOWS MUST BE FASTENED INTO STRUCTURAL MEMBERS PER MFG'S. DETAIL REQUIREMENTS PER DESIGN CRITERIA NOTED ON THESE DRAWINGS.
2. WINDOWS ARE IMPACT RESISTANT TYPE. NO STORM SHUTTERS OR PANELS ARE REQUIRED.
3. ROOF, WALLS AND WINDOW FASTENINGS MUST BE ENGINEERED AND SPECIFIED FOR CUMULATIVE INTERNAL PRESSURE AND EXTERNAL NEGATIVE ( SUCTION ) PRESSURES WHICH VARIES ACCORDING TO AREAS AS NOTED IN THE DESIGN CRITERIA AS NOTED ON PAGE S4.

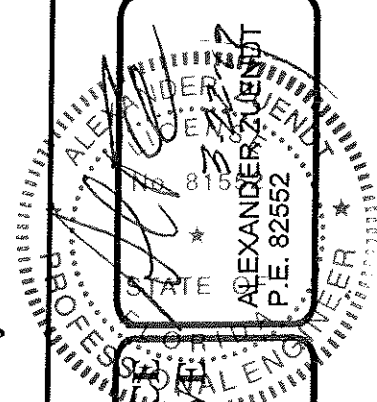
COVER SHEET

**DEEB FAMILY HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL 34655  
727-376-6831



PLAN DATE
11-08-18: 03-18-19
11-14-18
11-29-18
1-03-19

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL**



**ZUENDT ENGINEERING**  
5405 WATER ST.  
NEW PORT RICHEY, FL 34652  
CA32834  
727-848-2921  
JOB # 6228

70  
11

1. CODES AND REFERENCES

- 1.1 FLORIDA BUILDING CODE 2017 (FBC 2017 / &TH EDITION)
- 1.2 AMERICAN CONCRETE INSTITUTE OF STRUCTURAL CONCRETE (ACI301/318-II8/315)
- 1.3 AMERICAN CONCRETE INSTITUTE OF MASONRY STRUCTURES (ACI-530-II8)
- ASCE5-0B/ TMS 402-08 AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530-118) B / ASCE6-II8 / TMS 602.1)8)
- 1.4 AMERICAN SOCIETY OF CIVIL ENGINEERS MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE7-10)
- 1.5 SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AISC380-II5
- 1.6 DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE (TPI/ WTCA BCS1-II6)
- 1.7 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NOS) (ANSI/ AWC NDS-2012)
- 1.8 AMERICAN PLYWOOD ASSOCIATION DESIGN / CONSTRUCTION GUIDE. (APA / PDS1998)

2. DESIGN CRITERIA

- 2.1 ROOF LOADING
  - 30 PSF @ 1.33 DURATION FACTOR DEAD
  - 10 PSF FOR SHINGLE
  - 15 PSF FOR TILE
- 2.2 FLOOR LOADING
  - LIVE 40 PSF @ 1.00 DURATION FACTOR
  - DEAD 15 PSF
- 2.3 BALCONY LOADING
  - LIVE 40 PSF FOR LESS THAN 100 SQUARE FT
  - LIVE 60 PSF FOR MORE THAN 100 SQUARE FT
  - DEAD 15 PSF
- 2.4 FOR FLOORING MATERIALS HEAVIER THAN 5 PSF, CONTACT ENGINEER OF RECORD
- 2.5 WIND LOADING
  - SEE FBC 2017 TABLE FOR CRITERIA

3 SOILS

- 3.1 SOILS REPORT BY GROUND DOWN ENGINEERING, RECOMMENDS PILE SUPPORT; TREATED WOOD PILES 55' LONG, WITH MIN. 8" TIP, DRIVEN TO 23 TONS WORKING CAPACITY.
- 3.2 PILE DRIVING TO BE MONITORED BY PE REPRESENTATIVE WITH A SEALED COMPLETION REPORT SHOWING FINAL DEPTH, FINAL BLOW COUNT AND SAFE WORKING CAPACITY OF EACH PILE.

4. CONCRETE

- 4.1 OPERATION INSTALLATION AND PROCEDURE TO COMPLY WITH ACI STANDARDS
- 4.2 CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS U.N.O.
- 4.3 REINFORCEMENT REBARS ASTM A615 GRADE 640 U.N.O.
- 4.4 WELD WIRE FABRIC (WWF ASTM A185)
- 4.5 LAP SPLICES AND HOOKS AS PER PLAN.

5. MASONRY

- 5.1 MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF THE SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.11 ASCE & I TMS &02) PUBLISHED BY THE MASONRY SOCIETY, BOULDER, COLORADO; THE AMERICAN CONCRETE INSTITUTE, FARMINGTON HILLS, MICHIGAN; AND THE AMERICAN SOCIETY OF CIVIL ENGINEERS, RESTON, VIRGINIA; EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- 5.2 GENERAL SPECIFICATION FOR MASONRY STRUCTURES
  - 5.2.1 TESTING OF FIELD MATERIALS FOR QUALITY CONTROL IS NOT REQUIRED BY ENGINEER FOR THIS PROJECT.
  - 5.2.2 COMPRESSIVE STRENGTH REQUIREMENT IS  $f_m=1500$  PSI
  - 5.2.3 DETERMINATION OF COMPRESSIVE STRENGTH IS THE ALLOWABLE STRESS METHOD
  - 5.2.4 UNIT STRENGTH METHOD IS NOT APPLICABLE
  - 5.2.5 QUALITY ASSURANCE IS NOT APPLICABLE
- 5.3 PRODUCTS
  - 5.3.1 MORTAR MATERIALS SHALL BE TYPE M OR S GRAY MORTAR
  - 5.3.2 MASONRY UNIT MATERIALS SHALL BE 1900 PSI MIN. CONCRETE MASONRY UNIT.
  - 5.3.3 REINFORCEMENT, PRE-STRESSED TENDONS, AND METAL ACCESSORIES SHALL BE 40 KSI REBAR (MIN.).

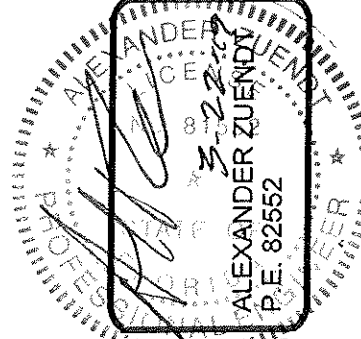
STRUCTURAL ENGINEER NOTES



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 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE
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DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

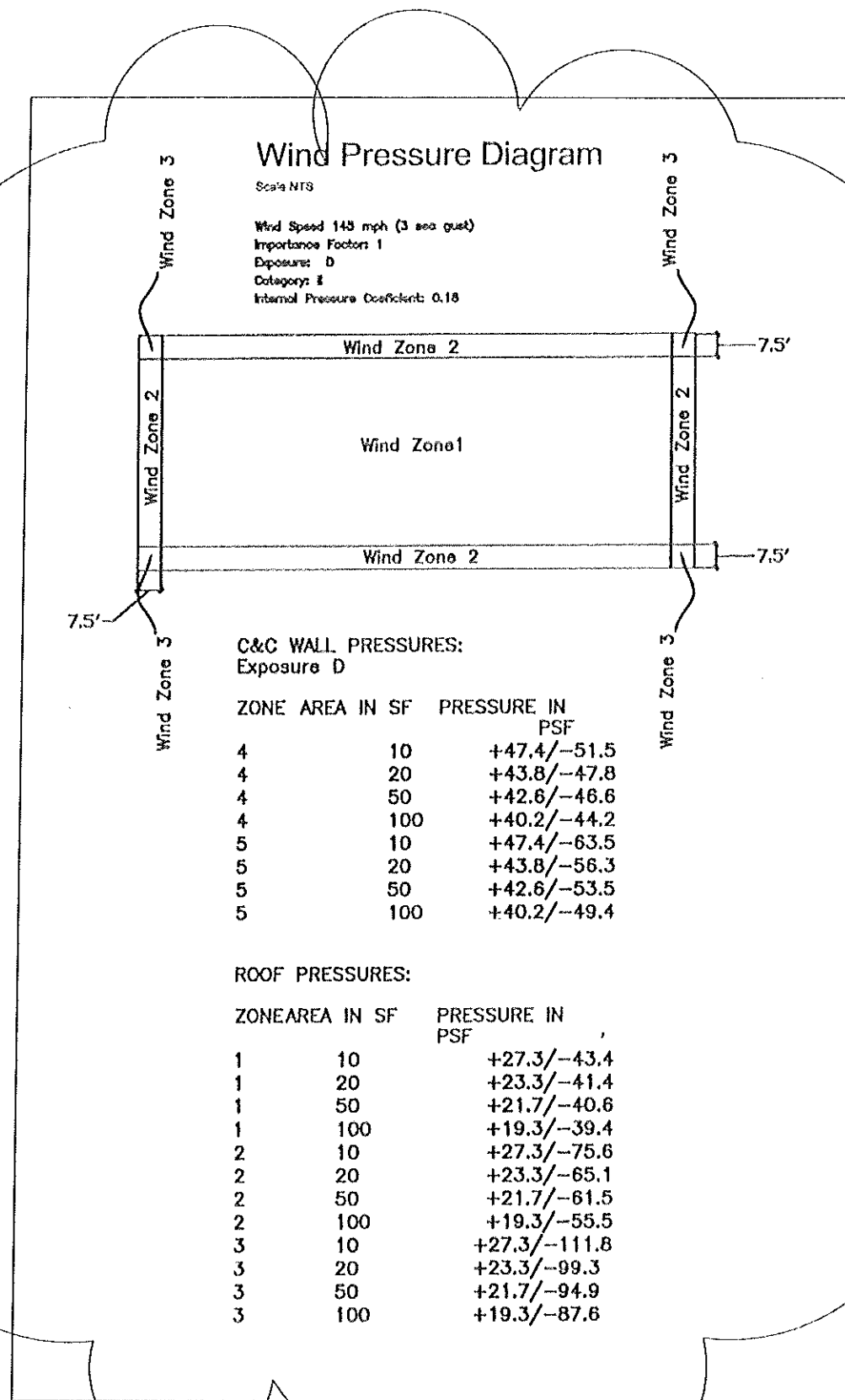


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 727-848-2921  
 JOB # 6228

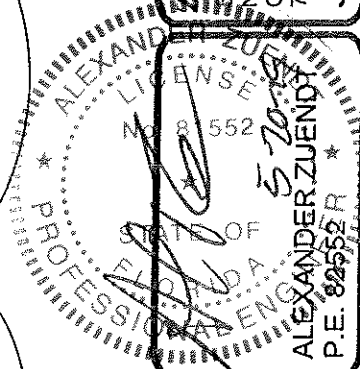
- 5.3.4 WELDED WIRE FABRIC TO BE INSTALLED AS SPECIFIED ON PLAN SET.
- 5.3.5 STAINLESS STEEL IS NOT APPLICABLE.
- 5.3.6 COATING FOR RE-BAR CORROSION PROTECTION IS NOT APPLICABLE.
- 5.3.7 CORROSION PROTECTION FOR TENDONS IS NOT APPLICABLE.
- 5.3.8 PRE-STRESSING ANCHORAGE, COUPLERS, AND END BLOCKS ARE NOT APPLICABLE.
- 5.3.9 JOINT FILLERS AS APPLICABLE.
- 5.3.10 LINTELS TO BE PRE CAST UNLESS NOTED OTHERWISE.
- 5.4 EXECUTION
- 5.4.1 PIPES AND CONDUITS AS APPLICABLE.
- 5.4.2 ACCESSORIES ARE NOT APPLICABLE.
- 5.4.3 EXPANSION AND CONTROL JOINTS AS PER PLAN.

6. WOOD FRAMING

- &.1 DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
- 6.2 ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- &.3 FRAMING WALLS AND COLUMNS
- 5.3.1 MINIMUM OF 3 PLY STUD COLUMNS TO BE INSTALLED AT BEAM OR GIRDER TRUSS BEARING LOCATIONS. UNLESS NOTED OTHERWISE.
- 6..3.2 S.Y.P. #2 GRADE OR BETTER FASTEN PLYS TOGETHER USING 16d COMMON NAILS 8" O.C. AS EACH MEMBER IS APPLIED U.N.O.
- 6.3.3 4 PLY OR AND LARGER STUD COLUMNS SHALL BE FASTENED TOGETHER AS STATED ABOVE PLUS CS16 COIL STRAPPING WRAPPED AROUND COLUMN WITH A 4" END CAP AT 16" O.C. OR 112"111 THRU BOLTS @24"O.C.
- 5.3.4 ALL FRAMING LUMBER SHALL BE 112 SPRUCE / PINE I FIR OR EQUAL U.N.O.
- 5.3.5 INTERIOR LOAD BEARING (IF APPLICABLE) WALLS SPACED AT 16" OC AND LESS THAN 8'-G" IN HEIGHT SHALL BE STUD GRADE, SPRUCE I PINE I FIR OR EQUAL.
- 6..3.7 INTERIOR NON-LOAD BEARING WALLS SHALL BE UTILITY GRADE DR BETTER.
- 5.3.8 INSTALL BLOCKING IN ALL WALL STUDS OVER 8'-11" @ MID-HEIGHT, AND SHEATHING JOINTS. BRACE GABLE END WALLS AT 4'-11" O.C. ADDITIONAL INFORMATION AS PER PLAN.
- 6.4 ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED OR NATURAL DURABLE WOOD.
- 6.5 PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.S. 11-W-71 AND BARE THE AMERICAN WOOD PRESERVES INSTITUTE EQUALITY MARK LP-2.
- 6.6 A.P.A. RATED SHEATHING EXTERIOR GRADE. ALL ROOF SHEATHING TO INSTALLED WITH PLY CLIPS (MAXIMUM 24" O/C). (SEE PLANS FOR SHEATHING THICKNESS.) ADDITIONAL SHEATHING ATTACHMENT AS PER PLAN
- 6. 7 ALL NAILING AND BOLIING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 8.8 ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG TIE CO., USP, KC METAL, OR EQUIVALENT. SUBMIT CUT SHEETS FOR ALL CONNECTION HARDWARE TO ENGINEER FOR APPROVAL. ALL NAIL HOLES SHALL BE FILLED OR AS PRESCRIBED BY THE MANUFACTURER.
- 8.9 BRACING: TEMPORARY BRACING OF THE ROOF SYSTEM SHALL BE INSTALLED PER HIB-91 RECOMMENDATIONS AND SHALL BE UTILIZED AS THE PERMANENT BRACING FOR THE ROOF SYSTEM U.N.O.
- 6.10 ALL WOOD FRAMING SHALL BE IN COMPLIANCE WITH THE LATEST NOS EDITION FOR WOOD CONSTRUCTION.
- 6.10 ALL HORIZONTAL WOOD FRAMING MEMBERS SHALL HAVE A MINIMUM DEFLECTION LIMIT OF L/360.



STRUCTURAL ENGINEER NOTES



**ZUENDT ENGINEERING**  
 14405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32884  
 727-848-2921  
 JOB # 6228

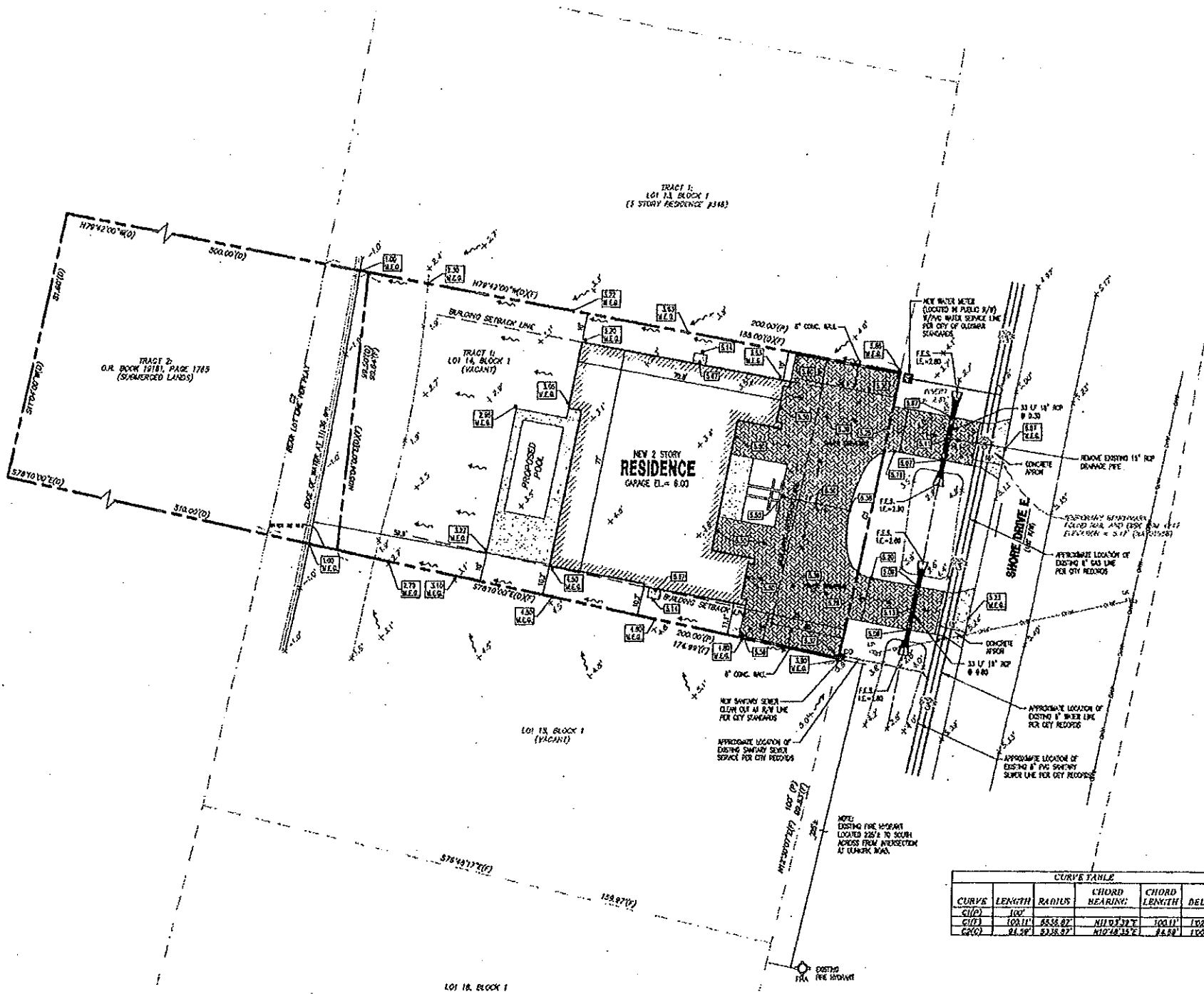
**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

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 727-376-6831



**SECTION 26, TOWNSHIP 28 S., RANGE 16 E  
PINELLAS COUNTY, FLORIDA**



CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA
C101	100.11'	8538.87'	N112°33'17\"	100.11'	192°09'
C102	81.28'	8538.87'	N102°48'42\"	81.28'	192°09'

NTS

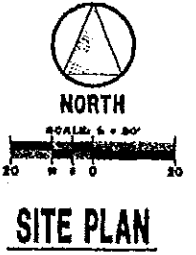
**LEGAL DESCRIPTION**

TRACT 1:  
LOT 14, BLOCK 1, REVESED MAP OF THE COUNTRY CLUB ADDITION TO OLDSMAR, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 42, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; AND ALSO:

TRACT 2:  
COMMENCING AT THE NORTHEAST CORNER OF LOT 14, BLOCK 1, REVESED MAP OF THE COUNTRY CLUB ADDITION TO OLDSMAR, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 42, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE NORTH 79 DEGREES 42' WEST 185 FEET ALONG THE NORTH BOUNDARY OF SAID LOT 14 TO THE INTERSECTION WITH THE HIGH WATER MARK OF OLD TAMPA BAY, FOR A POINT OF BEGINNING, THENCE CONTINUING N 79 DEGREES 42' WEST 500 FEET IN LINE WITH THE SD NORTH BOUNDARY PRODUCED; THENCE S 11 DEGREES 04' WEST 81.8 FEET; THENCE S 78 DEGREES 10' EAST 510 FEET IN LINE WITH THE EXTENSION OF THE SOUTH BOUNDARY OF SAID LOT TO THE INTERSECTION WITH THE HIGH WATER MARK; THENCE FOLLOWING THE HIGH WATER MARK NORTH 5 DEGREES 4' EAST 95.5 FEET, MORE OR LESS TO THE POINT OF BEGINNING, LYING IN SECTION 26, TOWNSHIP 28 S., RANGE 16 EAST, PINELLAS COUNTY, FLORIDA.

**SITE DATA:**  
 ZONING: E-2  
 LAND USE: VACANT  
 SITE AREA = 17,668 SF (0.40 AC) (TRACT 1)  
 BLDG COVERAGE = 4,644 SF (26.4%)  
 TOT. IMP. AREA = 9,654 SF (54.3%)

**NOTES:**  
 1. ELEVATIONS SHOWN HEREON ARE 1988 DATUM.  
 2. APPARENT FLOOD HAZARD ZONE: "AE" (EL. 9)  
 COMMUNITY PANEL NO. 12103000930 EFFECTIVE DATE: 9/3/03



**SITE PLAN**

NO.	DATE	REVISIONS

**Ozona Engineering, Inc.**  
 STATE OF FLORIDA  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 12777-Sub 1  
 P.O. Box 432  
 Kissimmee, Florida 34766-432  
 Phone: (407) 727-2444  
 Fax: (407) 727-2444

**FOR:**  
**RICHARD J. DEEB**  
**DEEB FAMILY HOMES, L.T.D.**  
 9400 RIVER CROSSING BLVD.  
 NEW PORT RICHEY, FL 34655

**PROJECT:**  
**LOT 14 BLOCK 1**  
 SHORE DRIVE EAST  
 OLDSMAR, FLORIDA

**PROJECT #:** -  
**PROC. DATE:** -  
**DRAWN BY:** BR  
**SCALE:** AS SHOWN  
**SHEET #:**  
**1**

NOT PART OF P.E. REVIEW

NOT PART OF P.E. REVIEW

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL.**

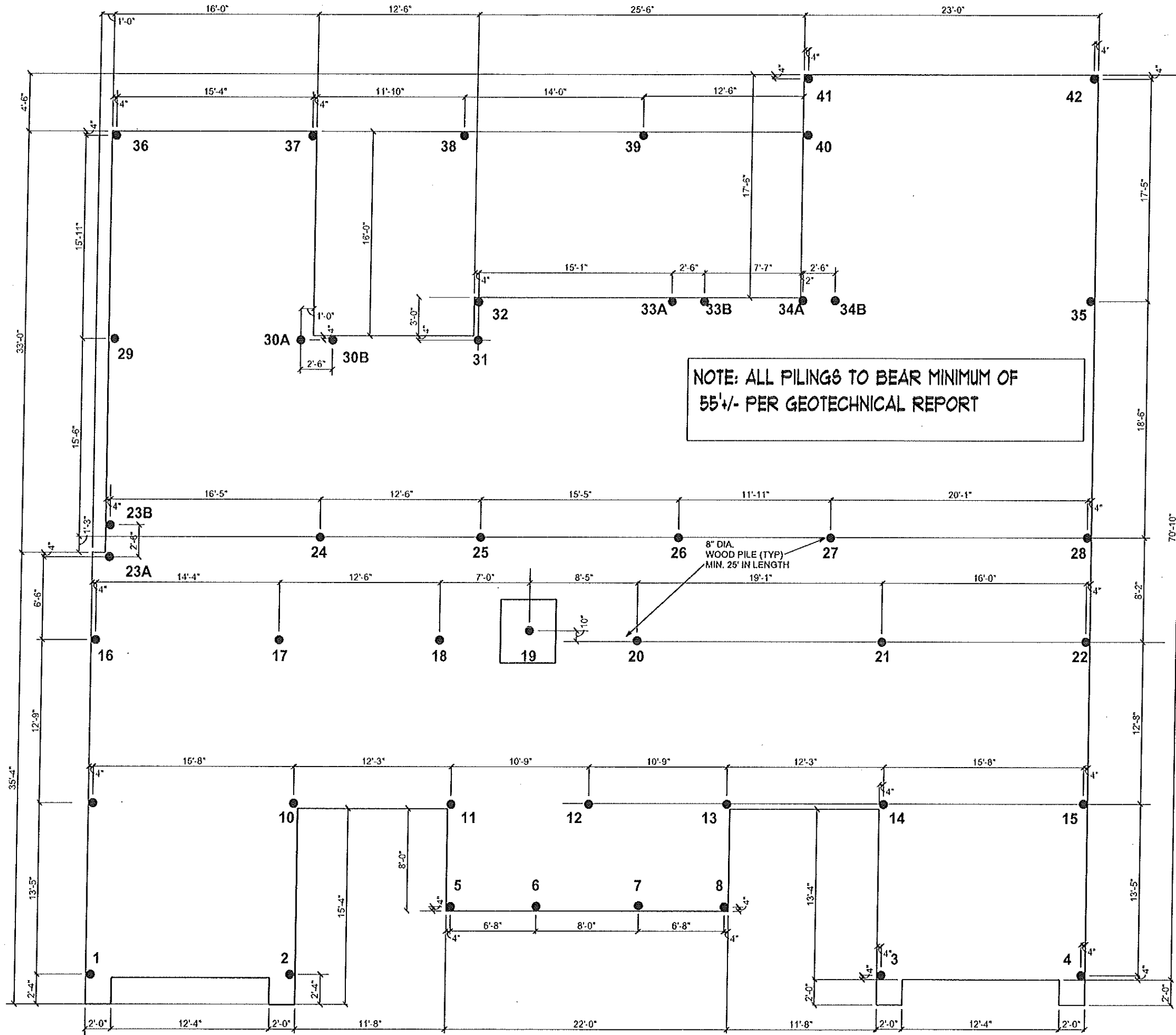
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 727-376-6831

**S3**

**SITE PLAN**

PILE #-	TOTAL KIPS
1	30
2	30
3	30
4	30
5	9
6	11
7	11
8	9
9	33
10	43
11	39
12	29
13	38
14	43
15	33
16	26
17	31
18	31
19	42
20	36
21	39
22	30
23	60 A+B
24	33
25	33
26	47
27	51
28	31
29	40
30	80 A+B
31	36
32	40
33	81 A+B
34	72 A+B
35	47
36	32
37	48
38	46
39	42
40	31
41	38
42	41



SCALE 1/8" = 1'-0"

PILING LAYOUT PLAN

**1**

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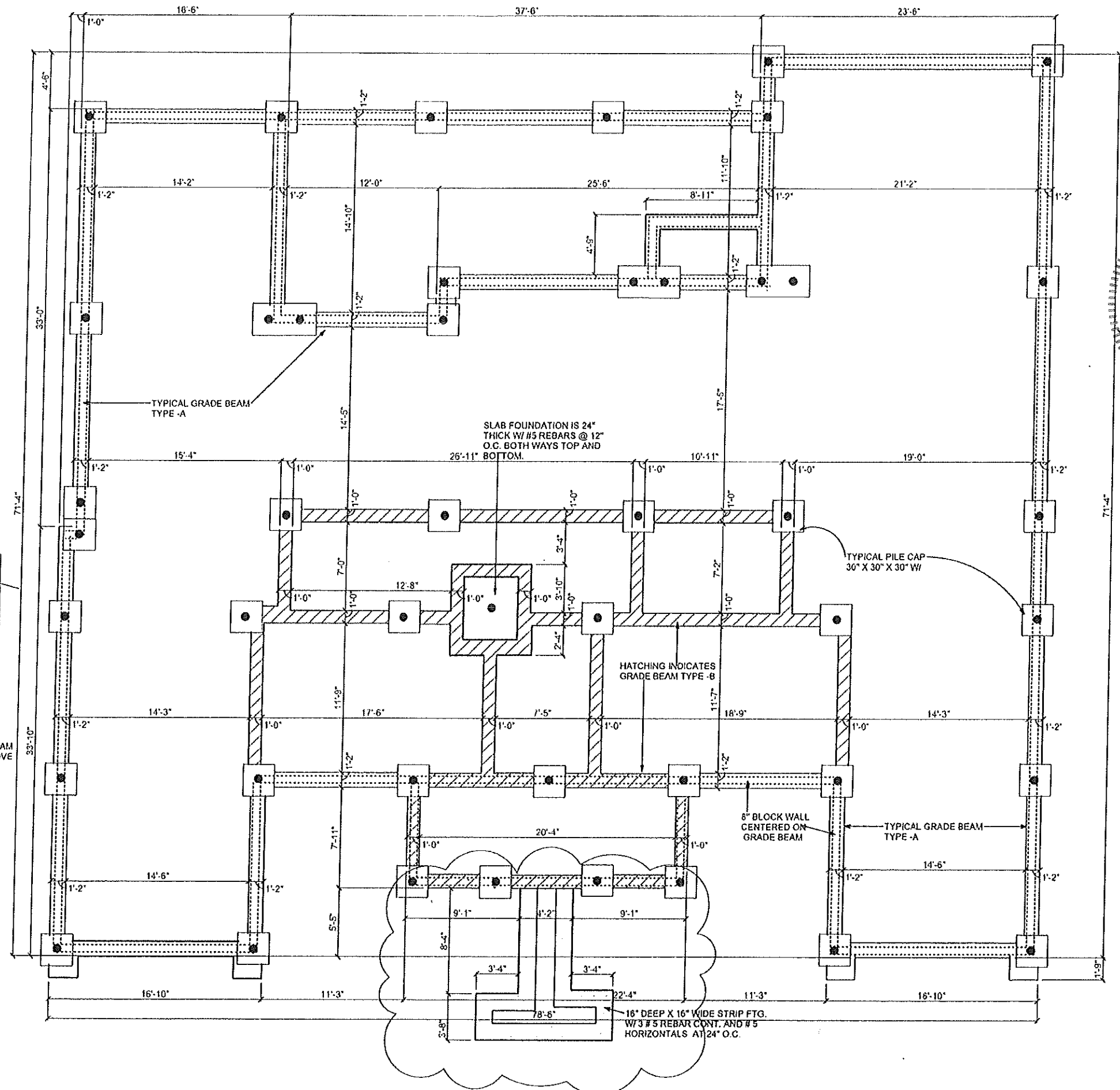
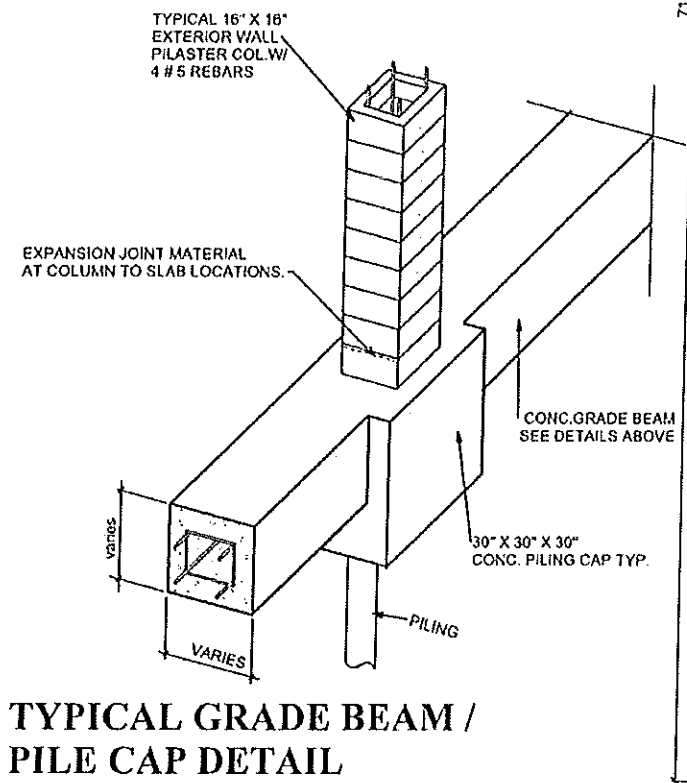
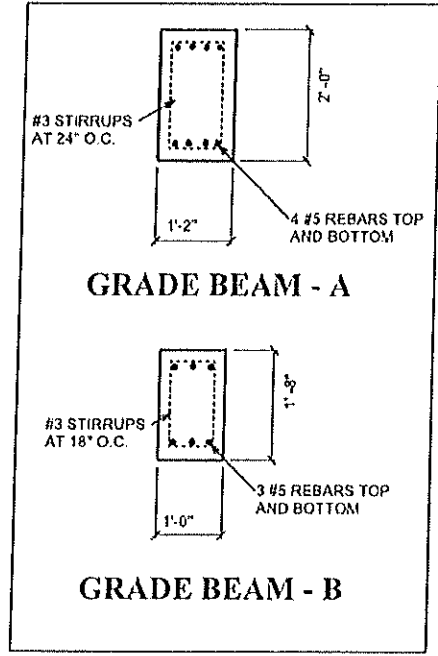
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**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.

**ALEXANDER ZUENDT**  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 No. 12457  
 3-22-2019  
 P.E. 82552

**ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 JOB # 6228



**GRADE BEAM PLAN**

SCALE 1/8" = 1'-0"

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PLAN DATE	REVISION
11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	08-05-19
1-03-19	108-22-19
	109-17-19

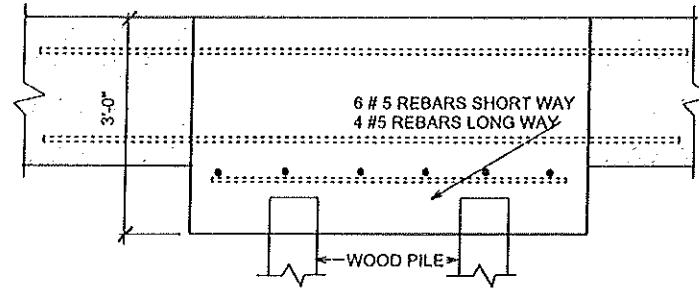
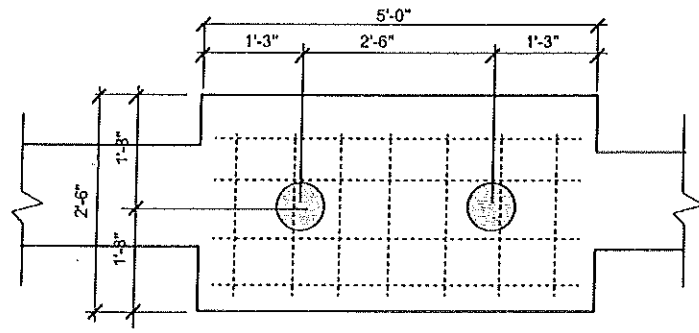
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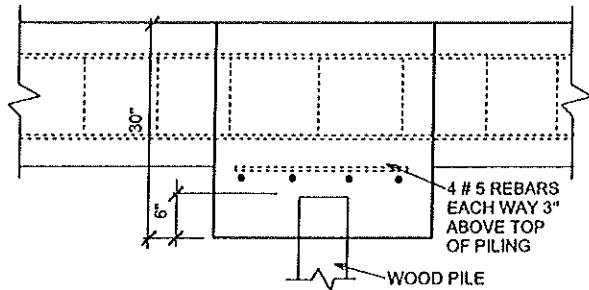
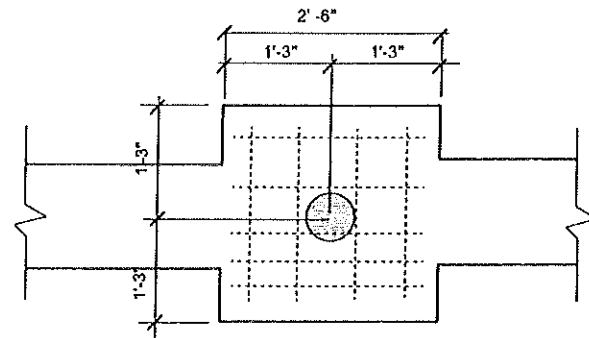
ALEXANDER ZUENDT  
P.E. 182552

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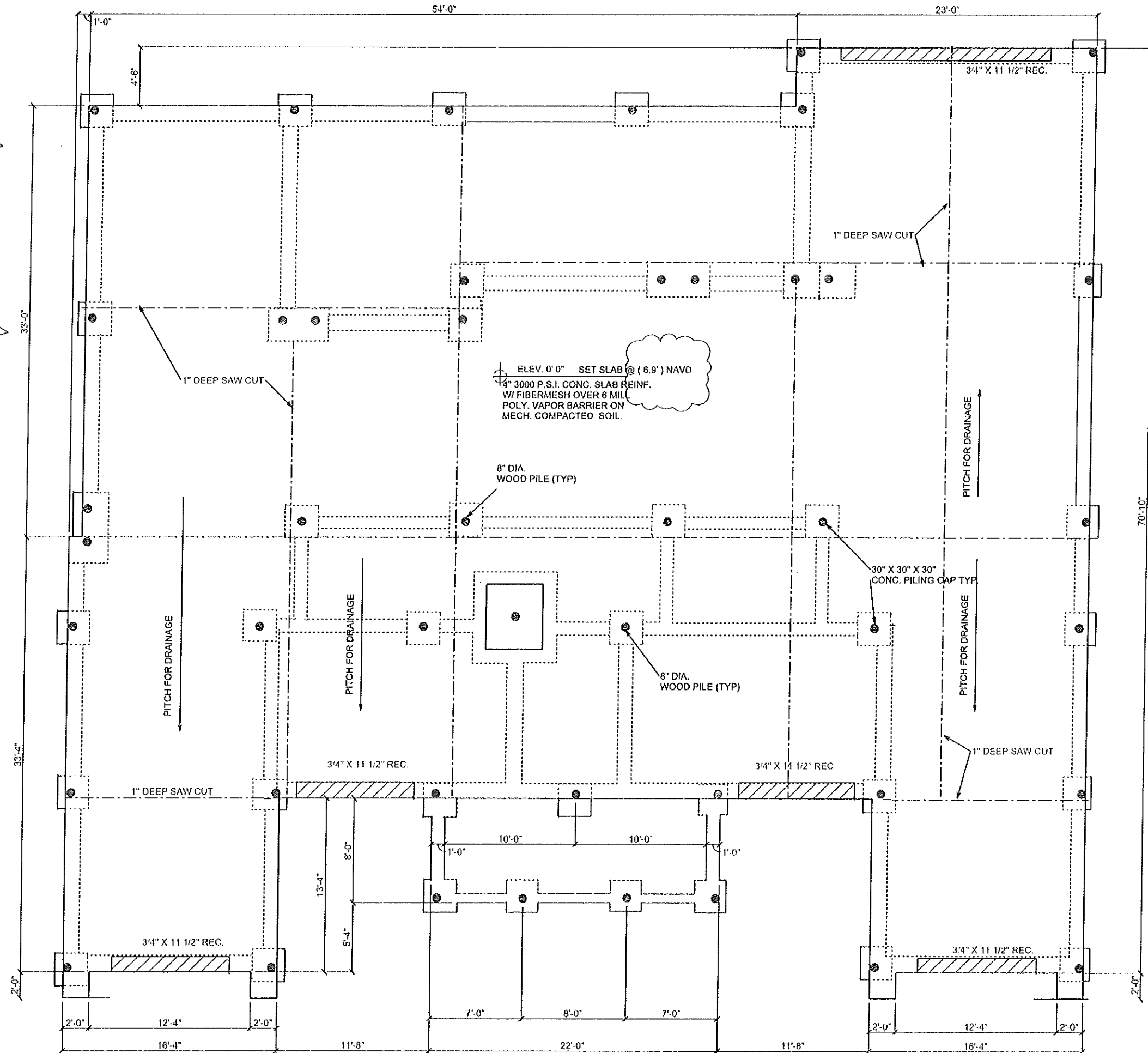
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**DBL. PILING CAP DETAIL**

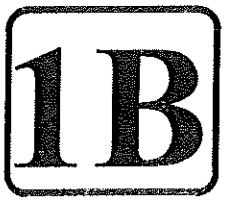


**PILING CAP DETAILS**



SLAB PLAN

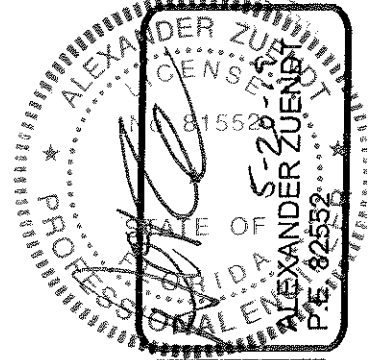
SCALE 1/8" = 1'-0"



**DEEB FAMILY HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE
11-08-18 10:03-18-19
11-14-18 10:05-03-19
11-29-18
1-03-19

**DEEB RESIDENCE**  
348 SHORE DRIVE  
OLDSMAR, FL.



**ZUENDT ENGINEERING**  
5405 WATER ST.  
NEW PORT RICHEY, FL. 34652  
CA32834  
727-848-2921  
JOB # 6228

NOTE: ALL ELECTRICAL, MECH. PLUMBING AND BUILDING MATERIALS AND/OR COMPONENTS SHALL BE INSTALLED ABOVE BASE FLOOD ELEVATION UNLESS SPECIFICALLY DESIGNED AND APPROVED FOR INSTALLATION BELOW BASE FLOOD ELEVATION OR MADE OF APPROVED WATER RESISTANT MATERIALS PER FEMA TECHNICAL BULLETIN 2-93 & 7-93

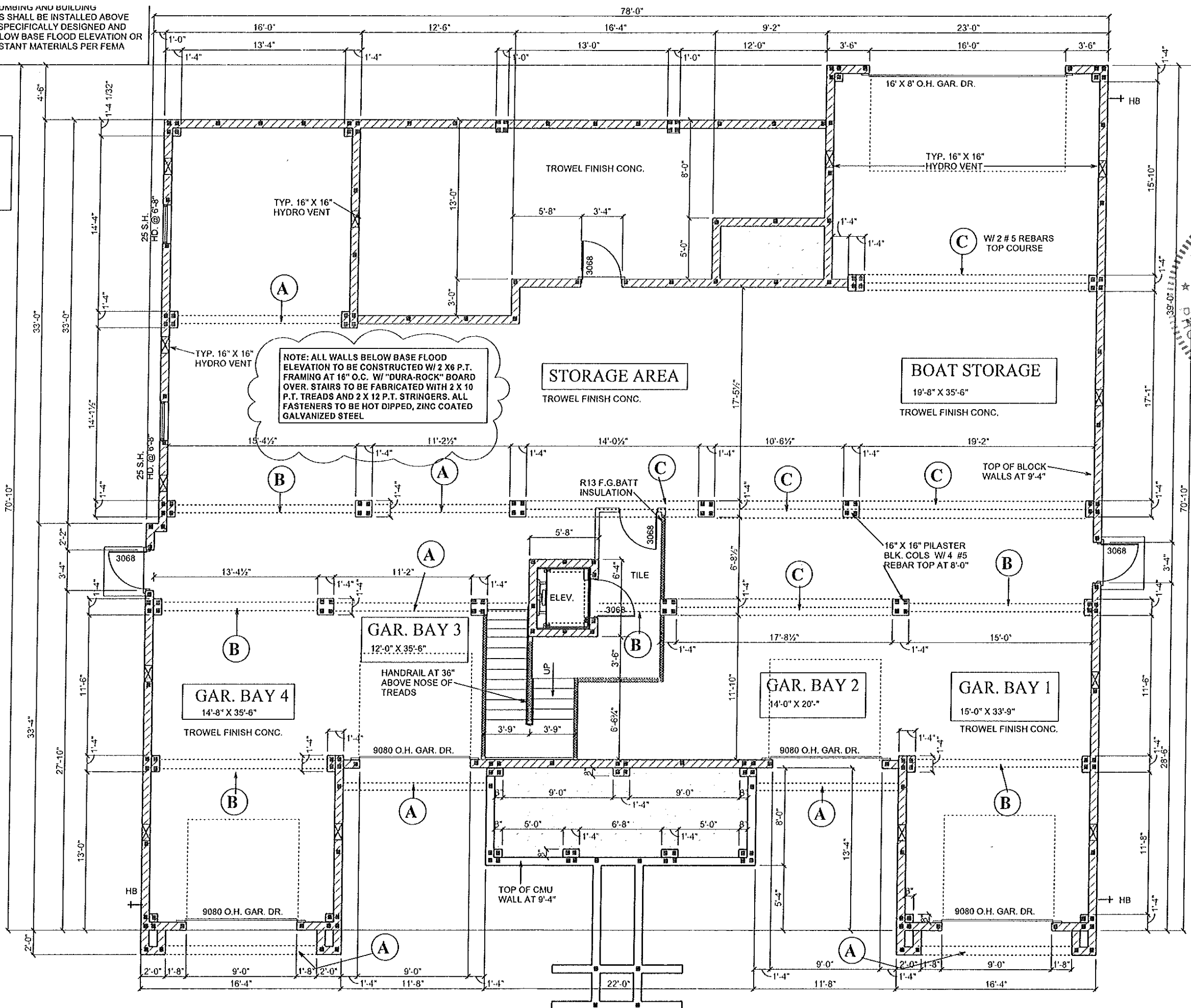
NOTE: ALL WALLS BELOW BASE FLOOD ELEVATION TO BE CONSTRUCTED W/ 2 X 4 P.T. FRAMING AT 16" O.C. W/ "DURA-ROCK" BOARD OVER. STAIRS TO BE FABRICATED WITH 2 X 10 P.T. TREADS AND 2 X 12 P.T. STRINGERS. ALL FASTENERS TO BE HOT DIPPED, ZINC COATED GALVANIZED STEEL

TOTAL VENTABLE AREA = 3882 S.F.  
 REQUIRED VENTS = 3883 S.I.  
 (10) SMART VENTS RATED AT 400 S.F. PER VENT (= 4000 S.F.)

8F16-1T-1B  
 LINTEL TYPE (A)

8F16-1T-2B  
 LINTEL TYPE (B)

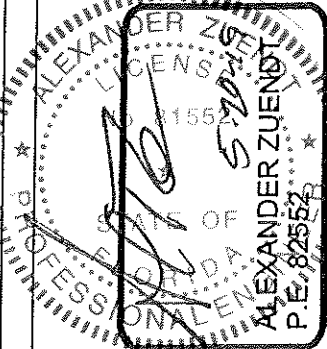
DBL. 8F16-1T-2B  
 LINTEL TYPE (C)



NOTE: ALL WALLS BELOW BASE FLOOD ELEVATION TO BE CONSTRUCTED W/ 2 X 6 P.T. FRAMING AT 16" O.C. W/ "DURA-ROCK" BOARD OVER. STAIRS TO BE FABRICATED WITH 2 X 10 P.T. TREADS AND 2 X 12 P.T. STRINGERS. ALL FASTENERS TO BE HOT DIPPED, ZINC COATED GALVANIZED STEEL

GROUND FLOOR PLAN SCALE 1/8" = 1'-0"

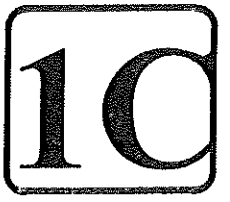
ZUENDT ENGINEERING  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 JOB # 6228



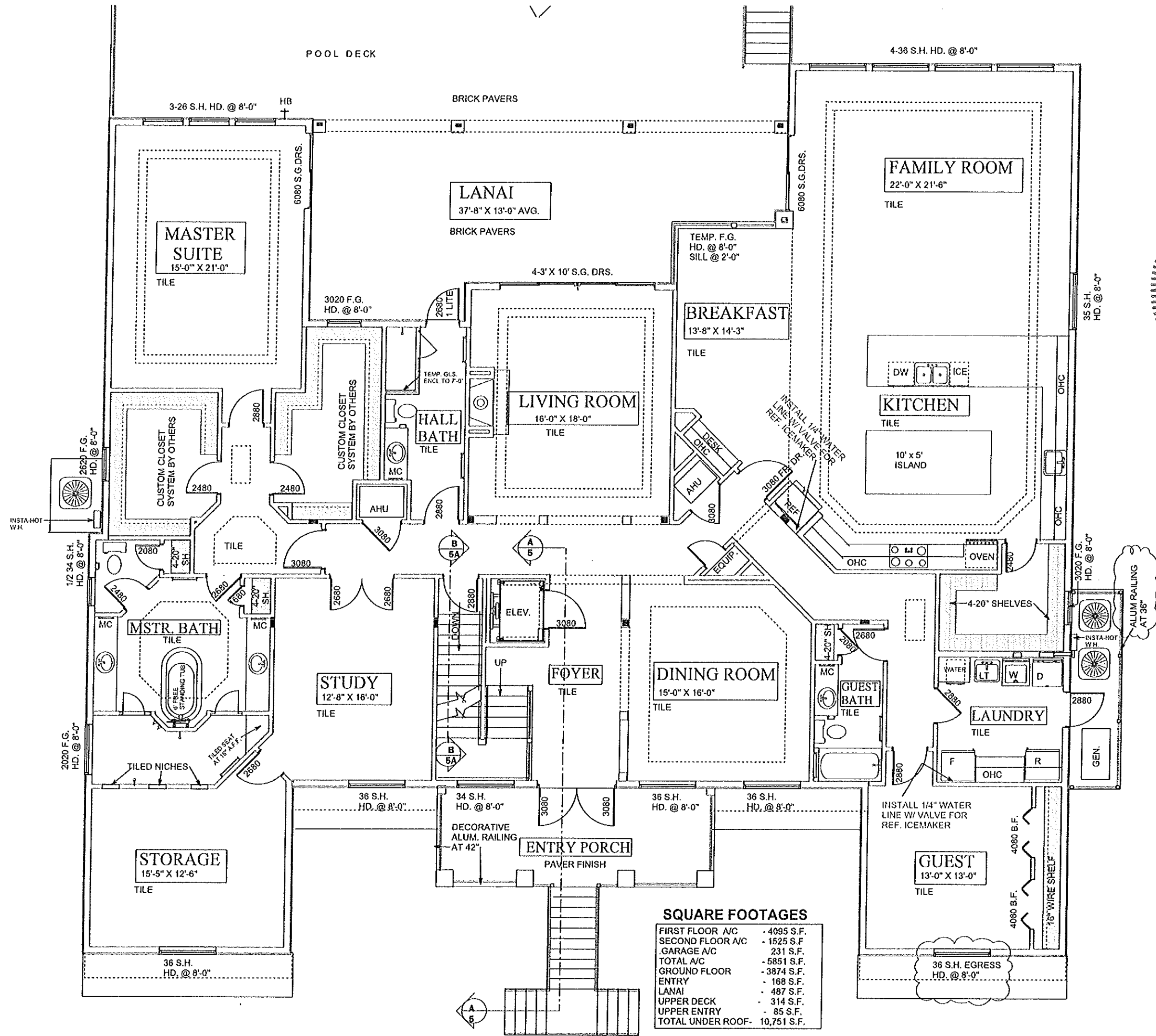
DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE
11-08-18 05-18-19
11-14-18 10-03-19
11-29-18
1-03-19

DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831







**SQUARE FOOTAGES**

FIRST FLOOR A/C	- 4095 S.F.
SECOND FLOOR A/C	- 1525 S.F.
GARAGE A/C	- 231 S.F.
TOTAL A/C	- 5851 S.F.
GROUND FLOOR	- 3874 S.F.
ENTRY	- 168 S.F.
LANAI	- 487 S.F.
UPPER DECK	- 314 S.F.
UPPER ENTRY	- 85 S.F.
TOTAL UNDER ROOF	- 10,751 S.F.

FIRST FLOOR NOTES SCALE 1/8" = 1'-0"

**2**

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

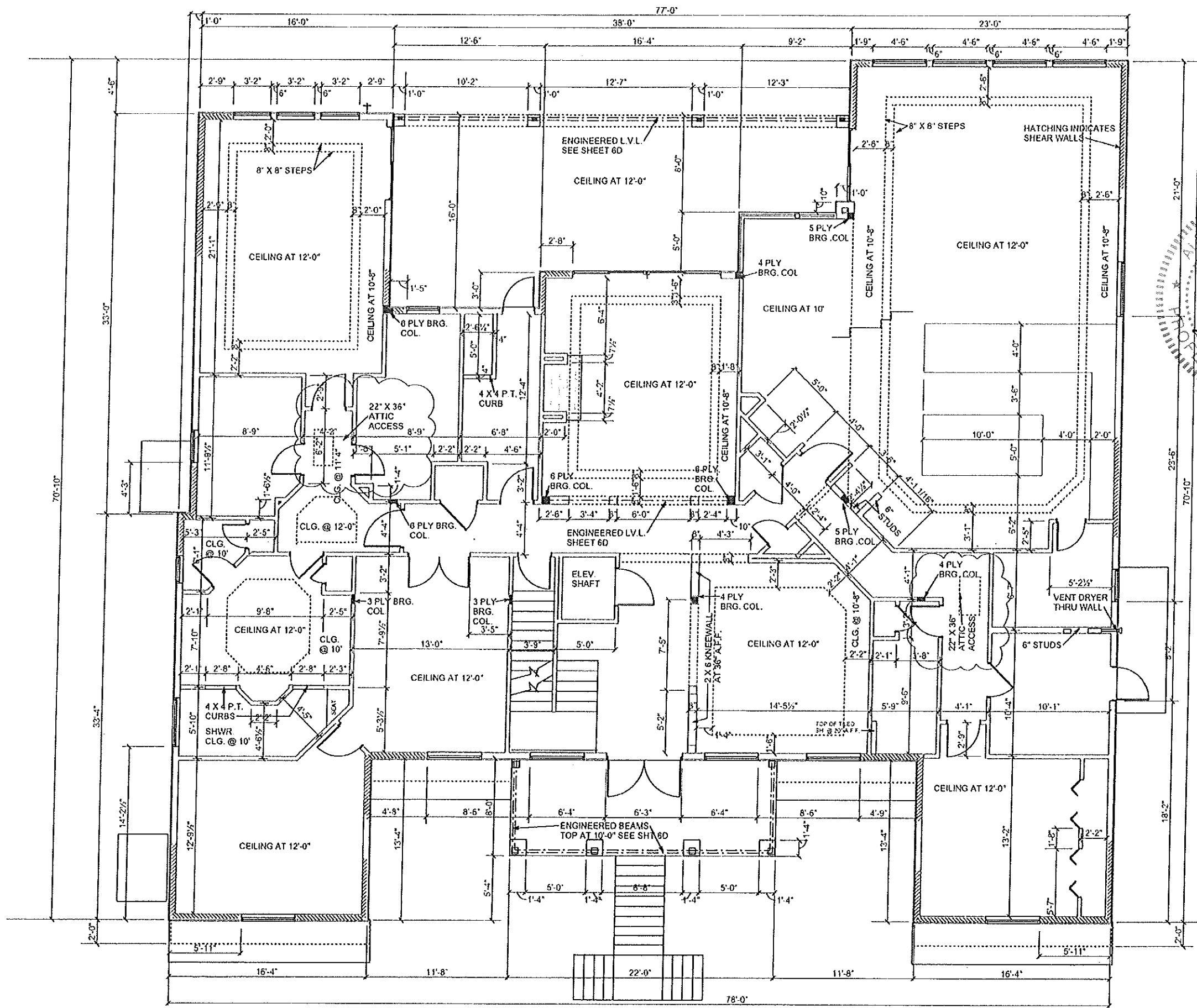
**PLAN DATE**

11-08-18	103-18-19
11-14-18	105-03-19
11-29-18	
1-03-19	

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL.**

**ALEXANDER ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 332834  
 727-848-2921  
 P.E. 82552  
 JOB # 6228

**ALEXANDER ZUENDT**  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 No. 81536  
 EXPIRES 06-28-19



FIRST FLOOR DIMENSIONS SCALE 1/8" = 1'-0"

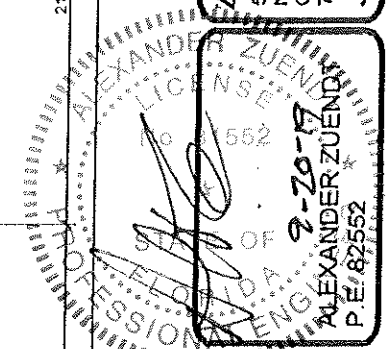
**2A**

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-576-6631

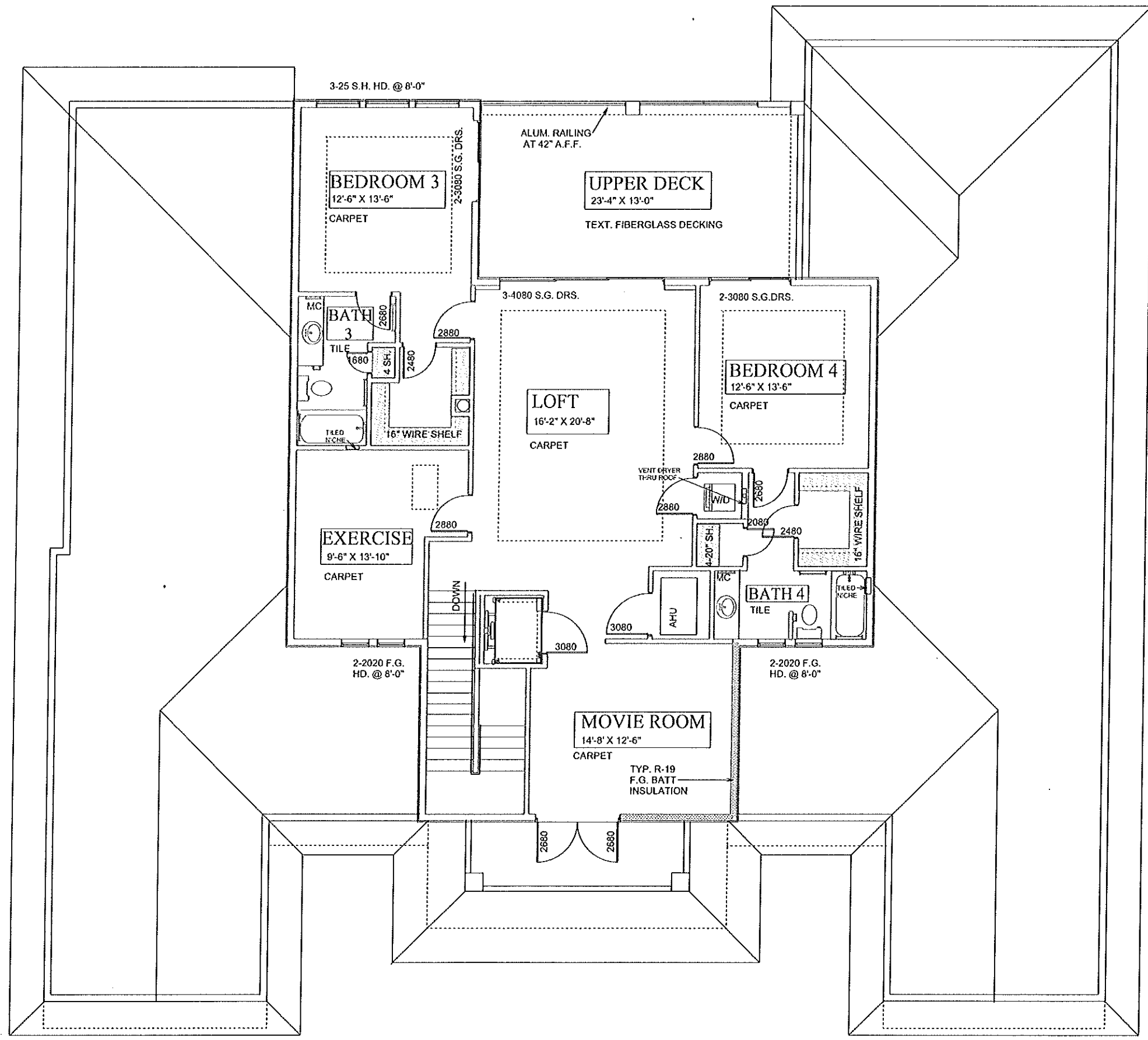
PLAN DATE

11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	08-05-19
1-03-19	08-22-19
	09-17-19

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL.**



**ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-948-2921  
 JOB # 6228



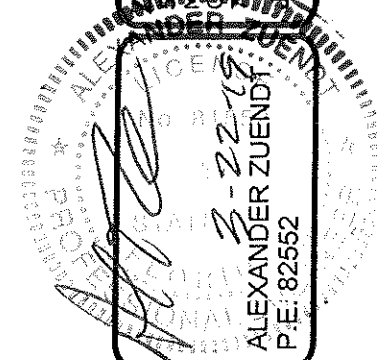
SECOND FLOOR NOTES

SCALE 1/8" = 1'-0"

DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

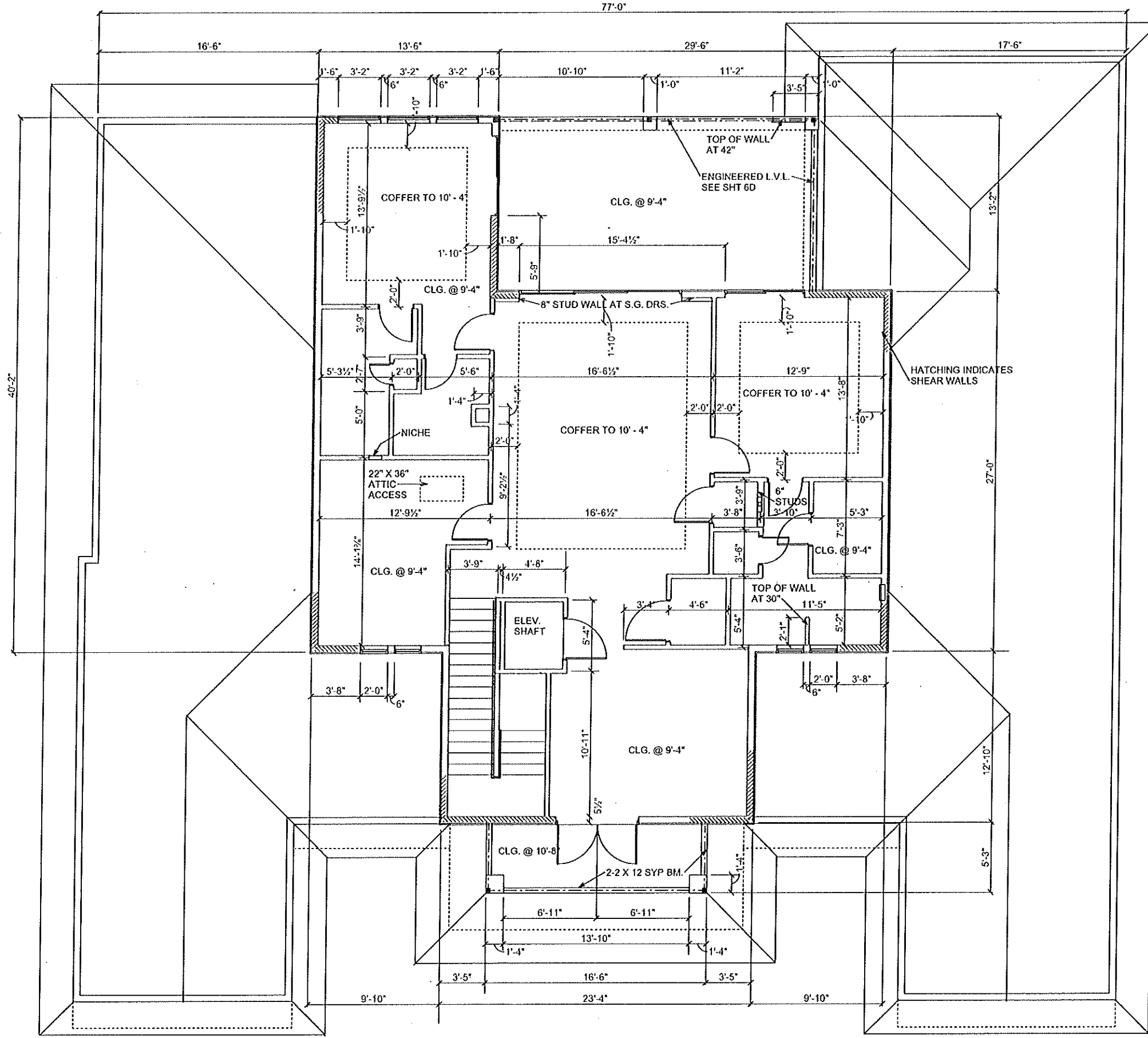
PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.



ZUENDT ENGINEERING  
2405 WATER ST.  
NEW PORT RICHEY, FL. 34652  
P.O. BOX 32834  
727-848-2921  
JOB # 6228  
P.E. 82552

3



SECOND FLOOR DIMENSIONS

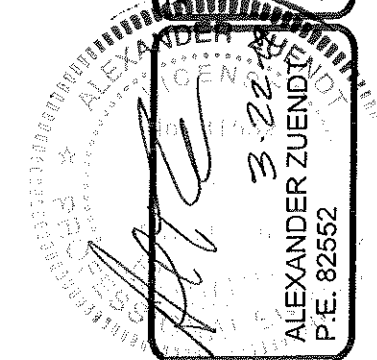
SCALE 1/8" = 1'-0"



DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.



ZUENDT ENGINEERING  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 727-848-2921  
 P.E. 82552  
 JOB # 6228



FRONT ELEVATION

FRONT ELEVATION

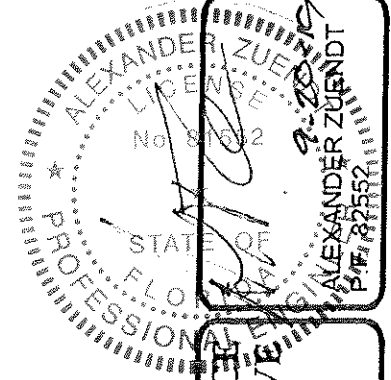
4

DEEB FAMILY HOMES, LTD.  
 9490 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL 34655  
 727-376-6831

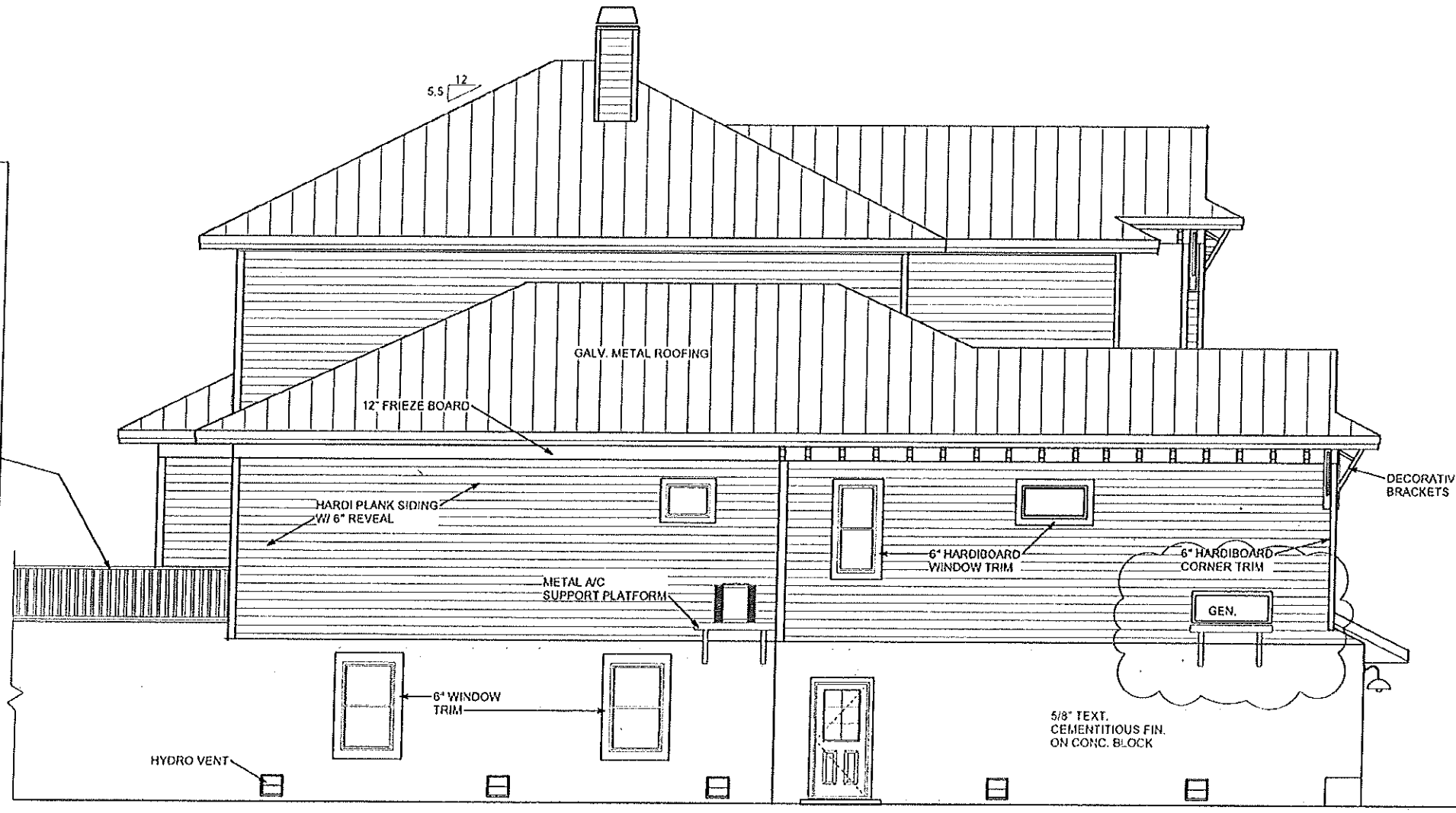
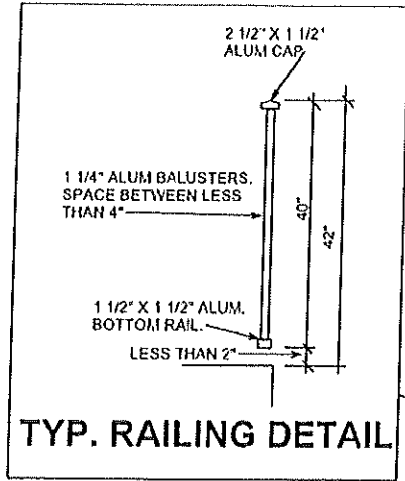
PLAN DATE

11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	08-05-19
1-03-19	08-22-19
	09-17-19

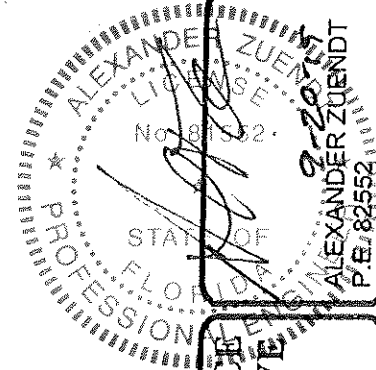
SCALE 1/8" = 1'-0"  
 DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.



ZUENDT ENGINEERING  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 JOB # 6228



**LEFT SIDE ELEVATION**



**ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
**JOB # 6228**

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL.**

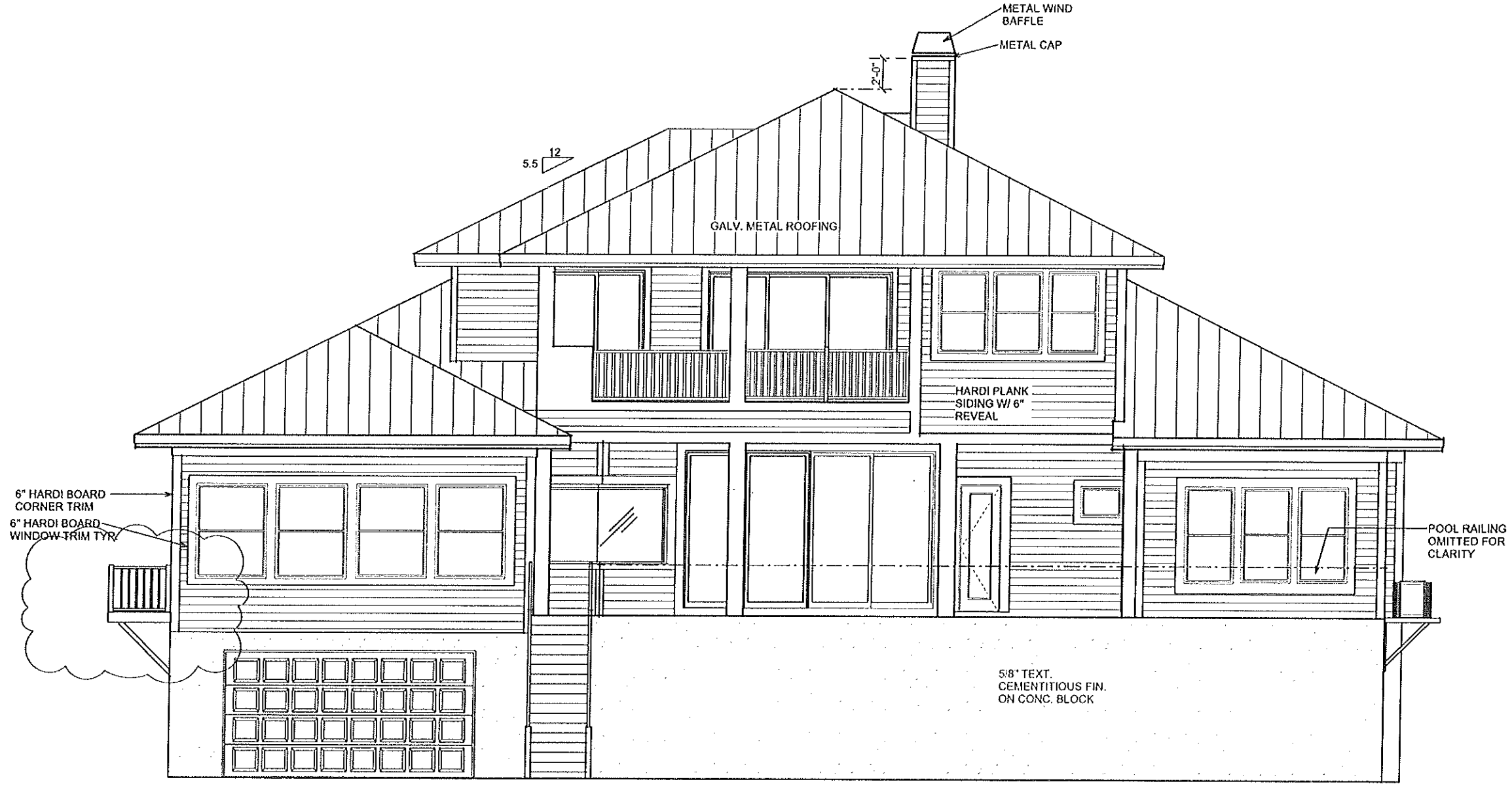
**PLAN DATE**

11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	08-05-19
11-03-19	108-22-19
	109-17-19

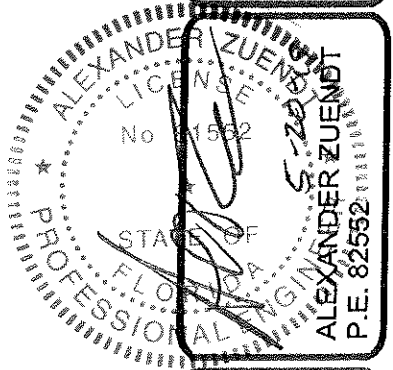
**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831



**LEFT SIDE ELEVATION**      SCALE 1/8" = 1'-0"



REAR ELEVATION

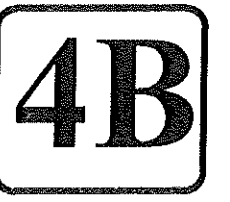


ZUENDT ENGINEERING  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 JOB # 6228

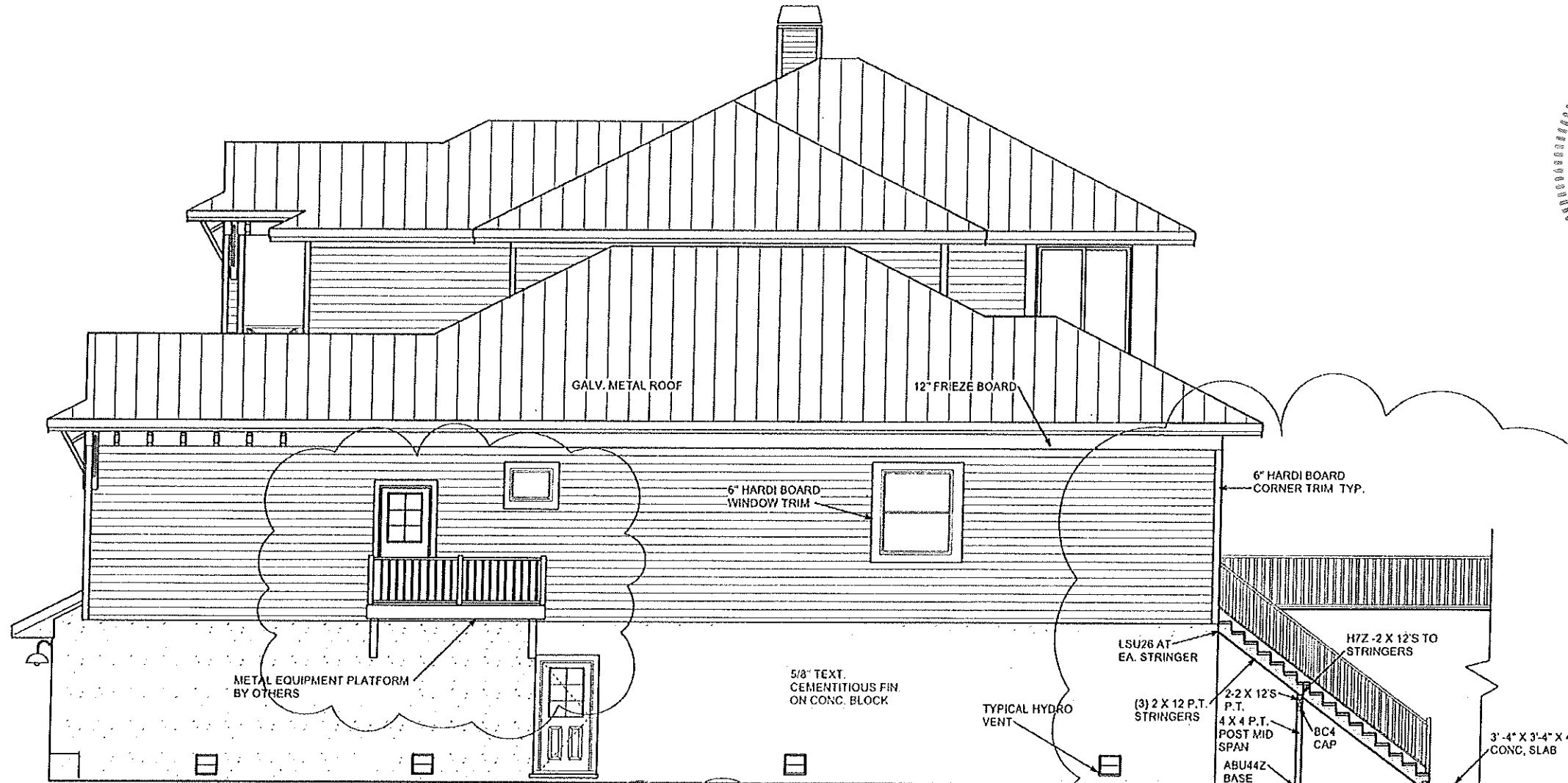
DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE
11-08-18 103-18-19
11-14-18 105-03-19
11-29-18
1-05-19

DEEB FAMILY  
 HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831



REAR ELEVATION



**RIGHT SIDE ELEVATION**

NOTE:  
ALL METAL PLATFORMS TO BE CONNECTED  
IN ACCORDANCE WITH DELEGATED ENGINEER'S  
INSTRUCTIONS.

FLORIDA PRODUCT APPROVAL NUMBERS

ABU44Z	(FL10860)
BC4	(FL10860)
H7Z	(FL10446)

FABRICATE STAIRS W/ P.T. MATERIAL  
W/ 2 X 12 STRINGERS AND 2 X 10 P.T.  
TREADS. RISERS AT 7 1/2"  
TREADS AT 10". ALUM RAILING  
BALUSTERS SPACING TO BE LESS THAN 4"

SCALE 1/8" = 1'-0"

RIGHT SIDE ELEVATION

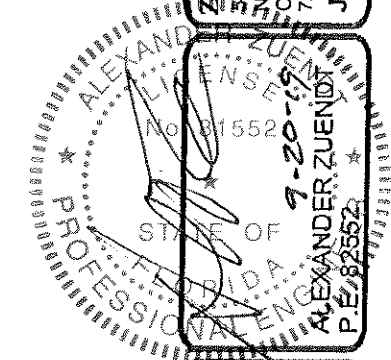


DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL 34655  
727-376-6831

PLAN DATE

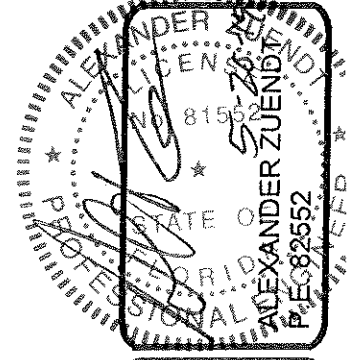
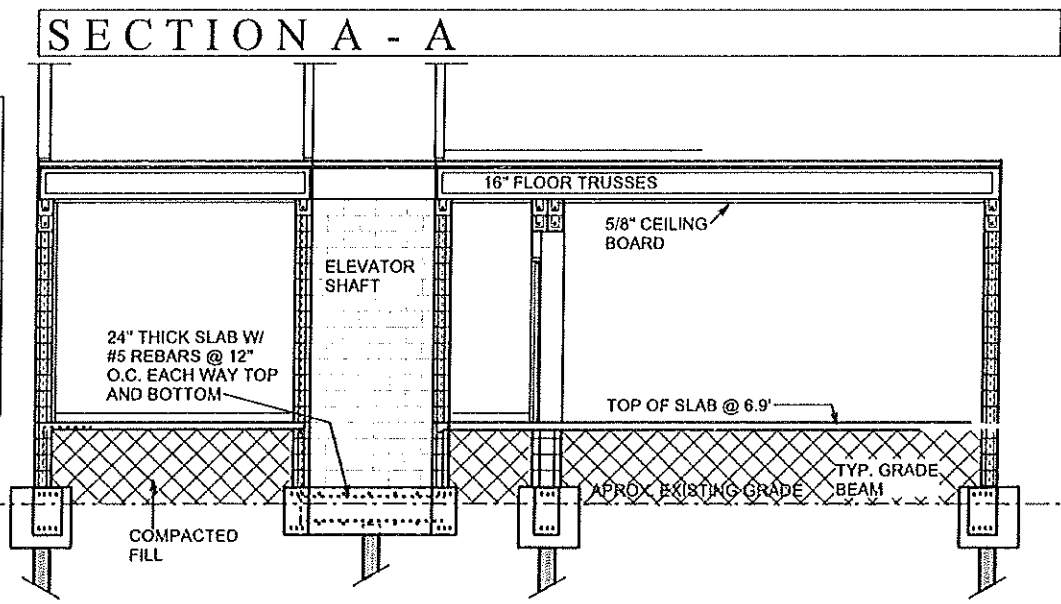
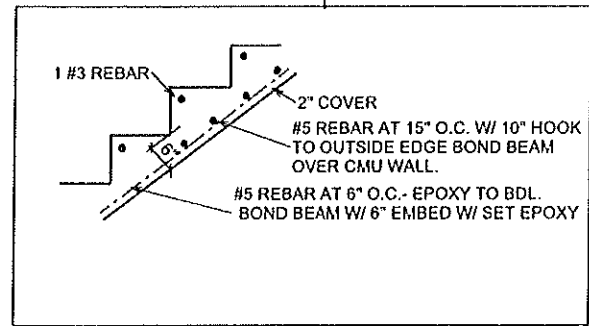
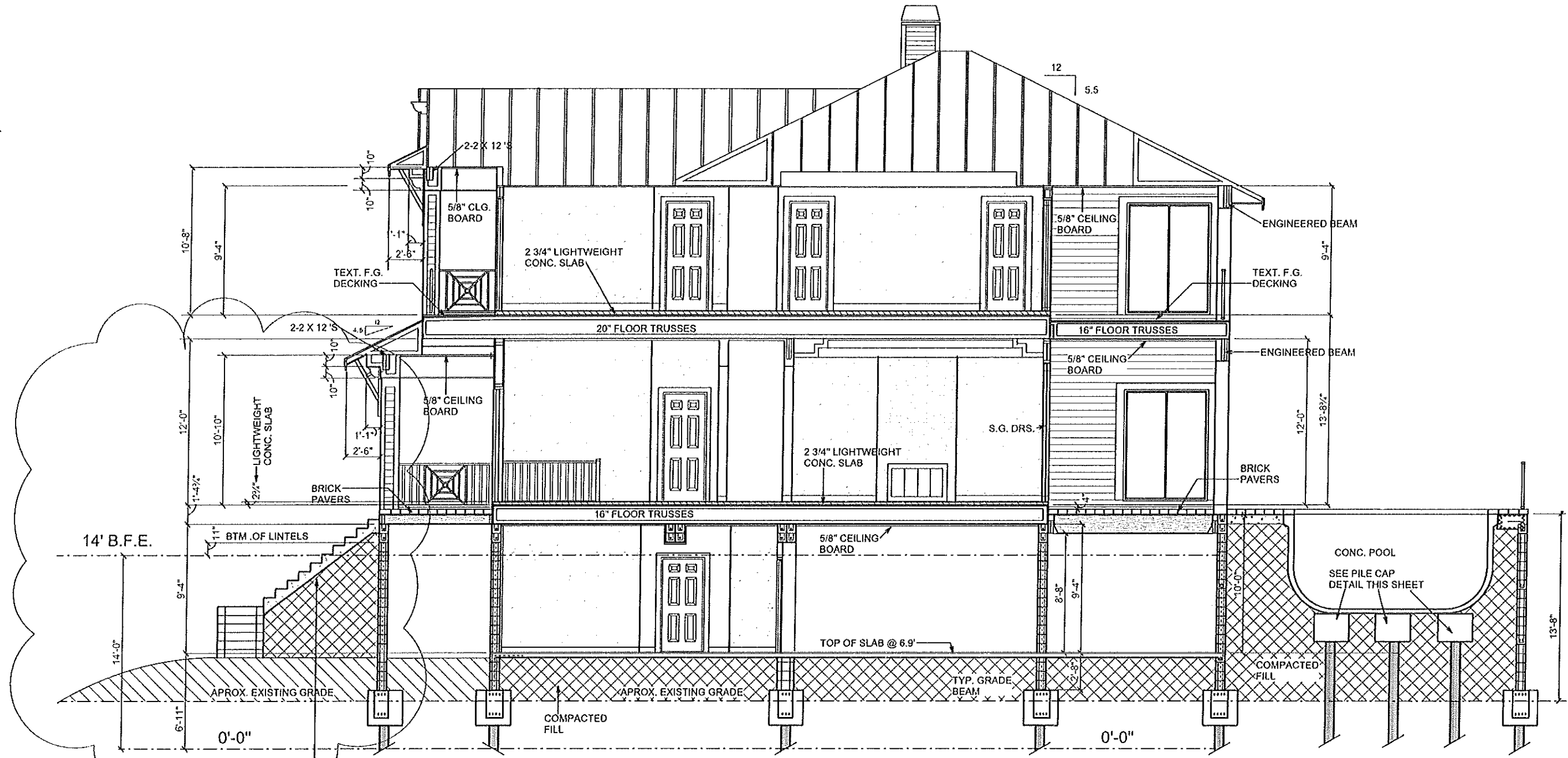
11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	08-05-19
1-03-19	08-22-19
	10-17-19

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.



ZUENDT ENGINEERING  
3405 WATER ST.  
NEW PORT RICHEY, FL 34652  
CA32834  
727-848-2921  
JOB # 6228





**ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32884  
 727-848-2921  
**JOB # 6228**

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL.**

PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

SCALE 1/8" = 1'-0"

SECTION DETAILS

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

**5**

TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50 % AND NOT MORE THAN 80 % IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

**AREA ONE**

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 1228 S.F.  
 $1228 / 300 = 4.09$  S.F. OR 589 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 $589.44 \text{ S.F.} / 36 \text{ S.I.} = 16$  LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 16' OF ROOF VENTS

**AREA TWO**

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 2048 S.F.  
 $2048 / 300 = 6.83$  S.F. OR 983.52 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 $983.52 \text{ S.I.} / 36 \text{ S.I.} = 27.32$  LINEAL FEET REQUIRED.

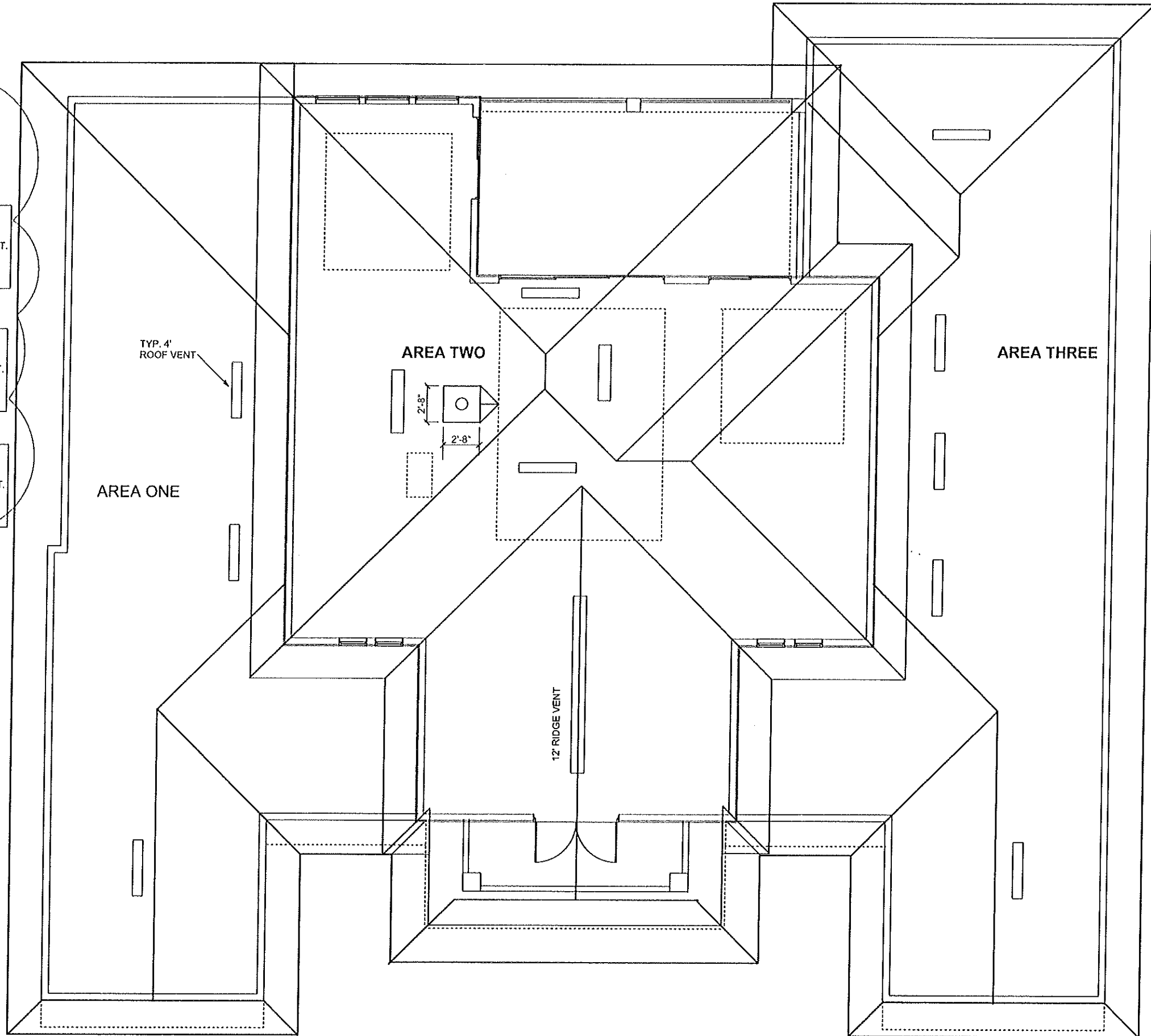
INSTALLATION FOR THIS ROOF IS 28' OF ROOF VENTS

**AREA THREE**

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 1440 S.F.  
 $1440 / 300 = 4.8$  S.F. OR 691.2 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 $691.2 \text{ S.I.} / 36 \text{ S.I.} = 19.2$  LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 20' OF ROOF VENTS



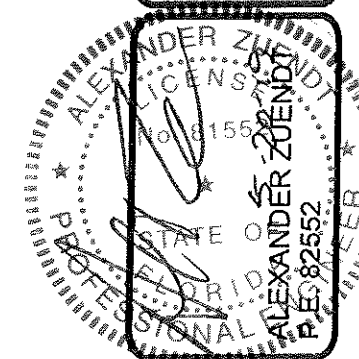
ROOF PLAN SCALE 1/8" = 1'-0"

**6**

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-576-6831

PLAN DATE
11-08-18   03-18-19
11-14-18   05-03-19
11-29-18   03-19

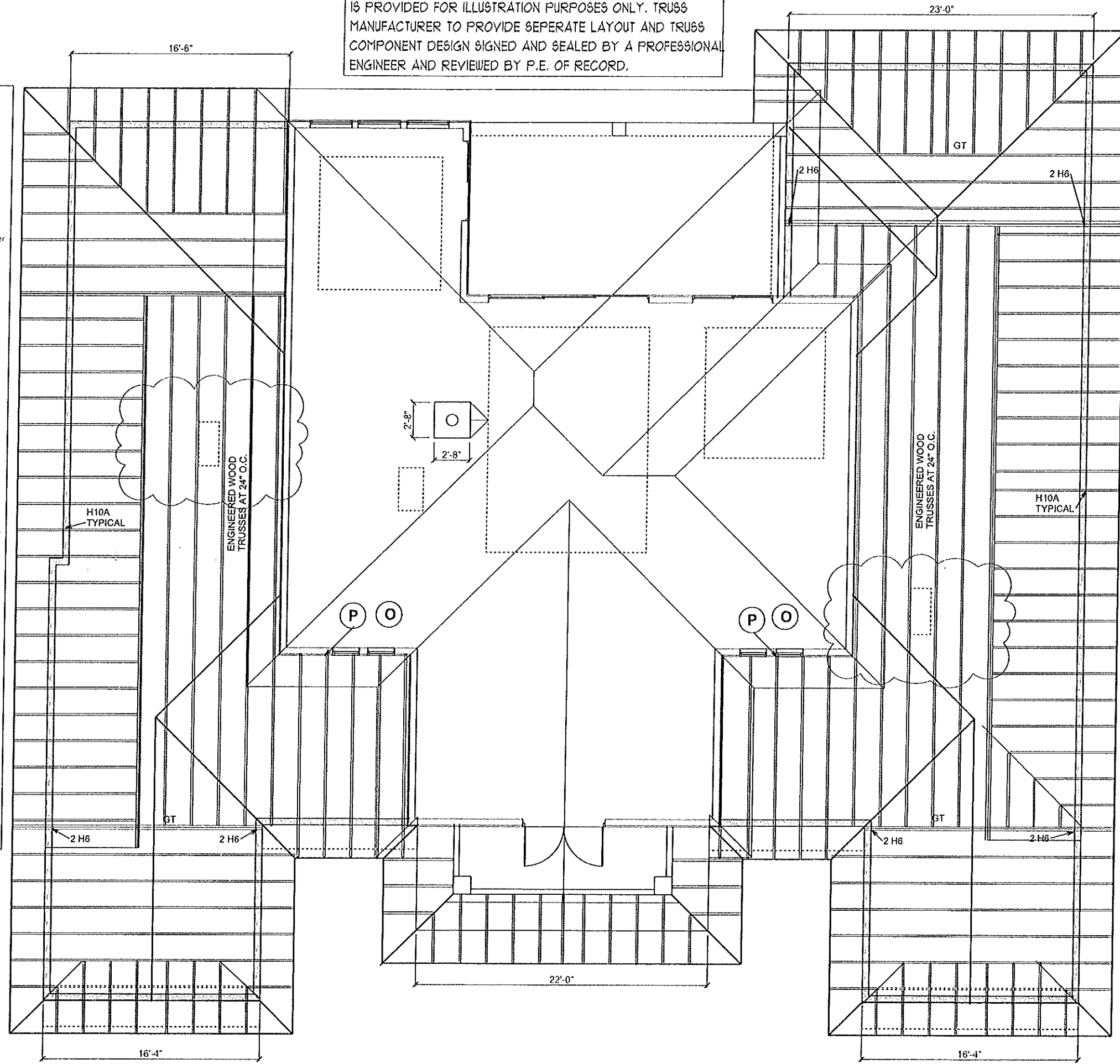
**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.



**ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
**JOB # 6228**

**IMPORTANT NOTE:**

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.



- Connection Notes**
- A. 5 Stud corner column with 3 CS16 to 2<sup>nd</sup> floor 5.25" x 5.25" Versa Lam column below
  - B. 5 Stud corner column with 3 CS16 to floor girder truss below
  - C. 5 Stud corner column with 4 CS14 to beam below
  - D. 3 Ply 1.75"x 12" LVL header beam
    - a. 3 jacks, 2 king studs each end
    - b. 2 CS16 each face, each stud pack to LVL Header
    - c. 2 CS14 each face, each stud pack to beam below
  - E. 3 Stud corner with 5.25" sq versa lam column. Versa lam column beneath roof girder truss
    - a. VGT with concealed flange to HTTS - GT to versa lam
    - b. HTTS to HTTS versa lam column to LVL beam below with 5.25" x 7" versa lam 2<sup>nd</sup> floor with 2 HTTS to cmu
  - F. 4 Stud corner with 5.25" sq versa lam column. Versa lam column beneath side to side roof girder truss, stud pack beneath front to rear girder
    - a. Side to side triple girder:
      - i. VGT with concealed flange to HTTS - GT to versa lam
      - ii. HTTS to HTTS versa lam column to 5.25" x 7" versa lam column 2<sup>nd</sup> floor with 2 HTTS to cmu
    - b. Front to rear girder
      - i. LGT2 girder to stud pack
      - ii. HTTS stud pack to 5.25" versa lam column 2<sup>nd</sup> floor with HTTS to cmu
  - G. 5 stud corner column with 3 CS16 to 5 stud corner column below with HTTS to cmu
  - H. 5 Stud corner column with 3 CS16 to beam below
  - I. 5 stud corner column with 3 CS16 to 5.25" column below with HTTS to cmu
  - J. 3 stud column with LGT2 to GT and 2 CS16 to 3 stud column below with 2 CS16 to LVL beam
  - K. 6x6 PT column with 2 CS16 each beam to each column (4 per column) with HTTS to HTTS on 5.25" columns below and HTTS to cmu
  - L. 5 Stud corner column with MSTCM160 to cmu
  - M. 5.25" versa lam column with 2 LGT2 to column and HTTS to cmu below
  - N. 3 Ply 1.75"x 12" LVL upstet header beam
    - a. 2 LGT2 GT to LVL header
    - b. 3 jacks, 2 king studs each end
    - c. 2 CS16 each face, each stud pack to LVL Header
    - d. HTTS to cmu below each stud pack
  - O. LUS26 bottom chord roof truss to wall, provide 2x6 top chord blocking between trusses for roof sheathing attachment with (2) 3/4" x 3.5" sds screws at each stud crossing and 3 10d toe nails to truss and 10d nails at 3" o.c sheathing attachment to ledger
  - P. 2x6 cont. sheathing ledger with (2) 3/4" x 3.5" sds screws at each stud crossing and 10d nails at 3" o.c sheathing attachment to ledger
  - Q. MGT3 with (2) 5/8" ATR, 12" embed, Epoxy
  - R. 3 pt bearing 2 ply 1.75"x16" LVL beam
    - a. At elevator and stair column - 5.25"sq versa lam columns with (2) HTS16 to beam and HTTS to cmu
    - b. At far right column - 5.25"x7" versa lam column per item E above
  - S. 2 ply 1.75"x16" LVL header beams at openings
    - a. 2 jacks, 1 king stud packs
    - b. HTS16 stud pack to header
    - c. CS16 to beam below
  - T. 3 Ply 1.75"x 24" LVL header beam
    - a. 5.25"x7" versa lam jack column each end
    - b. 2 CS14 each face, each column to LVL Header
    - c. HTTS each column to cmu
  - U. 5.25" x 7" versa lam column
    - a. 2 CS14 each face, each column to LVL Header
    - b. HTTS each column to cmu
  - V. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam
    - b. HTTS each column to cmu
  - W. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam below
    - b. 2 CS14 each face, each column to roof girder truss above
  - X.

SCALE 1/8" = 1'-0"

**FIRST FLOOR ROOF TRUSSES**

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.

**ZUENDT ENGINEERING**  
 2405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 P.E. #82552

**6A**

**JOB # 6228**

PLAN DATE

11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	
1-03-19	

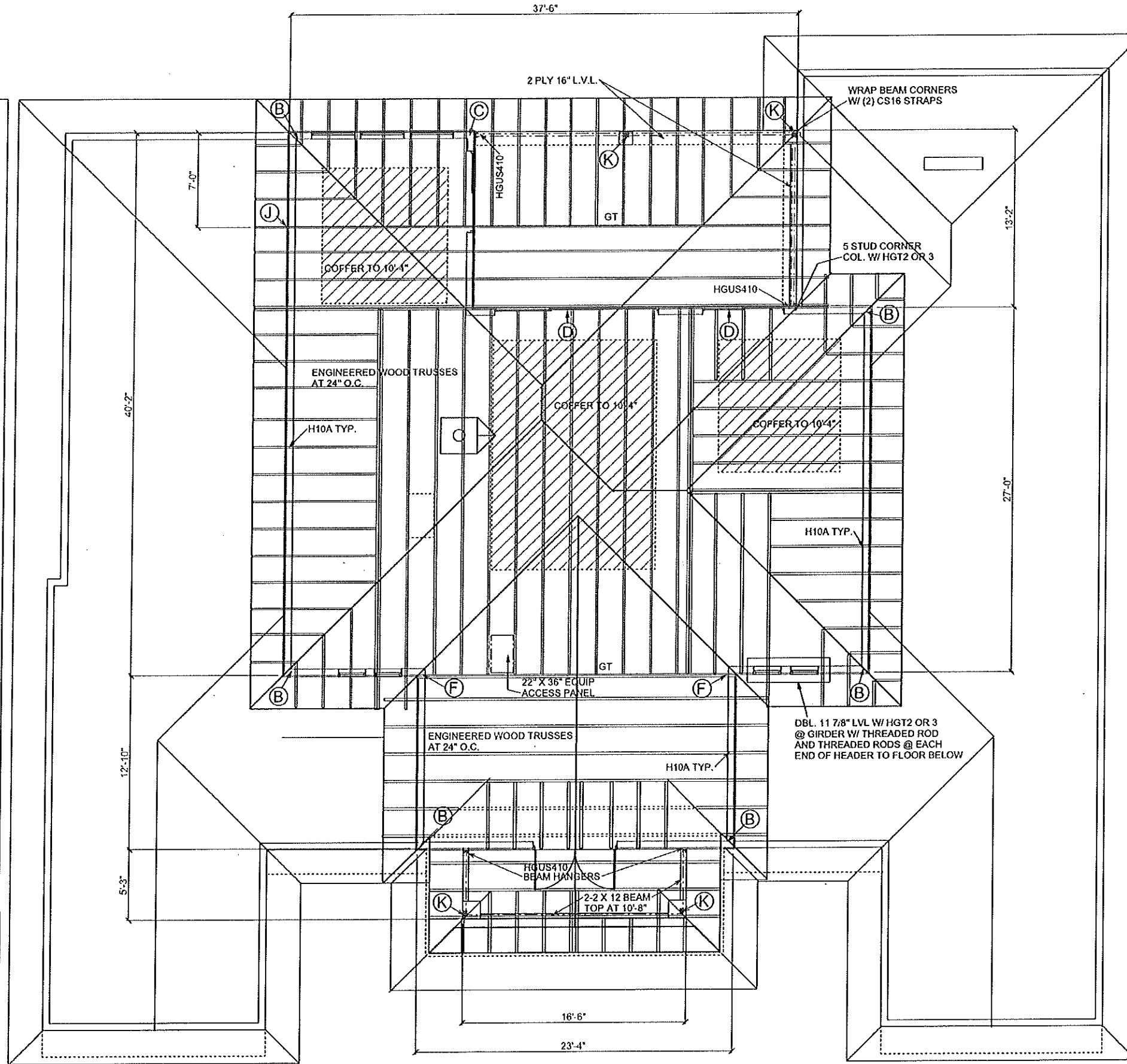
PROFESSIONAL SEAL

ALEXANDER ZUENDT  
 P.E. #82552

- Connection Notes**
- A. 5 Stud corner column with 3 CS16 to 2<sup>nd</sup> floor 5.25" x 5.25" Versa Lam column below
  - B. 5 stud corner column with 3 CS16 to floor girder truss below
  - C. 5 Stud corner column with 4 CS14 to beam below
  - D. 3 Ply 1.75" x 12" LVL header beam
    - a. 3 jacks, 2 king studs each end
    - b. 2 CS16 each face, each stud pack to LVL Header
    - c. 2 CS14 each face, each stud pack to beam below
  - E. 3 Stud corner with 5.25" sq versa lam column. Versa lam column beneath roof girder truss
    - a. VGT with concealed flange to HTTS - GT to versa lam
    - b. HTTS to HTTS versa lam column to LVL beam below with 5.25" x 7" versa lam 2<sup>nd</sup> floor with 2 HTTS to cmu
  - F. 4 Stud corner with 5.25" sq versa lam column. Versa lam column beneath side to side roof girder truss, stud pack beneath front to rear girder
    - a. Side to side triple girder:
      - i. VGT with concealed flange to HTTS - GT to versa lam
      - ii. HTTS to HTTS versa lam column to 5.25" x 7" versa lam column 2<sup>nd</sup> floor with 2 HTTS to cmu
    - b. Front to rear girder
      - i. LG12 girder to stud pack
      - ii. HTTS stud pack to 5.25" versa lam column 2<sup>nd</sup> floor with HTTS to cmu
  - G. 5 stud corner column with 3 CS16 to 5 stud corner column below with HTTS to cmu
  - H. 5 Stud corner column with 3 CS16 to beam below
  - I. 5 stud corner column with 3 CS16 to 5.25" column below with HTTS to cmu
  - J. 3 stud column with LG12 to GT and 2 CS16 to 3 stud column below with 2 CS16 to LVL beam
  - K. 6x6 PT column with 2 CS16 each beam to each column (4 per column) with HTTS to HTTS on 5.25" columns below and HTTS to cmu
  - L. 5 Stud corner column with MSTCM60 to cmu
  - M. 5.25" versa lam column with 2 LG12 to column and HTTS to cmu below
  - N. 3 Ply 1.75" x 12" LVL upset header beam
    - a. 2 LG12 GT to LVL header
    - b. 3 jacks, 2 king studs each end
    - c. 2 CS16 each face, each stud pack to LVL Header
    - d. HTTS to cmu below each stud pack
  - O. LUS26 bottom chord roof truss to wall, provide 2x6 top chord blocking between trusses for roof sheathing attachment with (2) 3/4" x 3.5" sds screws at each stud crossing and 3 10d toe nails to truss and 10d nails at 3" o.c sheathing attachment to ledger
  - P. 2x6 cont. sheathing ledger with (2) 3/4" x 3.5" sds screws at each stud crossing and 10d nails at 3" o.c sheathing attachment to ledger
  - Q. MGT3 with (2) 5/8" ATR, 12" embed, Epoxy
  - R. 3 pt bearing 2 ply 1.75" x 16" LVL beam
    - a. At elevator and stair column - 5.25" sq versa lam columns with (2) HTS16 to beam and HTTS to cmu
    - b. At far right column - 5.25" x 7" versa lam column per item E above
  - S. 2 ply 1.75" x 16" LVL header beams at openings
    - a. 2 jacks, 1 king stud packs
    - b. HTS16 stud pack to header
    - c. CS16 to beam below
  - T. 3 Ply 1.75" x 24" LVL header beam
    - a. 5.25" x 7" versa lam jack column each end
    - b. 2 CS14 each face, each column to LVL Header
    - c. HTTS each column to cmu
  - U. 5.25" x 7" versa lam column
    - a. 2 CS14 each face, each column to LVL Header
    - b. HTTS each column to cmu
  - V. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam
    - b. HTTS each column to cmu
  - W. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam below
    - b. 2 CS14 each face, each column to roof girder truss above
  - X.

**IMPORTANT NOTE:**

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD PRIOR TO START OF CONSTRUCTION.



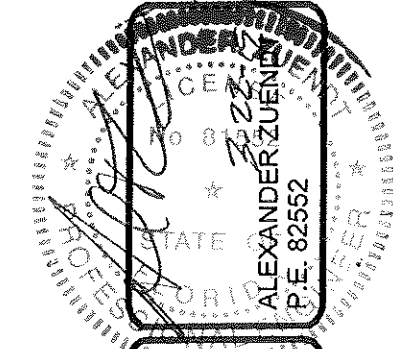
SECOND FLOOR ROOF TRUSSES SCALE 1/8" = 1'-0"

**6B**

DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.

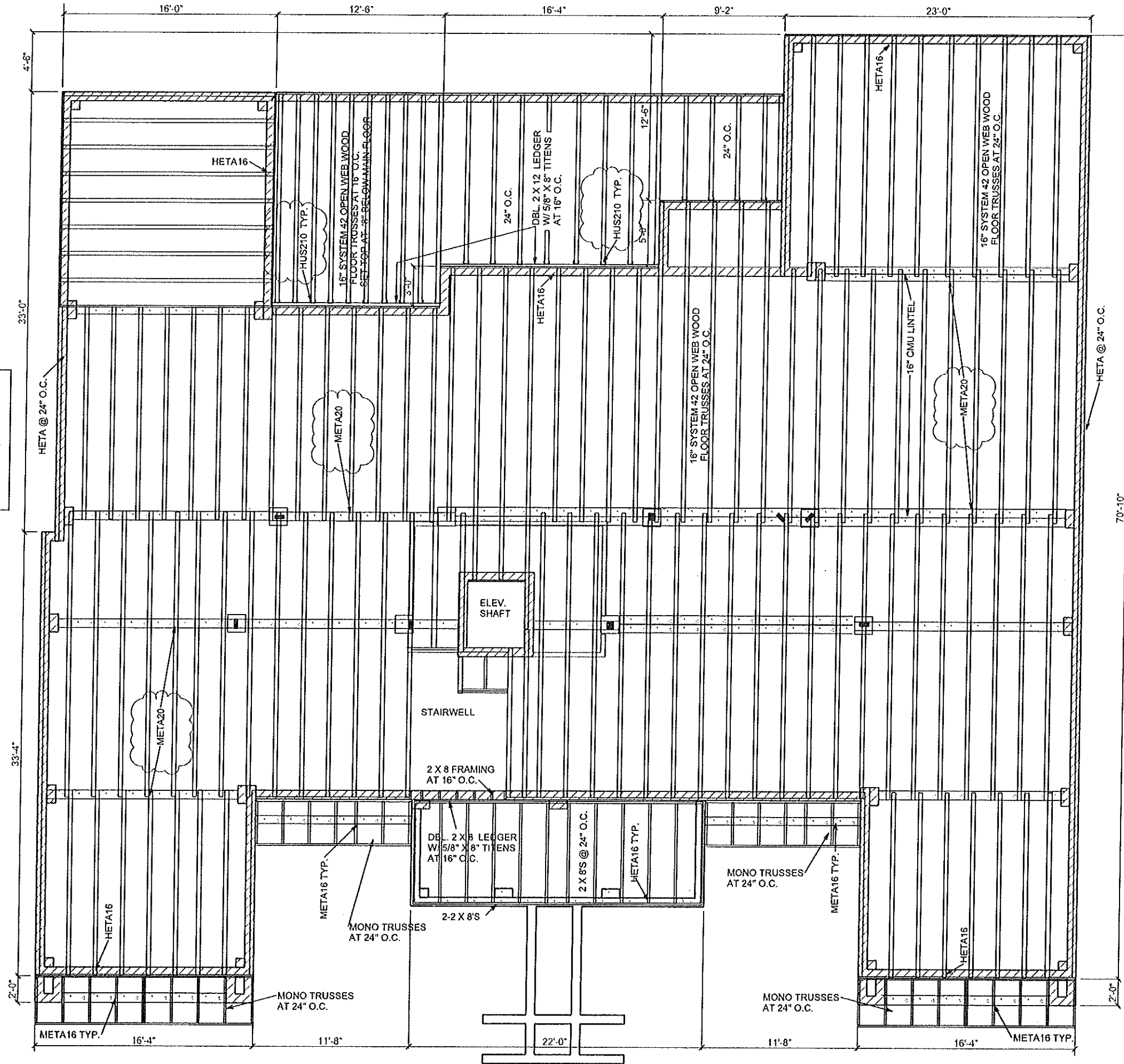


ZUENDT ENGINEERING  
5405 WATER ST.  
NEW PORT RICHEY, FL. 34652  
CA32834  
727-948-2921  
JOB # 6228

**FLOOR TRUSS NOTES:**

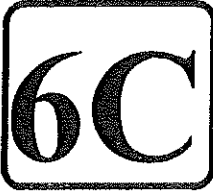
- (1) TRUSS TO TRUSS AND TRUSS TO GIRDER CONNECTORS TO BE SPECIFIED BY THE TRUSS MFR'ER.
- (2) MINIMUM LIVE LOADS FROM FLOOR TRUSS DESIGN TO BE BASED ON FBC TABLE 1601.1 FOR ROOM AND AREA USAGE. FOR MIXED USE FLOORS, USE THE LARGEST VALUE OF THE MIN. LIVE LOADS.

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD BEFORE START OF CONSTRUCTION.



**FLOOR TRUSSES, FIRST FLOOR**

SCALE 1/8" = 1'-0"



**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD  
 NEW PORT RICHEY, FL. 34655  
 727-576-6831

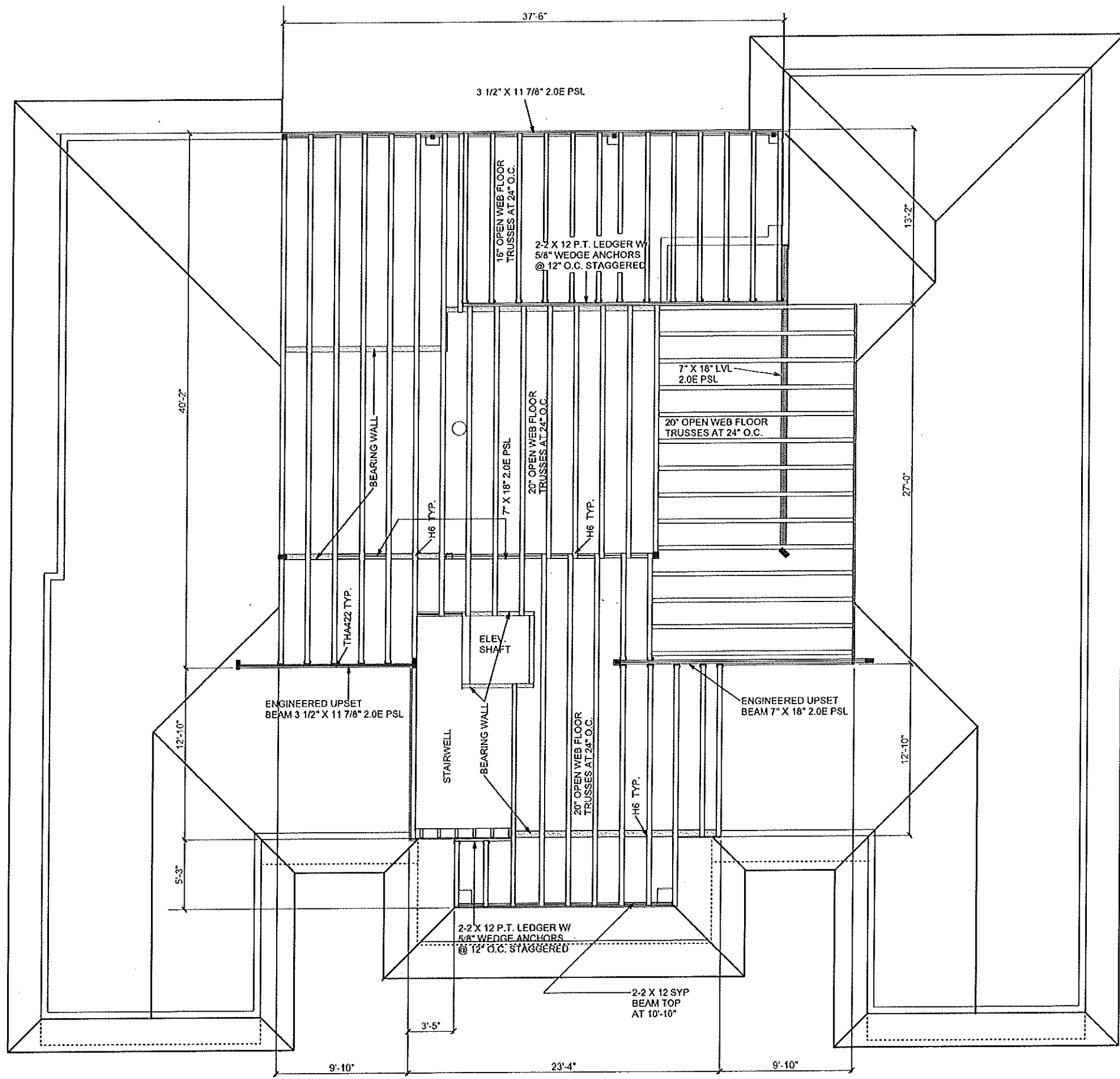
PLAN DATE
11-08-18 03-18-19
11-14-18 05-03-19
11-29-18
1-03-19

**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.



**ALEXANDER ZUENDT**  
 P.E. 82552

**ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
**JOB # 6228**



FLOOR TRUSSES SECOND FLOOR

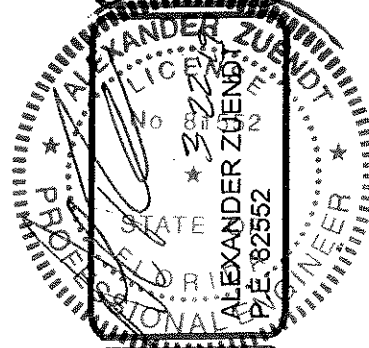
SCALE 1/8" = 1'-0"



DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE
11-08-18
11-14-18
11-29-18
11-03-19

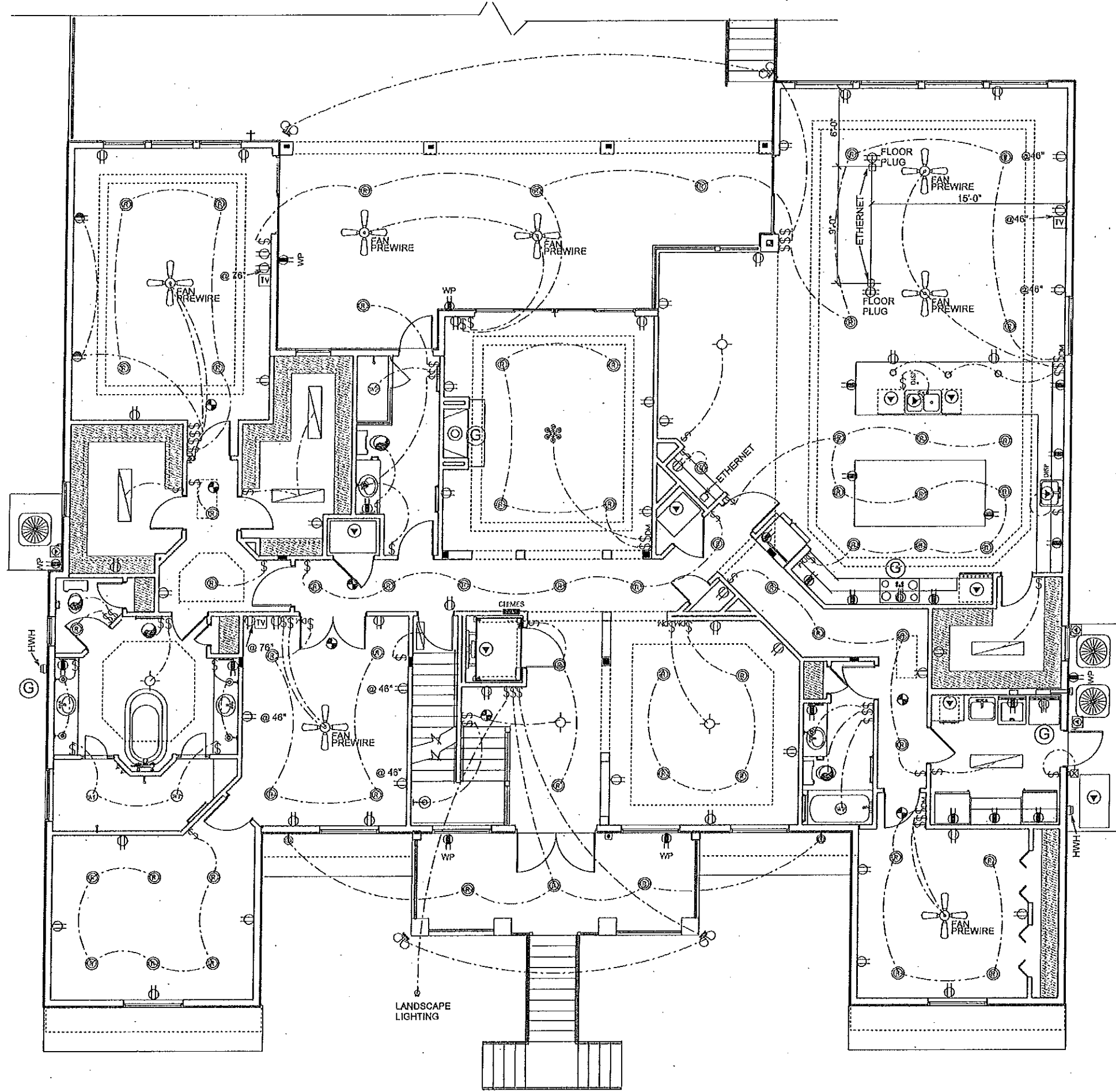
DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.



ZUENDT ENGINEERING  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 JOB # 6228

- ELECTRICAL LEGEND**
- ⌘ SINGLE POLE SWITCH
  - ⌘ DOUBLE POLE SWITCH
  - ⌘ THREE-WAY SWITCH
  - ⌘ FOUR-WAY SWITCH
  - ⌘ DIMMER SWITCH
  - ⌘ CEILING FIXTURE
  - ⌘ SCOUNCE (WALL MOUNTED) FIXTURE
  - ⌘ 110 VOLT DUPLEX OUTLET
  - ⌘ 110 VOLT SPLIT SWITCHED OUTLET
  - ⌘ GROUND FAULT INTERRUPT
  - ⌘ WP WATER PROOF W/ GROUND FAULT
  - ⌘ 220 VOLT OUTLET
  - ⌘ SPECIAL SERVICES OUTLET
  - ⌘ T.V. CABLE OUTLET
  - ⌘ TELEPHONE CABLE OUTLET
  - ⌘ RECESSED LIGHTING
  - ⌘ WATER PROOF RECESSED LIGHTING
  - ⌘ BATH FAN
  - ⌘ BATH FAN W/ LIGHT
  - ⌘ GAS DROP
  - ⌘ SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
  - ⌘ FLOOD LIGHT
  - ⌘ FLUORESCENT LIGHTING
  - ⌘ TRACK LIGHTING
  - ⌘ CEILING FAN
  - ⌘ CHIMES
  - ⌘ DOOR BELL CHIMES
  - ⌘ DOOR BELL
  - ⌘ DISPOSAL
  - ⌘ DISCONNECT SWITCH
  - ⌘ PREWIRE SPEAKER
  - ⌘ JUNCTION BOX
  - ⌘ THERMOSTAT
  - ⌘ LOW VOLTAGE LIGHTING
  - ⌘ INTERCOM SYSTEM
  - ⌘ GARAGE DOOR PUSH BUTTON

- UNLESS OTHERWISE NOTED
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)
  2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE
  3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
  4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.
  5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION R314.
  6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC. SECTION 210-12.
  7. ALL RECEPICALS TO BE TAMPER PROOF PER SECT. 406.11
- KITCHEN 42"  
 BATHROOM 42"  
 LAUNDRY 36" WASHER/24" DRYER/ WALL OUTLETS 45"  
 EXTERIOR WATERPROOF @ 12"  
 GARAGE CR @ 45"  
 RANGE 220V @ 4"  
 2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE  
 3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.



FIRST FLOOR ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

**7**

DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL 34655  
 727-376-6831

PLAN DATE
11-08-18, 03-18-19
11-14-18
11-29-18
12-03-19

DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

NOT PART OF P.E. REVIEW

**ELECTRICAL LEGEND**

- ⌚ SINGLE POLE SWITCH
- ⌚⌚ DOUBLE POLE SWITCH
- ⌚⌚⌚ THREE-WAY SWITCH
- ⌚⌚⌚⌚ FOUR-WAY SWITCH
- ⌚DM DIMMER SWITCH
- ⊙ CEILING FIXTURE
- ⊙ SCOUNCE (WALL MOUNTED) FIXTURE
- ⊙ 110 VOLT DUPLEX OUTLET
- ⊙ 110 VOLT SPLIT SWITCHED OUTLET
- ⊙ GROUND FAULT INTERRUPT
- ⊙ WP WATER PROOF W/ GROUND FAULT
- ⊙ 220 VOLT OUTLET
- ⊙ SPECIAL SERVICES OUTLET
- ⊙ TV T.V. CABLE OUTLET
- ⊙ TELEPHONE CABLE OUTLET
- ⊙ RECESSED LIGHTING
- ⊙ WATER PROOF RECESSED LIGHTING
- ⊙ BATH FAN
- ⊙ BATH FAN W/ LIGHT

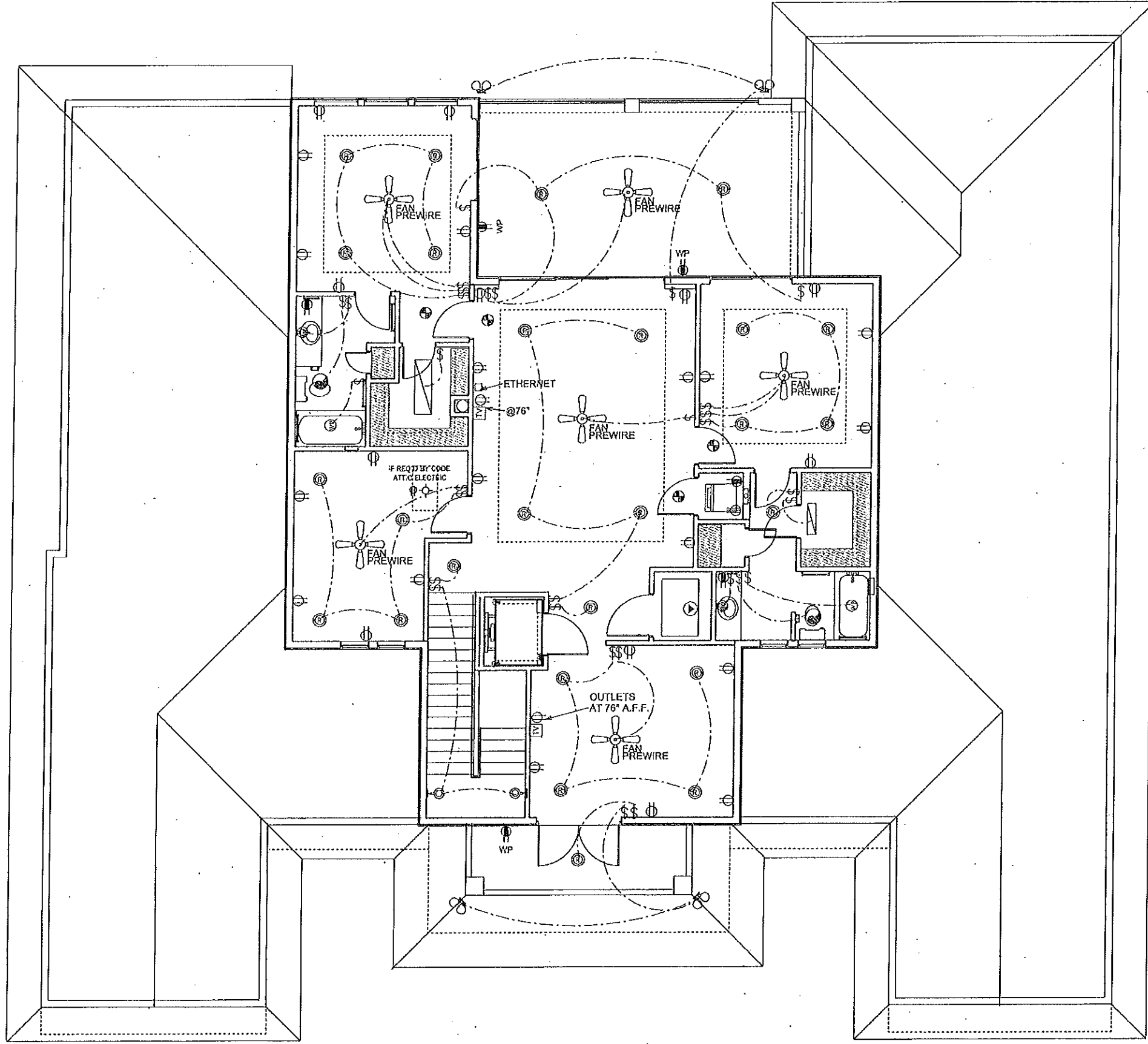
- ⊙ SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
- ⊙ FLOOD LIGHT
- ⊙ FLUORESCENT LIGHTING
- ⊙ TRACK LIGHTING
- ⊙ CEILING FAN
- ⊙ CHIMES
- ⊙ DOOR BELL CHIMES
- ⊙ DOOR BELL
- ⊙ DISPOSAL
- ⊙ DISCONNECT SWITCH
- ⊙ PREWIRE SPEAKER
- ⊙ JUNCTION BOX
- ⊙ THERMOSTAT
- ⊙ LOW VOLTAGE LIGHTING
- ⊙ INTERCOM SYSTEM
- ⊙ GARAGE DOOR PUSH BUTTON

UNLESS OTHERWISE NOTED  
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)

- BATHROOM 42"
- KITCHEN 42"
- 36" WASHER 24" DRYER / WALL OUTLETS 45"
- LAUNDRY WATERPROOF @ 12"
- EXTERIOR GFI @ 45"
- GARAGE 220V @ 4"
- FRANGE

2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE  
3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

- 4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.
- 5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION R314
- 6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC, SECTION 210-12
- 7. ALL RECEPICALS TO BE TAMPER PROOF PER SECT. 406.11



SECOND FLOOR ELECTRICAL

SCALE 1/8" = 1'-0"

**7A**

DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE
11-08-18, 03-18-19
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.

NOT PART OF P.E. REVIEW



**ELECTRICAL LEGEND**

1	SINGLE POLE SWITCH	SMOKE DETECTOR
2	DOUBLE POLE SWITCH	CARBON MONOXIDE DETECTOR
3	THREE WAY SWITCH	FLOOD LIGHT
4	FOUR WAY SWITCH	
5	SPARE SWITCH	
6	CEILING RECESSED LIGHT	
7	SOUNDING DEVICE	
8	GROUND FAULT INTERRUPTER	
9	WATER PROOF W/ GROUND FAULT INTERRUPTER	
10	RECYCLE OUTLET	
11	SPECIAL SERVICES OUTLET	
12	TV CABLE OUTLET	
13	TELEPHONE CABLE OUTLET	
14	RECESSED LIGHTING	
15	WATER PROOF RECESSED LIGHTING	
16	BATHFAN LIGHT	
17	POOL EQUIP. CONNECTION	
18	RECESSED LIGHTING	
19	CEILING FAN	
20	RECYCLE OUTLET	
21	DISPOSAL	
22	REPAIR SPEAKER	
23	FUNCTION SINK	
24	THERMOSTAT	
25	LOW VOLT LIGHTING	
26	INTERCOM SYSTEM	
27	GARAGE DOOR PUSH BUTTON	

**NOTES:**

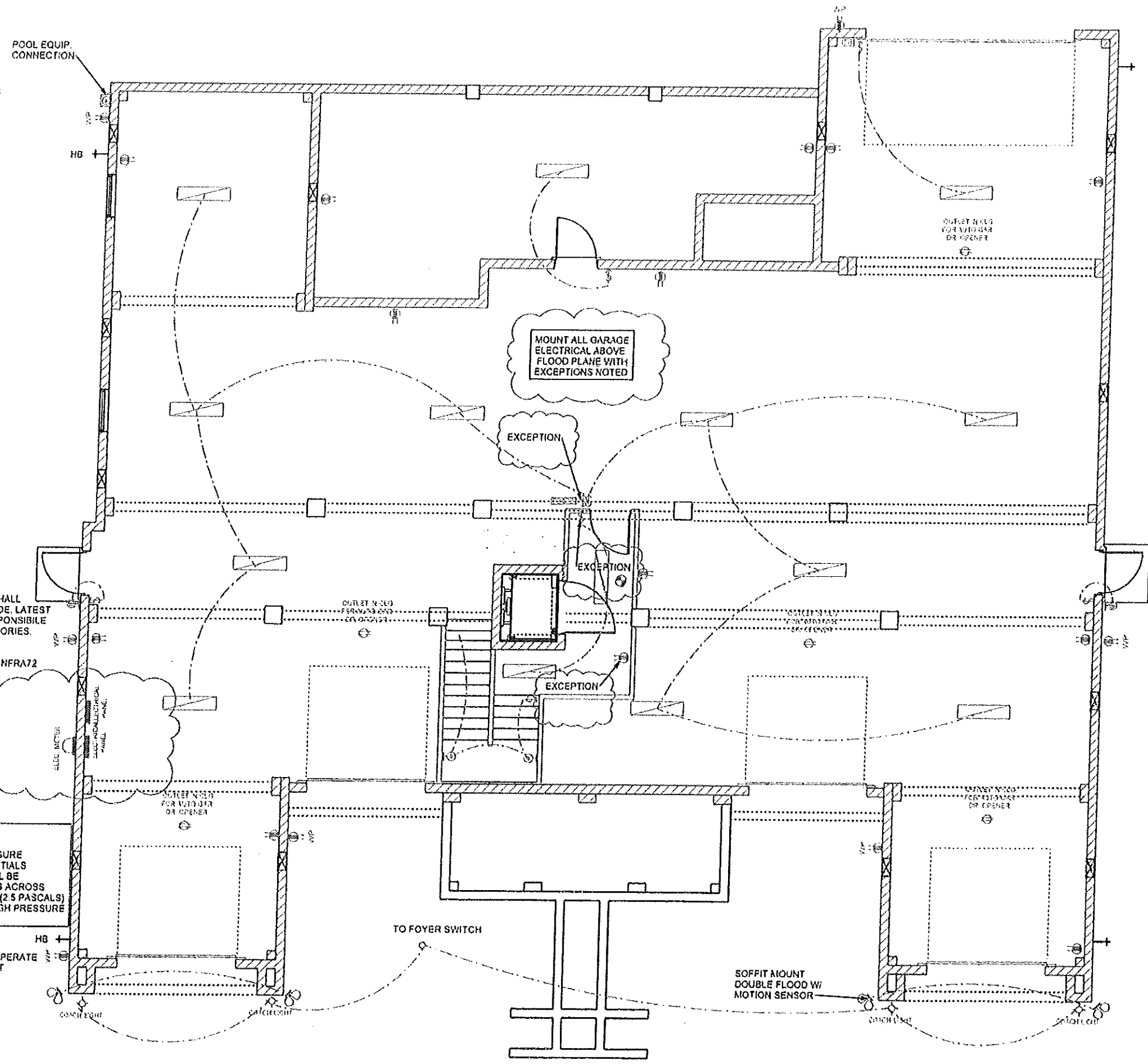
UNLESS OTHERWISE NOTED  
 1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)

KITCHEN	42"
BATHROOM	42"
LAUNDRY	36" WASHER/ 24" DRYER/ WALL OUTLETS 45"
EXTERIOR	WATERPROOF @ 12"
GARAGE	GFI @ 45"
RANGE	220V @ 4"

- ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE
- ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
- ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.
- SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, R314, UL217 NFPA72 AND SECTION 907.2.11.1 & NFPA72
- PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL AREAS PER NEC, SECTION 210-12
- ALL RECEPTALS TO BE TAMPER PROOF PER SECT 406.11

**NOTE:**  
 PER SECTION 501.2 MECH CODE 2004, THE AIR REMOVED BY MECHANICAL EXHAUST SYSTEM SHALL BE DISCHARGED OUTDOORS AT A POINT WHERE IT WILL NOT CAUSE A NUISANCE AND FROM WHICH IT CANNOT AGAIN BE READILY DRAWN IN BY A VENTILATING SYSTEM. AIR SHALL NOT BE EXHAUSTED INTO AN ATTIC OR CRAWL SPACE

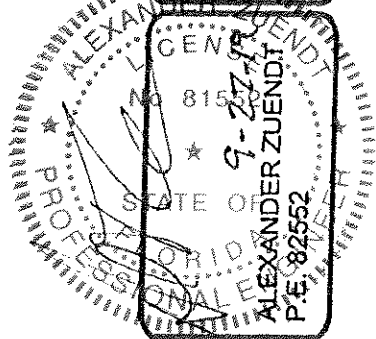
**NOTE:**  
 PER SECT 601.4 BALANCED RETURN AIR. PROVISIONS SHALL BE MADE TO AVOID UNBALANCED AIR FLOWS AND PRESSURE DIFFERENTIALS CAUSED BY RESTRICTED RETURN AIR. PRESSURE DIFFERENTIALS ACROSS CLOSED DOORS WHERE RETURNS ARE CENTRALLY LOCATED SHALL BE LIMITED TO 0.01 INCH WC (2.5 PASCALS) OR LESS. PRESSURE DIFFERENTIALS ACROSS FIREWALLS IN CEILING SPACE PLENUMS SHALL BE LIMITED TO 0.01 INCH WC (2.5 PASCALS) BY PROVIDING AIR DUCT PATHWAYS OR AIR TRANSFER PATHWAYS FROM HIGH PRESSURE ZONES TO THE LOW ZONES



GROUND FLOOR ELECTRICAL

SCALE 1/8" = 1'-0"

**ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34662  
 813-277-9191  
 FAX 813-277-9192  
 P.E. # 82562  
 JOB # 6228

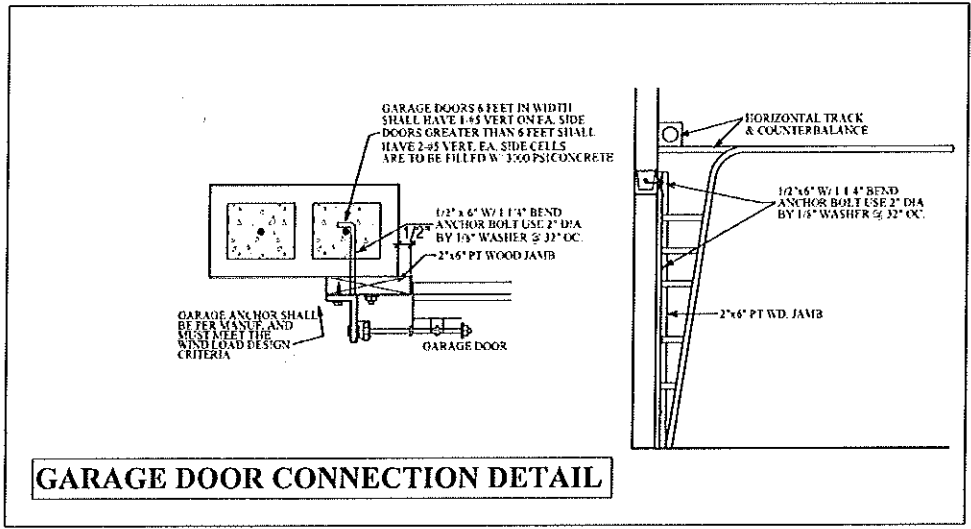
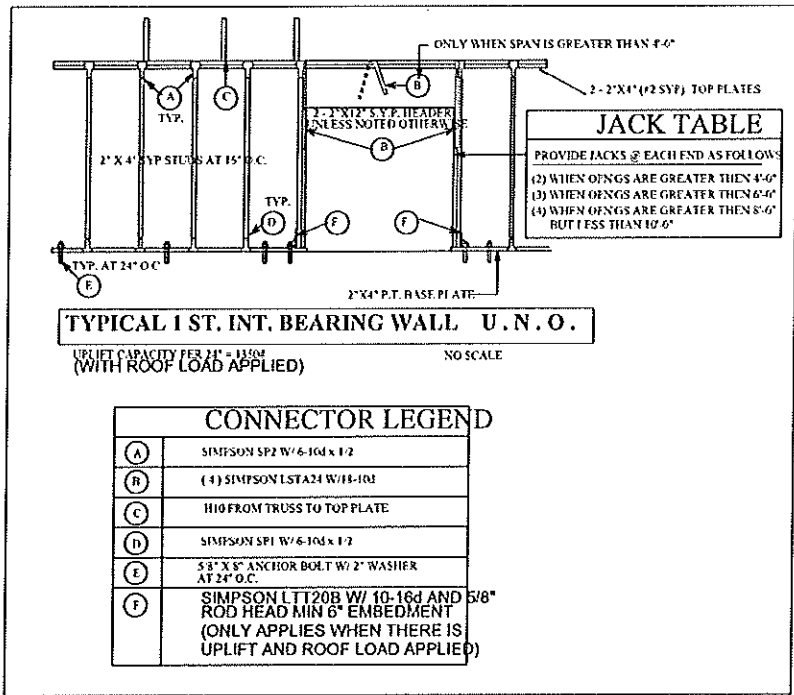
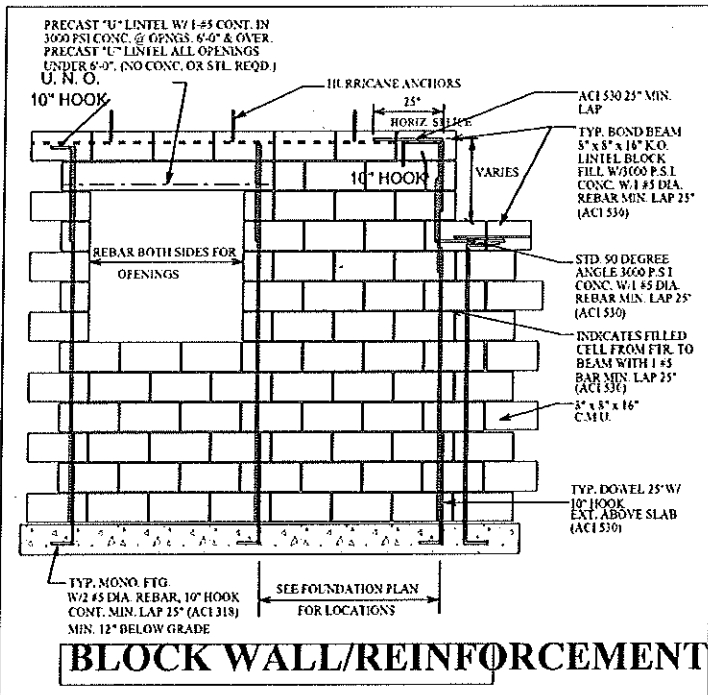
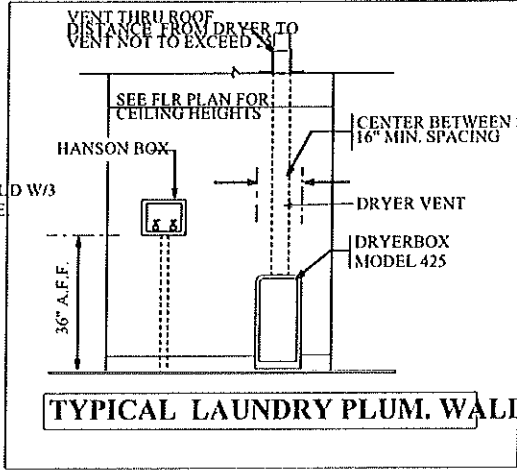
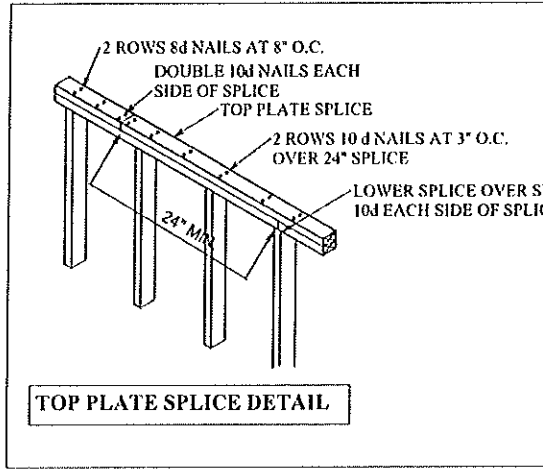
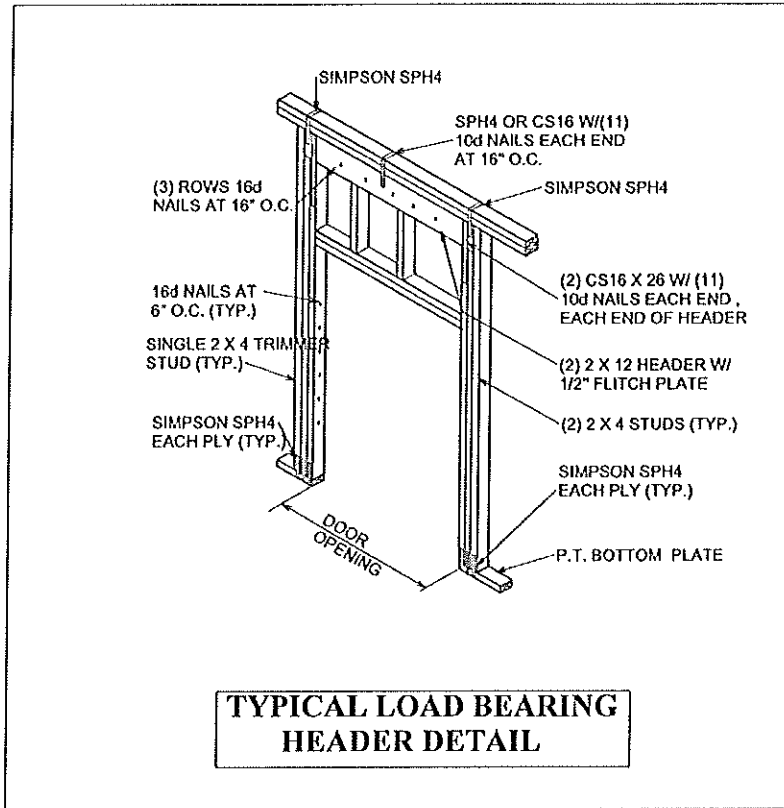
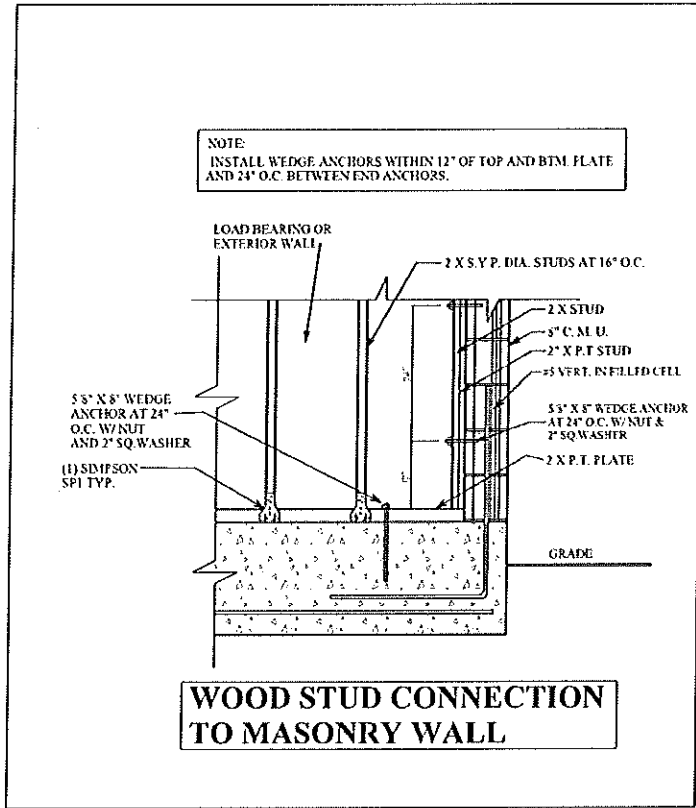


**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE
11-08-18; 03-18-19
11-14-18; 05-03-19
11-29-18; 08-08-19
10-19-19; 10-22-19
10-17-19

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-476-6831

**7B**



**CONSTRUCTION DETAILS**  
**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD., NEW PORT RICHEY, FL. 34655  
 727-376-6831

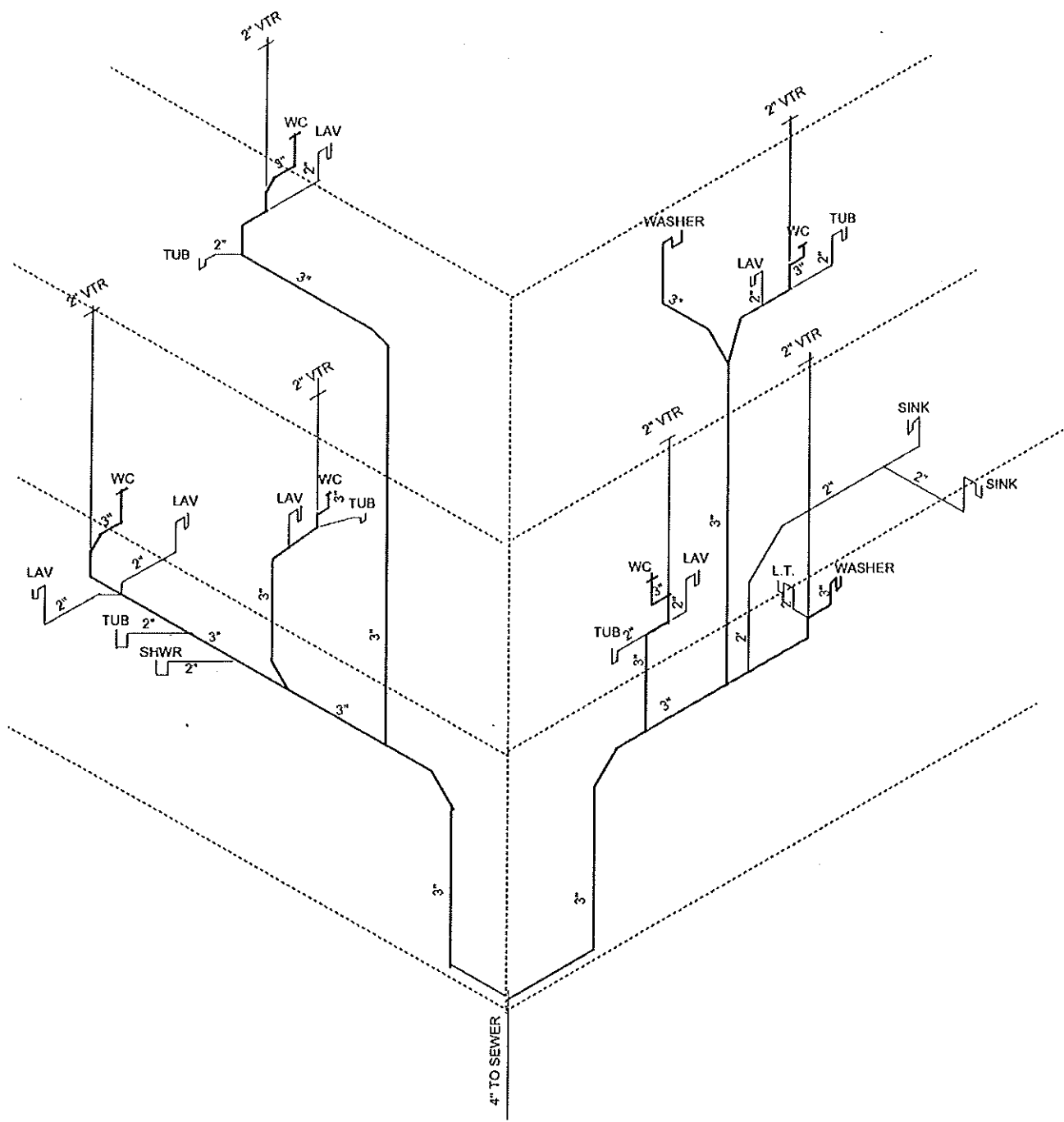
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 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE  
 11-08-18 03-18-19  
 11-14-18  
 11-29-18  
 1-03-19

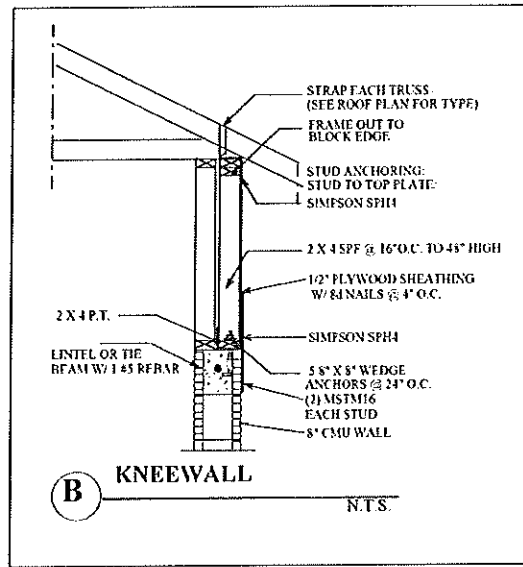
**ALEXANDER ZUENDT ENGINEERING**  
 2500 WATER ST., NEW PORT RICHEY, FL. 34652  
 (813) 883-2834  
 727-348-2921  
 P.E. # 22552  
 # 6228

PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 22552  
 ALEXANDER ZUENDT

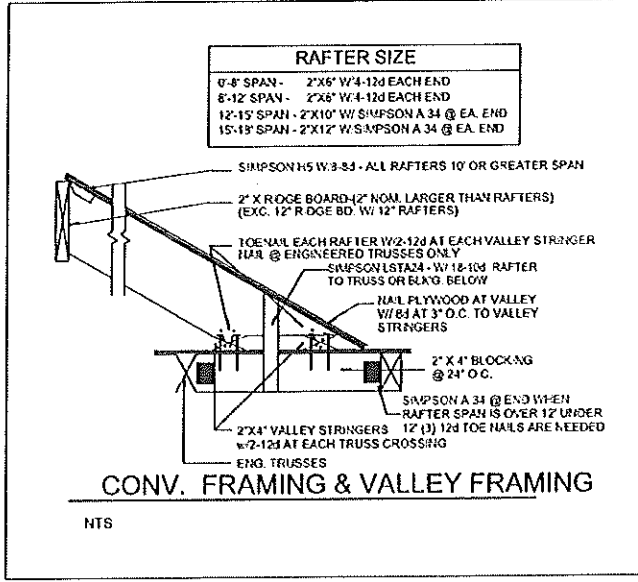
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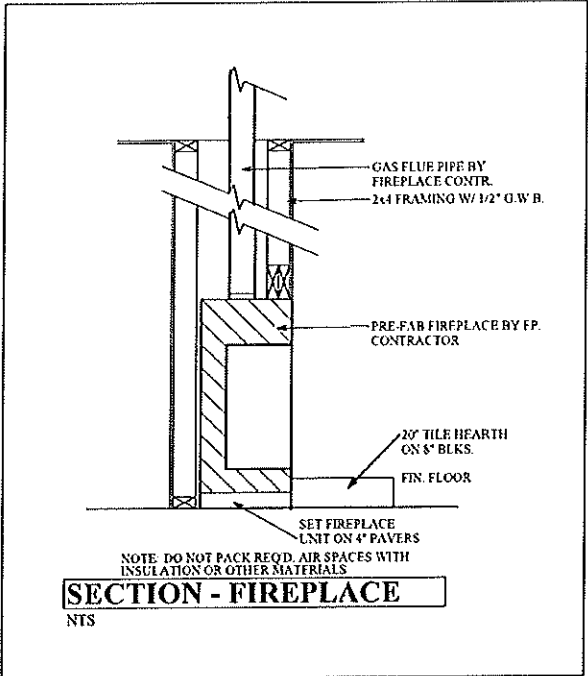
PLUMBING RISERS



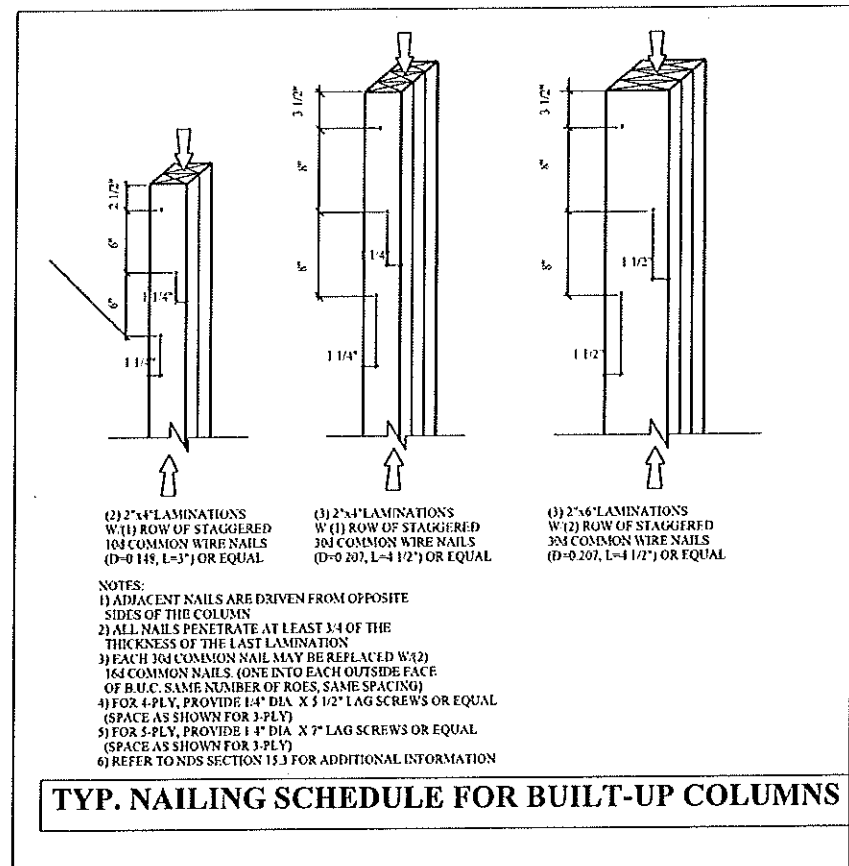
**B** KNEEWALL  
N.T.S.



CONV. FRAMING & VALLEY FRAMING  
N.T.S.



SECTION - FIREPLACE  
N.T.S.



TYP. NAILING SCHEDULE FOR BUILT-UP COLUMNS

ZUENDT ENGINEERING  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 JOB # 6228



DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE
11-08-18 03-18-19
11-14-18
11-29-18
1-03-19

DEEB FAMILY  
 HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

CONST. DETAILS



ENGINEERED WOOD TRUSSES  
 @ 24" O.C.  
 INSTALL ROOFING PER ROOF  
 MFERS INSTRUCTIONS.

GALV. STANDING SEAM METAL ROOFING INSTALL  
 PER MFR. RECOMMENDATIONS. OVER  
 PEEL & STICK MEMBRANE OVER  
 7/16" OSB ROOF SHEATHING W/ CLIPS  
 W/ 8d RINGSHANK @ 4" O.C. BOUNDARY AND  
 EDGES AND 6" O.C. IN THE FIELD WITH A SETBACK  
 OF 5" FROM ALL EDGES.

### CONNECTOR TABLE

SIMPSON	FLORIDA PRODUCT NUMBERS PER INDEX 2-25-2011
MBHA3.56/11.88	10866.12
H2	10456.10
H6	10456.16
H10A	10456.6
LGT2	11470.6
MGT	11470.7
LSTA18	10852.4
LSTA24	10852.4
SP1	10456.41
SP2	10456.42
HTS20	10456.23
HTS16	10456.22
META16	11473.17
L30	11473.19
MSTAM24	10446.11
MSTAM36	11473.19
MSTCM60	11473.19
CS16	10852.1
SPH4	10456.46
SPH6	10456.47
HTT4	11496.2
HTT5	11496.2
ABU66	10849.6
HUS210	10655
META20	11473

2-3/4" 3000 P.S.I. CONCRETE OVER 6 MIL  
 MOISTURE BARRIER OVER 3/4" ADVANTEC  
 T & G PLYWOOD FLOORING W/ 8d RING  
 SHANK @ 6" O.C. EDGE AND FIELD.

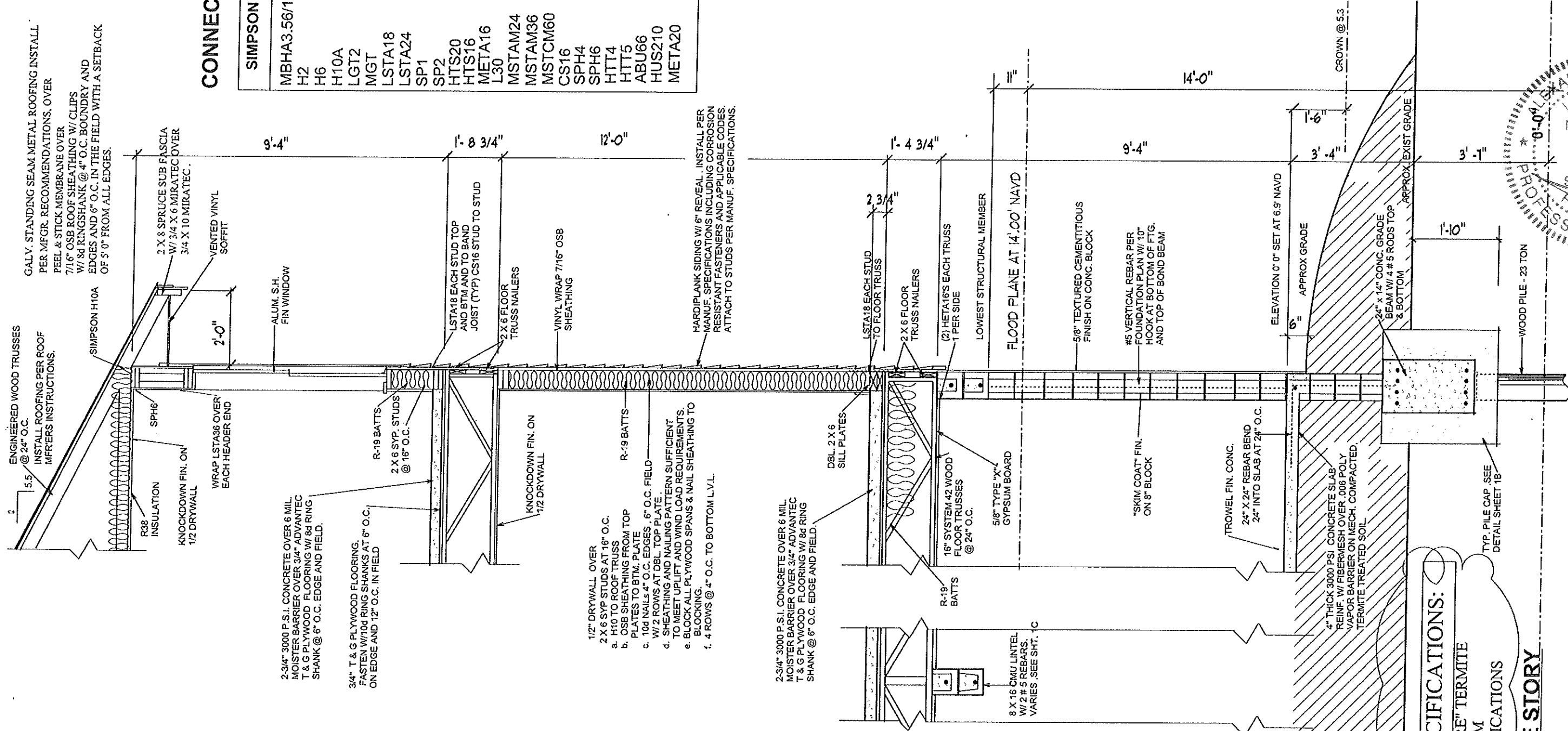
3/4" T & G PLYWOOD FLOORING.  
 FASTEN W/10d RING SHANKS AT 6" O.C.  
 ON EDGE AND 12" O.C. IN FIELD

1/2" DRYWALL OVER

- 2 X 6 SYP STUDS AT 16" O.C.
- a. H10 TO ROOF TRUSS
- b. OSB SHEATHING FROM TOP PLATES TO BTM. PLATE
- c. 10d NAILS 4" O.C. EDGES, 6" O.C. FIELD W/ 2 ROWS AT DBL. TOP PLATE
- d. SHEATHING AND NAILING PATTERN SUFFICIENT TO MEET UPLIFT AND WIND LOAD REQUIREMENTS.
- e. BLOCK ALL PLYWOOD SPANS & NAIL SHEATHING TO BLOCKING.
- f. 4 ROWS @ 4" O.C. TO BOTTOM L.V.L.

2-3/4" 3000 P.S.I. CONCRETE OVER 6 MIL  
 MOISTURE BARRIER OVER 3/4" ADVANTEC  
 T & G PLYWOOD FLOORING W/ 8d RING  
 SHANK @ 6" O.C. EDGE AND FIELD.

HARDPLANK SIDING W/ 6" REVEAL. INSTALL PER  
 MANUF. SPECIFICATIONS INCLUDING CORROSION  
 RESISTANT FASTENERS AND APPLICABLE CODES.  
 ATTACH TO STUDS PER MANUF. SPECIFICATIONS.



### TERMITE SPECIFICATIONS:

INSTALL "BORA-CARE" TERMITE  
 PROTECTION SYSTEM  
 PER MANUF. SPECIFICATIONS

### TYPICAL THREE STORY WALL SECTION

# 10

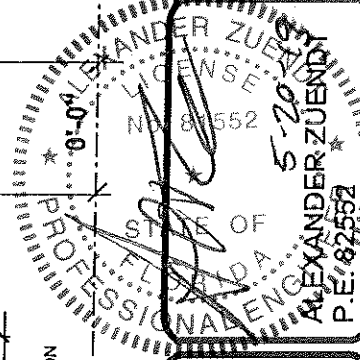
DEEB FAMILY  
 HOMES, LTD.

9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE

11-08-18: 03-18-19  
 11-14-18: 10-03-19  
 11-29-18:  
 1-03-19

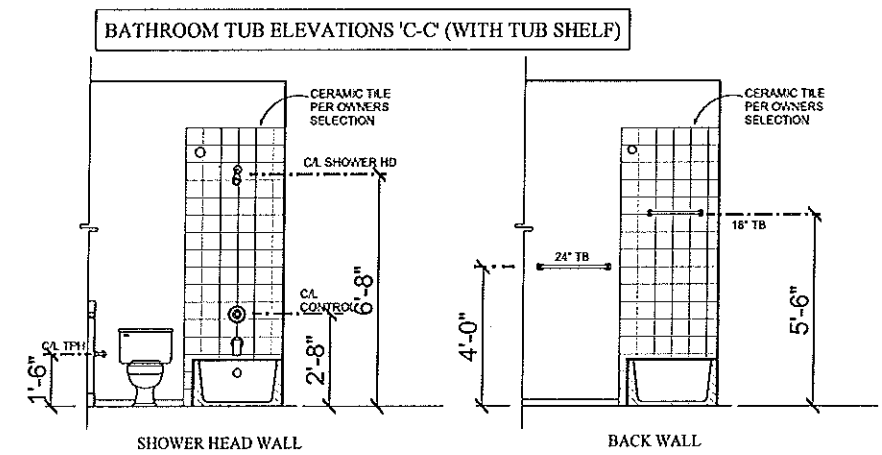
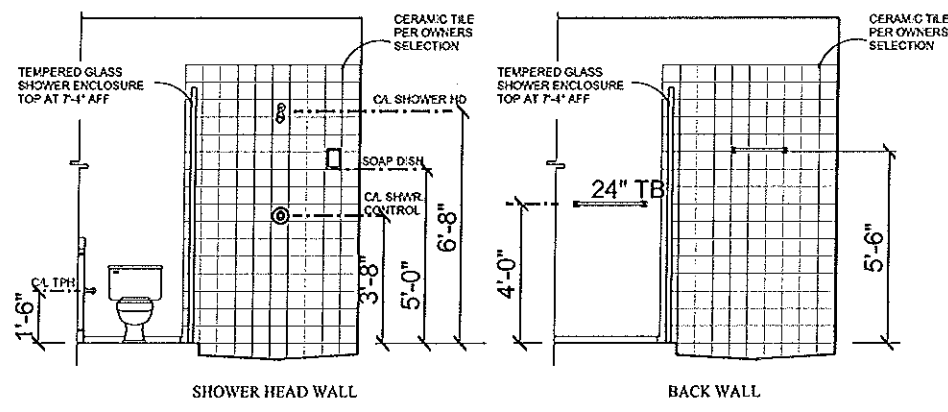
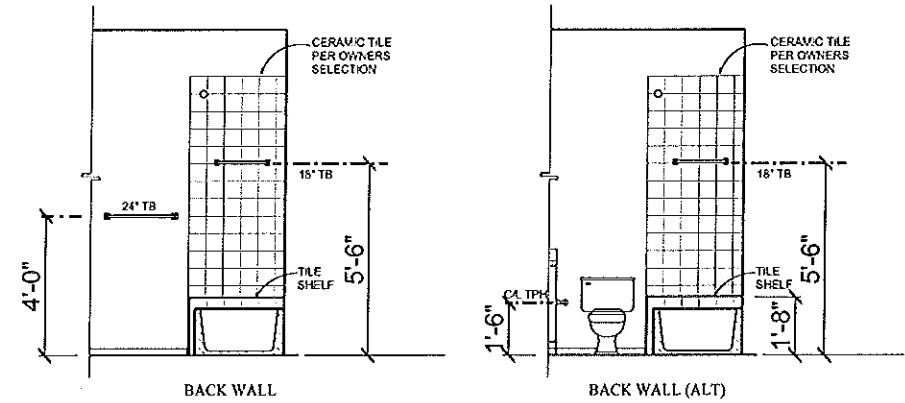
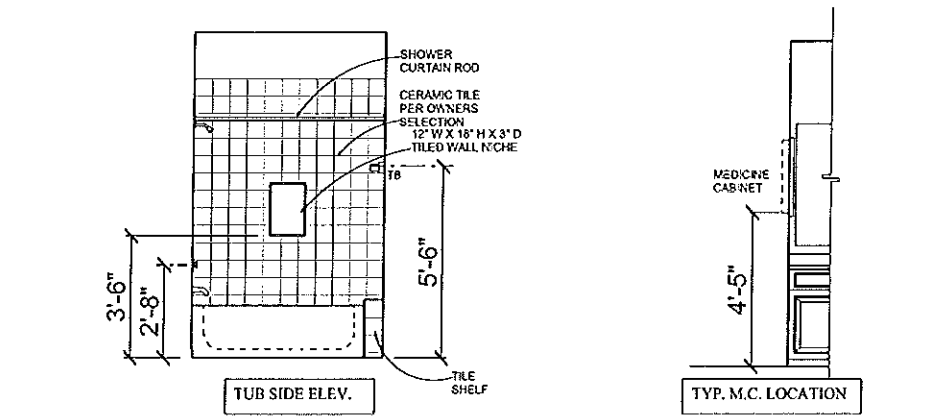
DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.



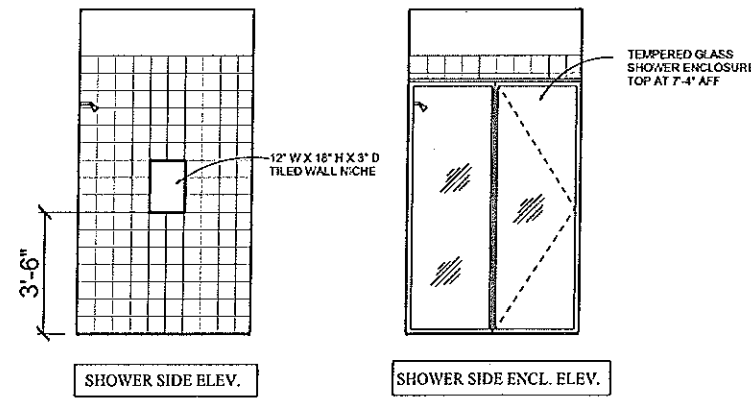
ZUENDT ENGINEERING

5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921

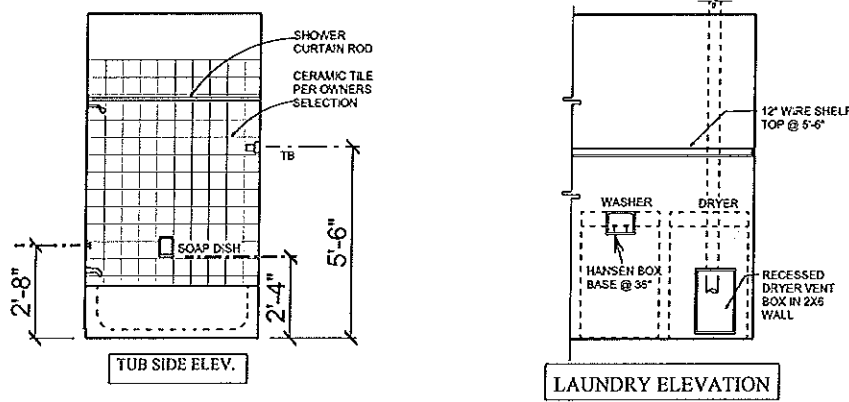
JOB # 6228



**BATHROOM SHOWER ELEVATIONS 'A-A'**



**BATHROOM TUB ELEVATIONS 'B-B'**



TYPICAL INTERIOR BATHROOM DETAILS

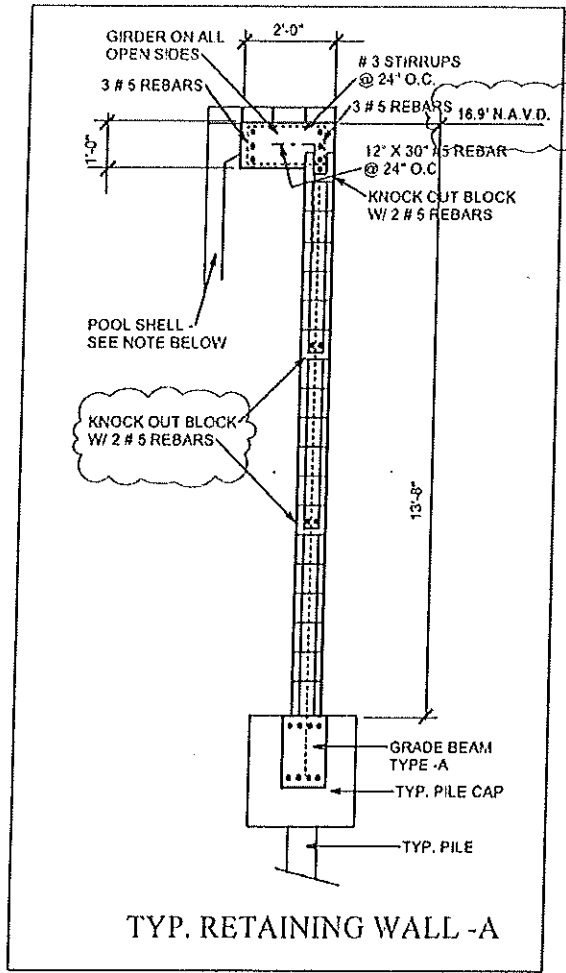
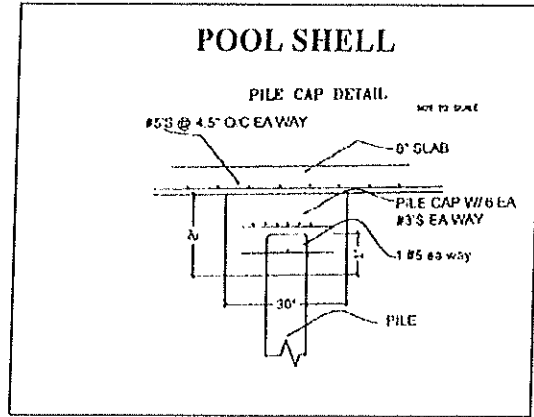
ZUENDT ENGINEERING  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921

ALEXANDER ZUENDT  
 P.E. 82552

DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE
2-12-2019
2-15-2019

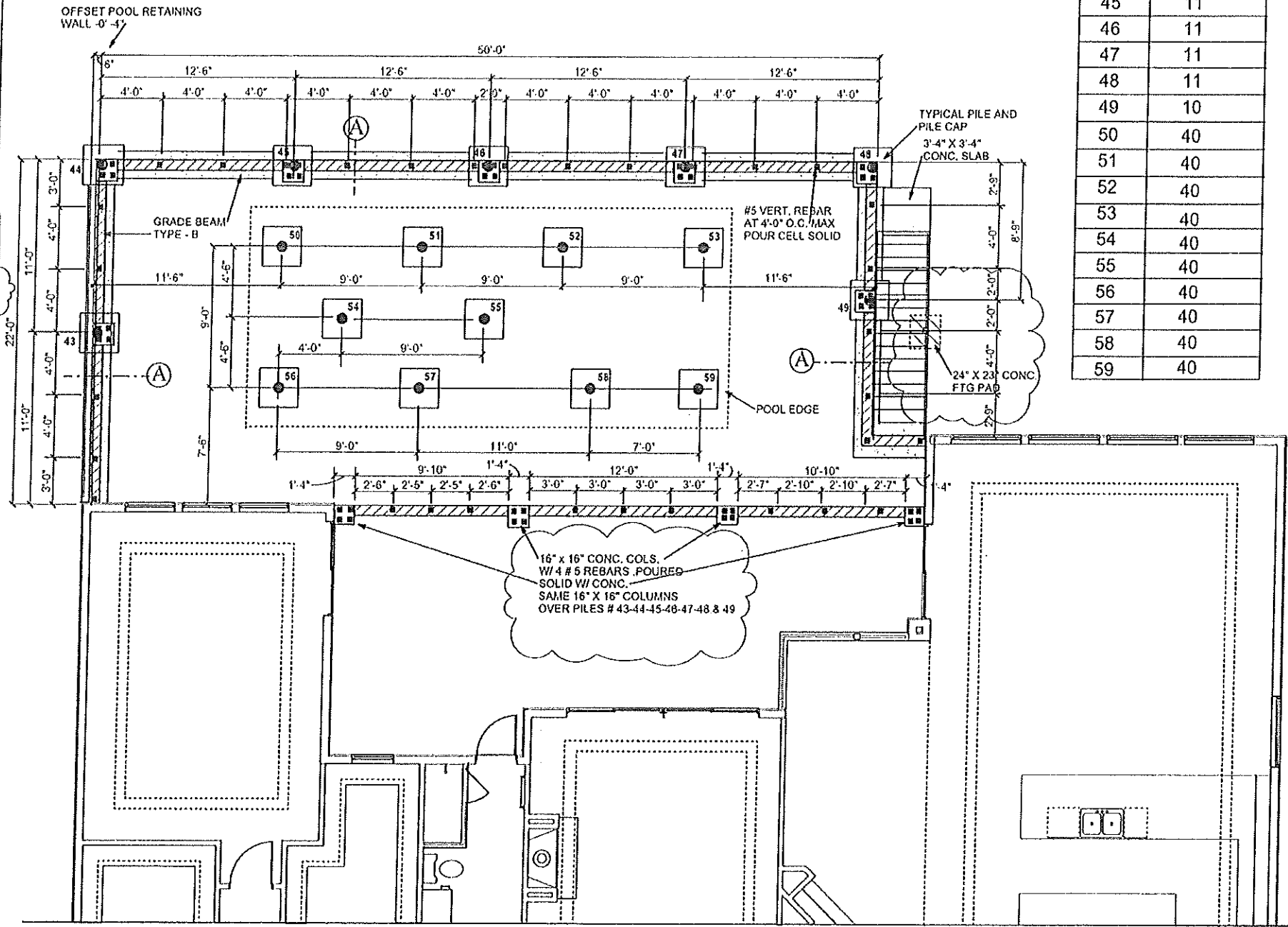
DEEB FAMILY  
 HOMES, LTD.



Pool Steel for 348 Shore Dr. E

**POOL SHELL NOTES**

1. Pool shell bottom to be 8" thick with #5 rebar @ 4.5" o.c.  
Pool walls to be 6" thick with #3 rebar @ 12" o.c.
2. Concrete strength; 4000 psi
3. Reinforcing steel; grade 40
4. Minimum steel cover in ground; 1.5"
5. Cut off the pile so that the top will be 12" above the bottom of the PILE CAP.



PILE #-	TOTAL KIPS
43	10
44	11
45	11
46	11
47	11
48	11
49	10
50	40
51	40
52	40
53	40
54	40
55	40
56	40
57	40
58	40
59	40

**ALEXANDER ZUENDT**  
PROFESSIONAL ENGINEER  
STATE OF FLORIDA  
P.E. # 92562

ALEXANDER ZUENDT  
9-28-19

ALEXANDER ZUENDT ENGINEERING  
5205 WATER ST.  
NEW PORT RICHEY, FL. 34652  
CA32834  
727-848-2921  
JOB # 6228

**DEEB RESIDENCE**  
348 SHORE DRIVE  
OLDSMAR, FL.

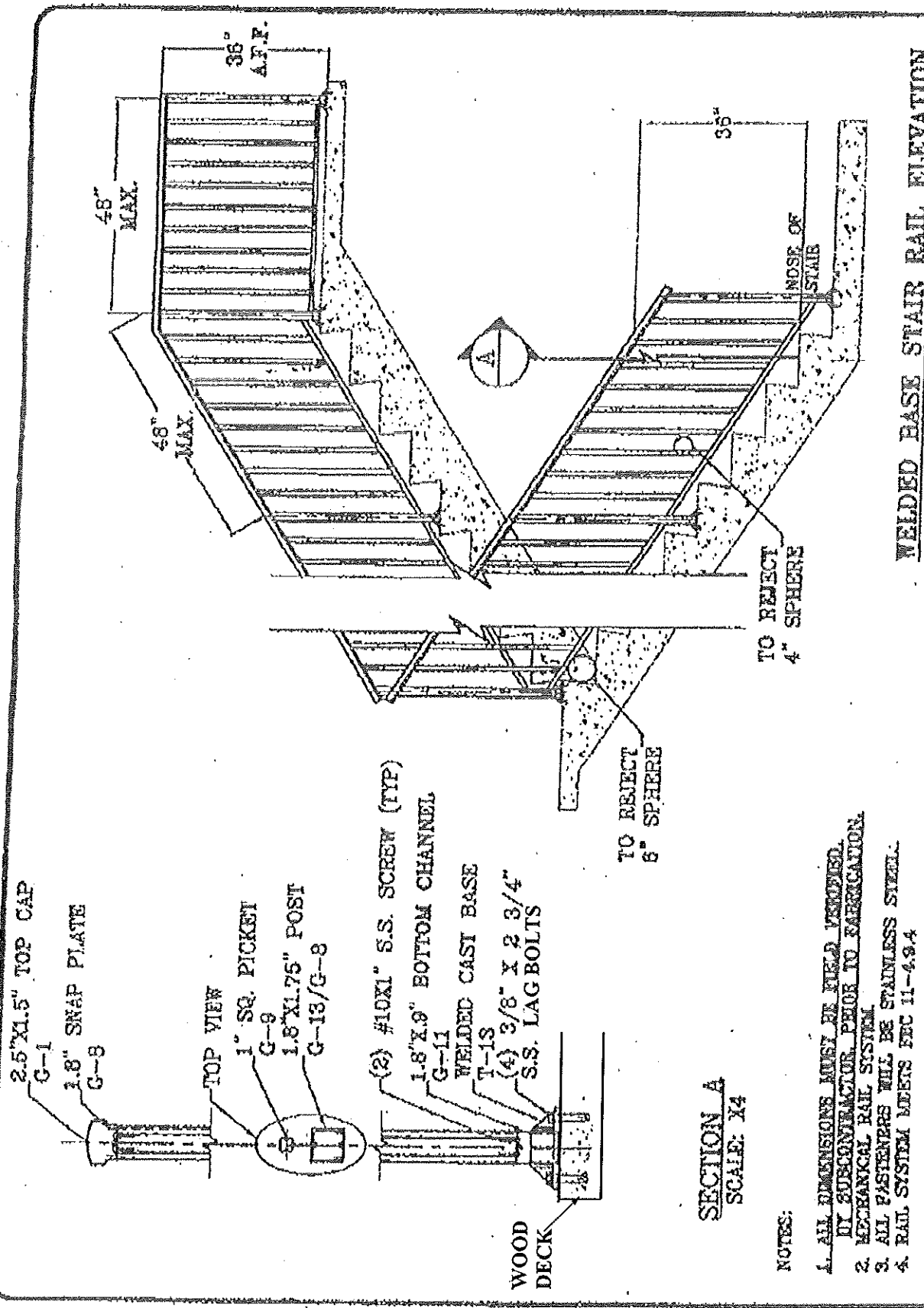
SCALE 1/4" = 1'-0"

POOL WALL & PILING DETAILS

PLAN DATE	DATE
11-08-18	03-18-19
11-14-18	05-03-19
11-29-18	08-05-19
1-03-19	08-22-19
	09-17-19

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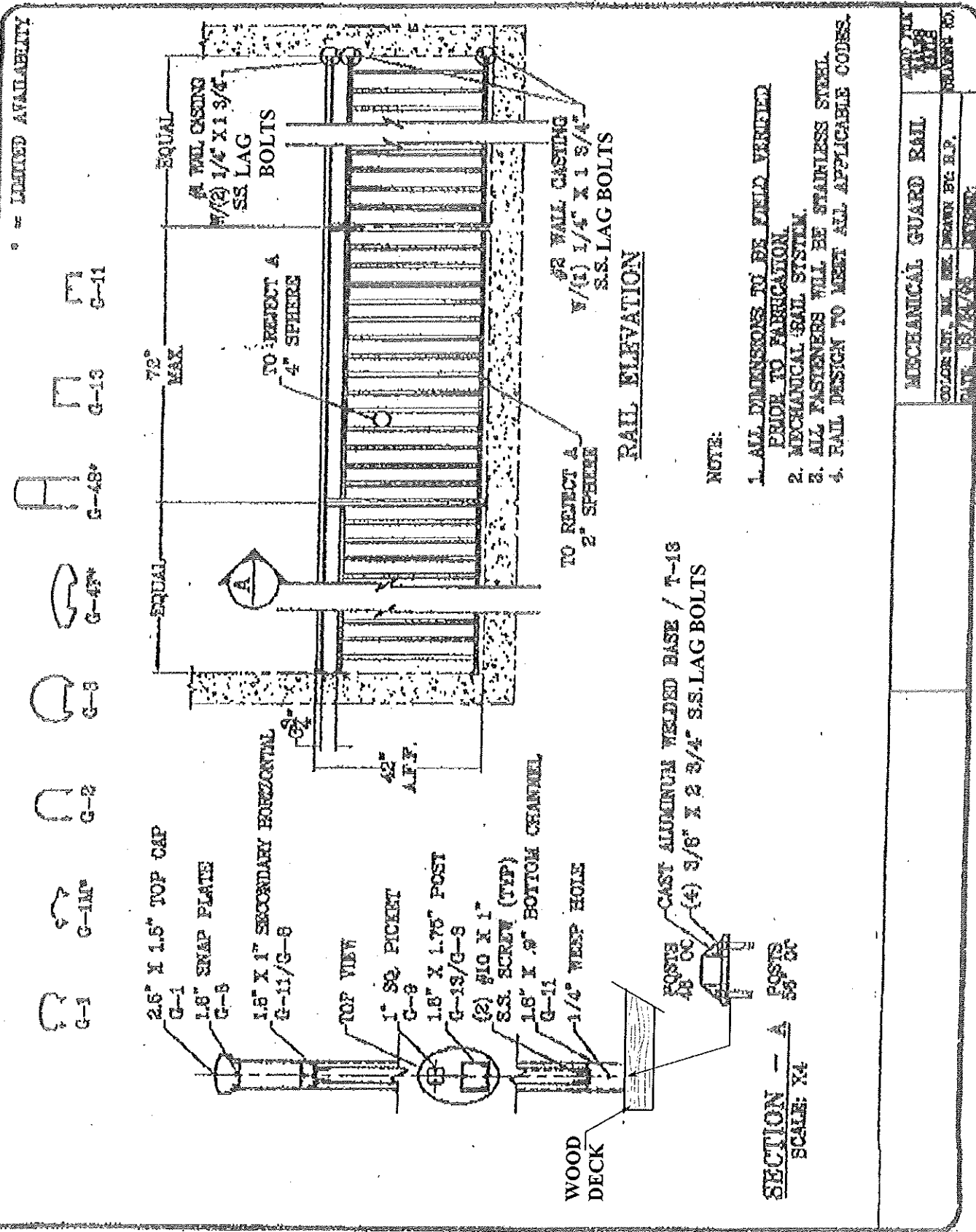


**WELDED BASE STAIR RAIL ELEVATION**

SECTION A  
SCALE: X4

- NOTES:
1. ALL DIMENSIONS MUST BE FIELD VERIFIED BY SUBCONTRACTOR PRIOR TO FABRICATION.
  2. MECHANICAL RAIL SYSTEM.
  3. ALL FASTENERS WILL BE STAINLESS STEEL.
  4. RAIL SYSTEM MEETS FEC 11-4.9.4

STAIR & LANDING RAIL	REV. FILE
DATE: 11/03/08	BY: B.P.
	NO. OF SHEETS: 1 OF 1



**RAIL ELEVATION**

SECTION - A  
SCALE: X4

- NOTE:
1. ALL DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
  2. MECHANICAL RAIL SYSTEM.
  3. ALL FASTENERS WILL BE STAINLESS STEEL.
  4. RAIL DESIGN TO MEET ALL APPLICABLE CODES.

MECHANICAL GUARD RAIL	REV. FILE
DATE: 11/03/08	BY: B.P.
	NO. OF SHEETS: 1 OF 1

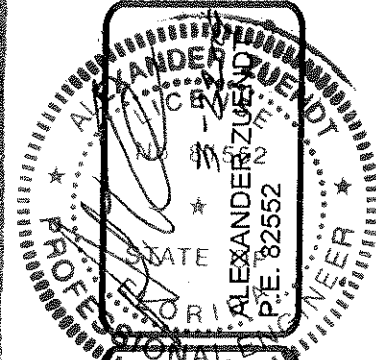
**RAILING ATTACHMENT DETAILS**

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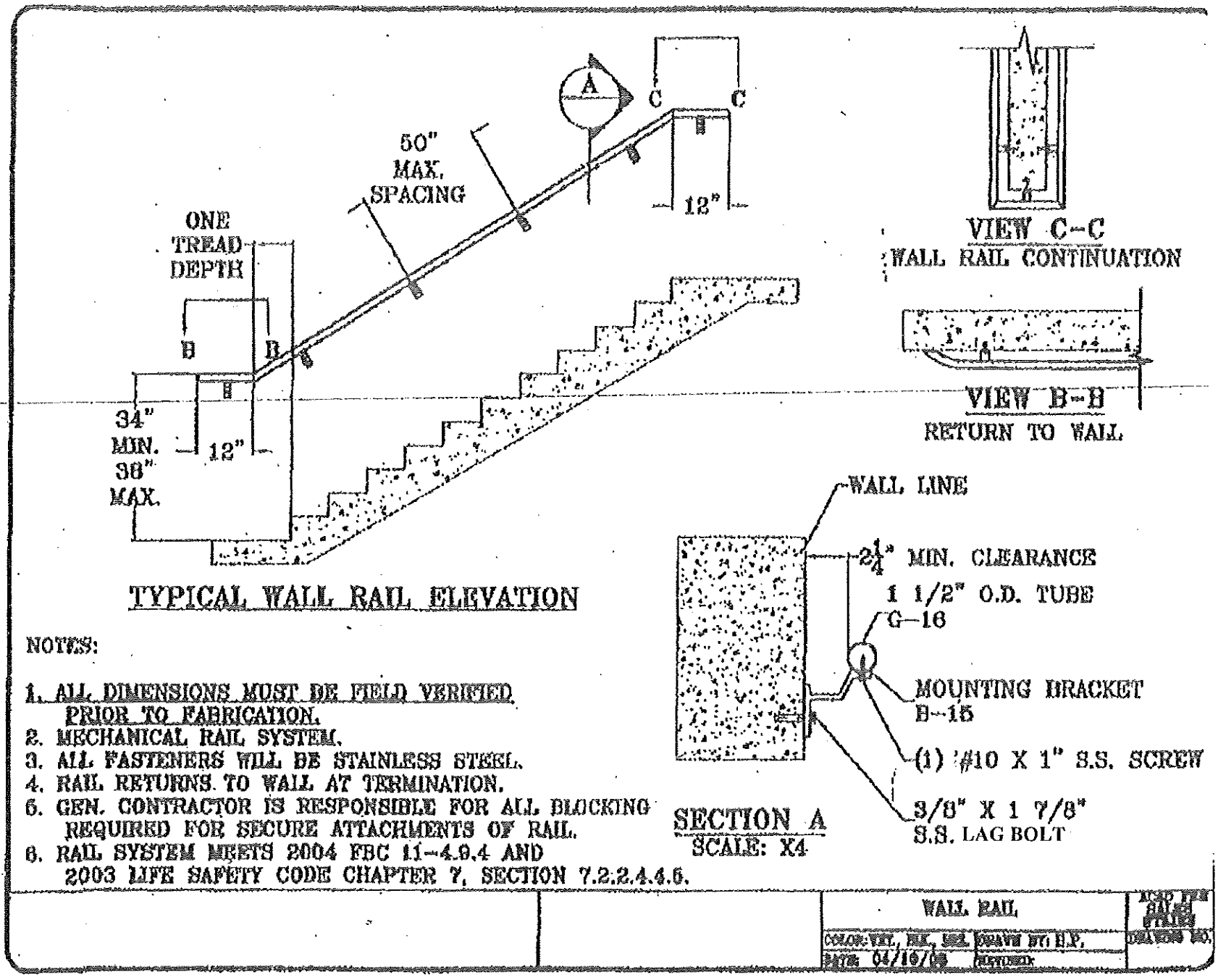
PLAN DATE	11-08-18: 03-18-19
	11-14-18
	11-29-18
	1-03-19

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.



ZUENDT ENGINEERING  
5405 WATER ST.  
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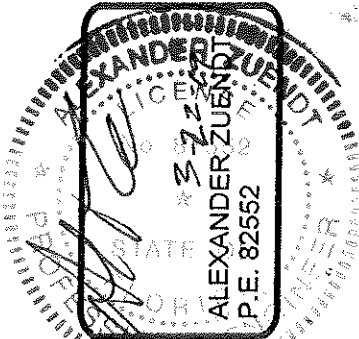
JOB # 6228



**NOTES:**

1. ALL DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION.
2. MECHANICAL RAIL SYSTEM.
3. ALL FASTENERS WILL BE STAINLESS STEEL.
4. RAIL RETURNS TO WALL AT TERMINATION.
5. GEN. CONTRACTOR IS RESPONSIBLE FOR ALL BLOCKING REQUIRED FOR SECURE ATTACHMENTS OF RAIL.
6. RAIL SYSTEM MEETS 2004 FBC 11-4.9.4 AND 2003 LIFE SAFETY CODE CHAPTER 7, SECTION 7.2.2.4.4.5.

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DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE	DATE
11-08-18	03-18-19
11-14-18	
11-29-18	
1-03-19	

DEEB FAMILY  
 HOMES, LTD.  
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 NEW PORT RICHEY, FL 34655  
 727-376-6831

HAND RAIL CONNECTION DETAILS

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