

Loaded unsealed set  
online 1/7/19

**GENERAL NOTES:**

THE FOLLOWING TECHNICAL CODES SHALL APPLY:  
2017 FLORIDA BUILDING CODE,  
PLUMBING, MECHANICAL, FUEL GAS,  
ENERGY EFFICIENCY, ACCESSIBILITY,  
AND NATIONAL ELECTRICAL CODES  
NEC 2014

1. TANK TYPE WATER CLOSET VOLUME  
1.6 GALLONS
2. WALL MOUNT WATER CLOSET VOLUME  
3.5 GALLONS
3. WATER - FLOW RATE.  
PUBLIC FACILITIES 0.5 G.P.M.  
PRIVATE FACILITIES 2.2 G.P.M.  
SHOWER HEADS 2.5 G.P.M.

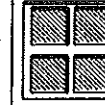
VTR LOCATIONS ARE APPROXIMATE  
AND MAY CHANGE DUE TO JOBSITE  
CONDITIONS

THE FOLLOWING SHALL COMPLY  
WITH THE 2017 FBC.

- PORCHES AND BALCONIES
- HANDRAILS
- GUARDRAILS
- STAIRS
- CHIMNEY & FIREPLACE
- EGRESS WINDOWS

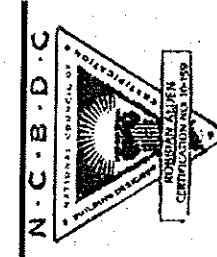
4. ALL OPENINGS SHALL COMPLY WITH  
2017 FBC WIND LOADS AS STATED  
BELOW. ATTACHMENTS OF WINDOWS,  
DOORS, SLIDING GLASS DOORS  
AND O.H. GARAGE DOORS ARE DELEGATED  
THE MANUFACTURER OF THESE ITEMS. THE  
MANUFACTURER OF THESE ITEMS  
SHALL SUBMIT ATTACHMENTS TO ENGINEER  
OF RECORD FOR REVIEW PRIOR TO INSTALLATION.  
SEE ATTACHED SPECIFICATION SHEETS FOR  
MANUFACTURERS DESIGN CRITERIA AND  
INSTALLATION METHODS FOR WINDOWS,  
DOORS, SLIDING GLASS DOORS, OVERHEAD  
GARAGE DOORS, AND ROOFING.
5. ALL DOORS INTERIOR & EXTERIOR ARE  
8' 0" UNLESS OTHERWISE NOTED  
ALL SHOWER ENCLOSURES TO BE  
TEMPERED GLASS
6. ALL WINDOWS WITHIN 24" OF DOORS  
(INTERIOR & EXTERIOR) AND WITHIN  
18" OFF FLR TO BE TEMPERED GLASS.

**ROBBIAN DESIGN**  
AL ROBBIAN A.I.B.D.  
6397 CONNIEWOOD SQ.  
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(727) 848-2259  
MAIL: al@robbiandesign.com



**SOFTPLAN**  
ARCHITECTURAL DESIGN SOFTWARE

**AIBD**  
7059 Blair Road NW  
Suite 201  
**BID**® Washington DC 20012



**INDEX OF DRAWINGS**

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**NOTICE TO SUBCONTRACTORS :**

DUE TO SPACE LIMITATIONS IN THIS 11"X-17" PLAN...  
FORMAT, AND TO ELIMINATE CLUTTER AND TEXT  
READABILITY ISSUES, SOME DETAILS AND NOTATIONS  
MAY OR MAY NOT BE LOCATED ON THE SAME SHEETS  
OR IN THE SAME LOCATIONS AS PROVIDED FOR BY  
OTHER CONTRACTORS OR ARCHITECTS.  
IT WOULD BE IN YOUR BEST INTEREST TO REVIEW THESE  
PLANS AND LOCATE THE APPROPRIATE INFORMATION  
REQUIRED TO COMPLETE YOUR SPECIFIC PORTION OF  
THE JOB BEFORE BEGINNING CONSTRUCTION.

**NOTICE TO BUILDER**

IT IS THE INTENT OF THIS DESIGNER THAT  
THESE PLANS ARE ACCURATE AND ARE  
CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL  
TO CONSTRUCT THIS PROJECT.  
IN THE EVENT THAT SOMETHING IS UNCLEAR  
OR NEEDS CLARIFICATION, STOP, AND CALL  
THE DESIGNER LISTED IN THIS TITLE PAGE. IT  
IS THE RESPONSIBILITY OF THE LICENSED  
PROFESSIONAL THAT IS CONSTRUCTING THIS  
PROJECT TO FULLY REVIEW THESE DOCUMENTS  
BEFORE CONSTRUCTION BEGINS AND ANY AND  
ALL CORRECTIONS, IF NEEDED, TO BE MADE  
BEFORE ANY WORK IS DONE.

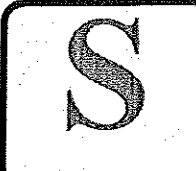
**WINDOW INSTALLATION NOTES:**

1. WINDOWS MUST BE FASTENED INTO STRUCTURAL MEMBERS  
PER MFG'S. DETAIL REQUIREMENTS PER DESIGN CRITERIA  
NOTED ON THESE DRAWINGS.
2. WINDOWS ARE IMPACT RESISTANT TYPE. NO STORM  
SHUTTERS OR PANELS ARE REQUIRED.
3. ROOF, WALLS AND WINDOW FASTENINGS MUST BE  
ENGINEERED AND SPECIFIED FOR CUMULATIVE INTERNAL  
PRESSURE AND EXTERNAL NEGATIVE ( SUCTION ) PRESSURES  
WHICH VARIES ACCORDING TO AREAS AS NOTED IN THE DESIGN  
CRITERIA AS NOTED ON PAGE S4.

**DEEB RESIDENCE  
...SHORE DRIVE  
OLDSMAR, FL.**

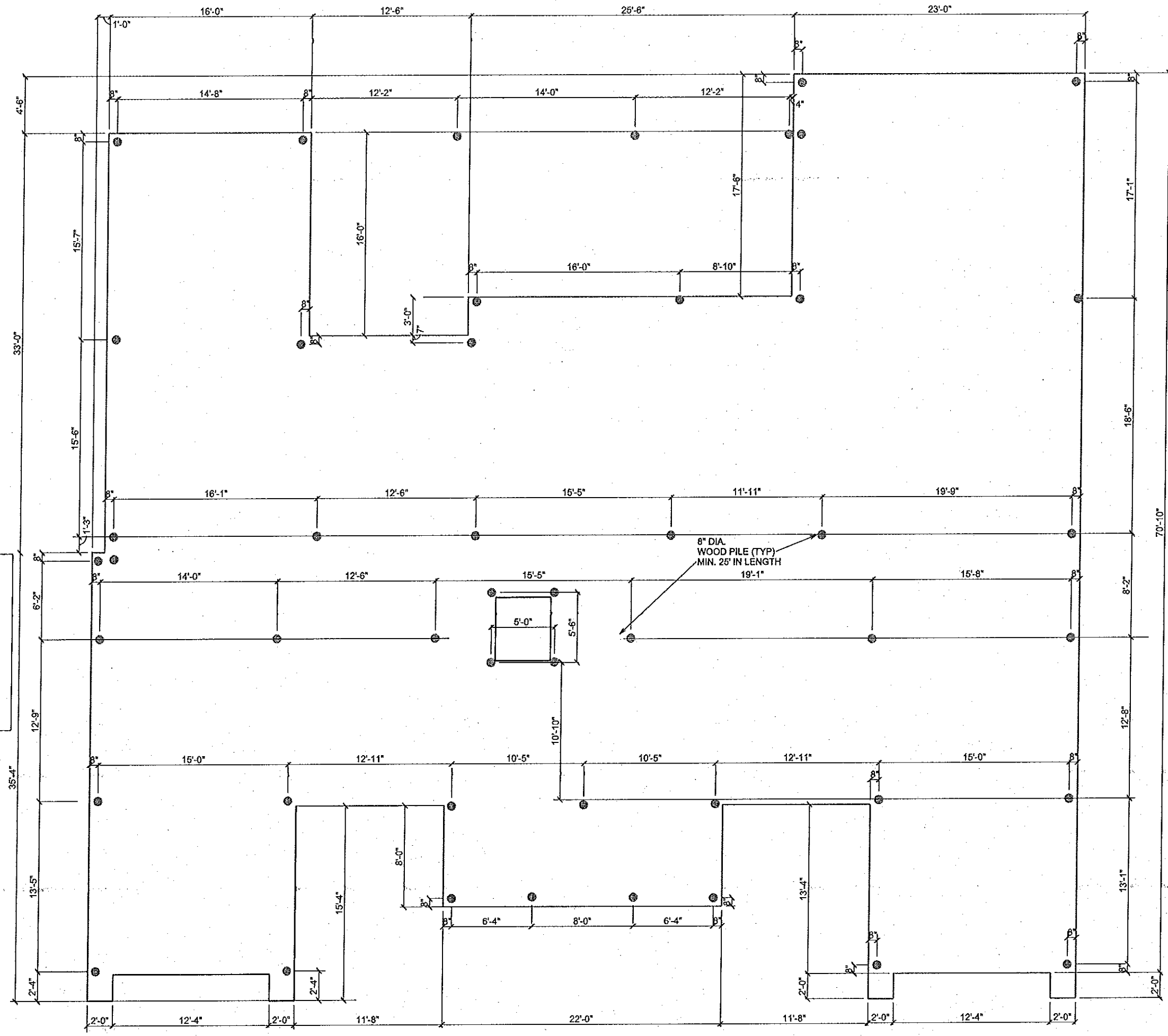
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**COVER SHEET**

NOTE: ALL PILING TO BEAR MINIMUM OF 20 TONS OR 25 TONS PER LAYOUT. CONTRACTOR TO CONSULT WITH GEOTECHNICAL ENGINEER TO DETERMINE REQUIRED PILE LENGTH TO ACHIEVE BEARING CAPACITY.

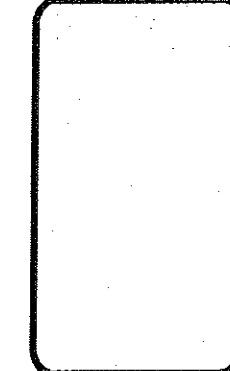
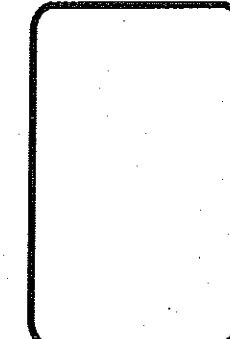


PILING LAYOUT PLAN SCALE 1/8" = 1'-0"

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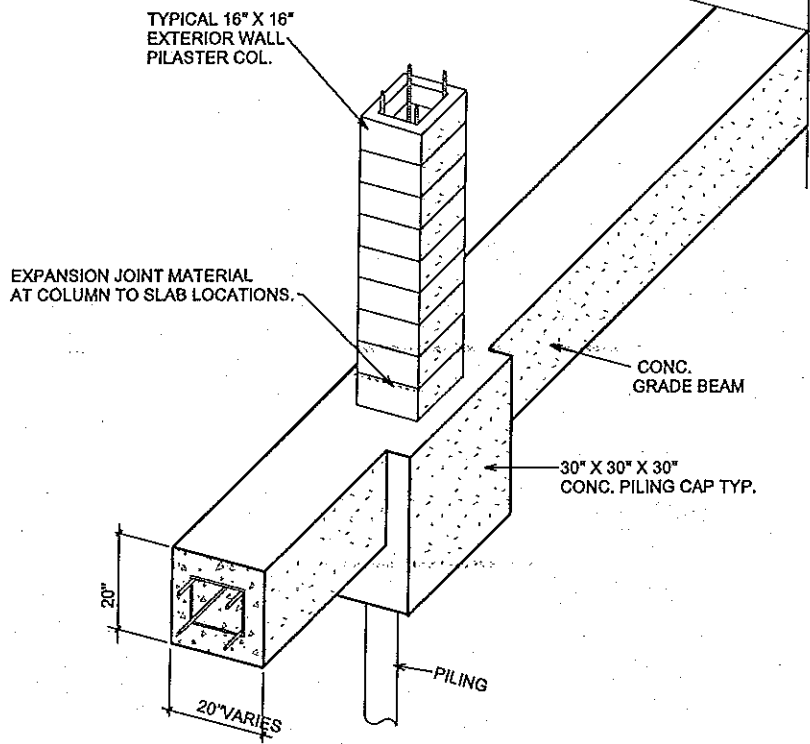
**NOTES;**

GRADE BEAM TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED 95% MODIFIED PROCTOR PER ASTM D 1557. ALL BEARING SOILS ARE TO BE FREE OF DEBRIS & VEGETATION.

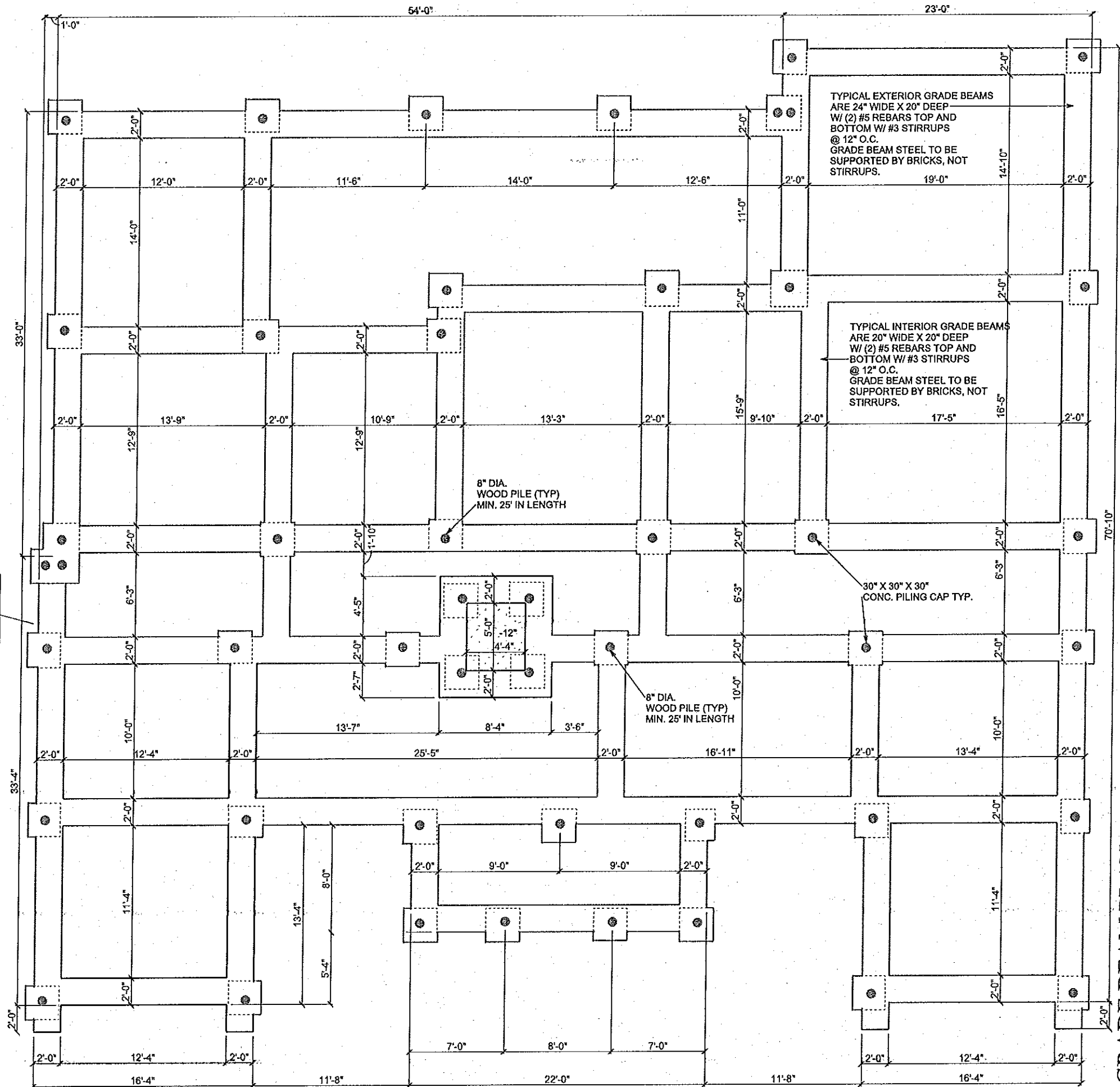
PREPARE SITE AND INSTALL TIMBER PILING AS DESCRIBED IN CENTRAL FLORIDA TESTING LABORATORIES, INC. REPORT # 206316. REFER TO GEOTECHNICAL REPORT FOR SIZE, LENGTH AND SUPPORT.

ALL GRADE BEAM AND PILE CAP REBAR TO BE GRADE 60 WITH 3000 PSI CONC.

ALL TIMBER PILING - 8" TIP DIAMETER MINIMUM 25' IN LENGTH, 25 TONS (TYPICAL)

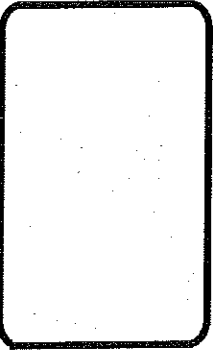
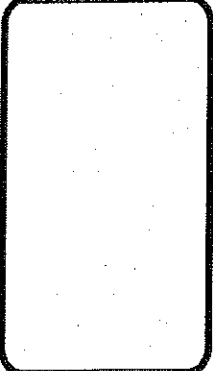


**TYPICAL GRADE BEAM / PILE CAP DETAIL**



SCALE 1/8" = 1'-0"

GRADE BEAM PLAN

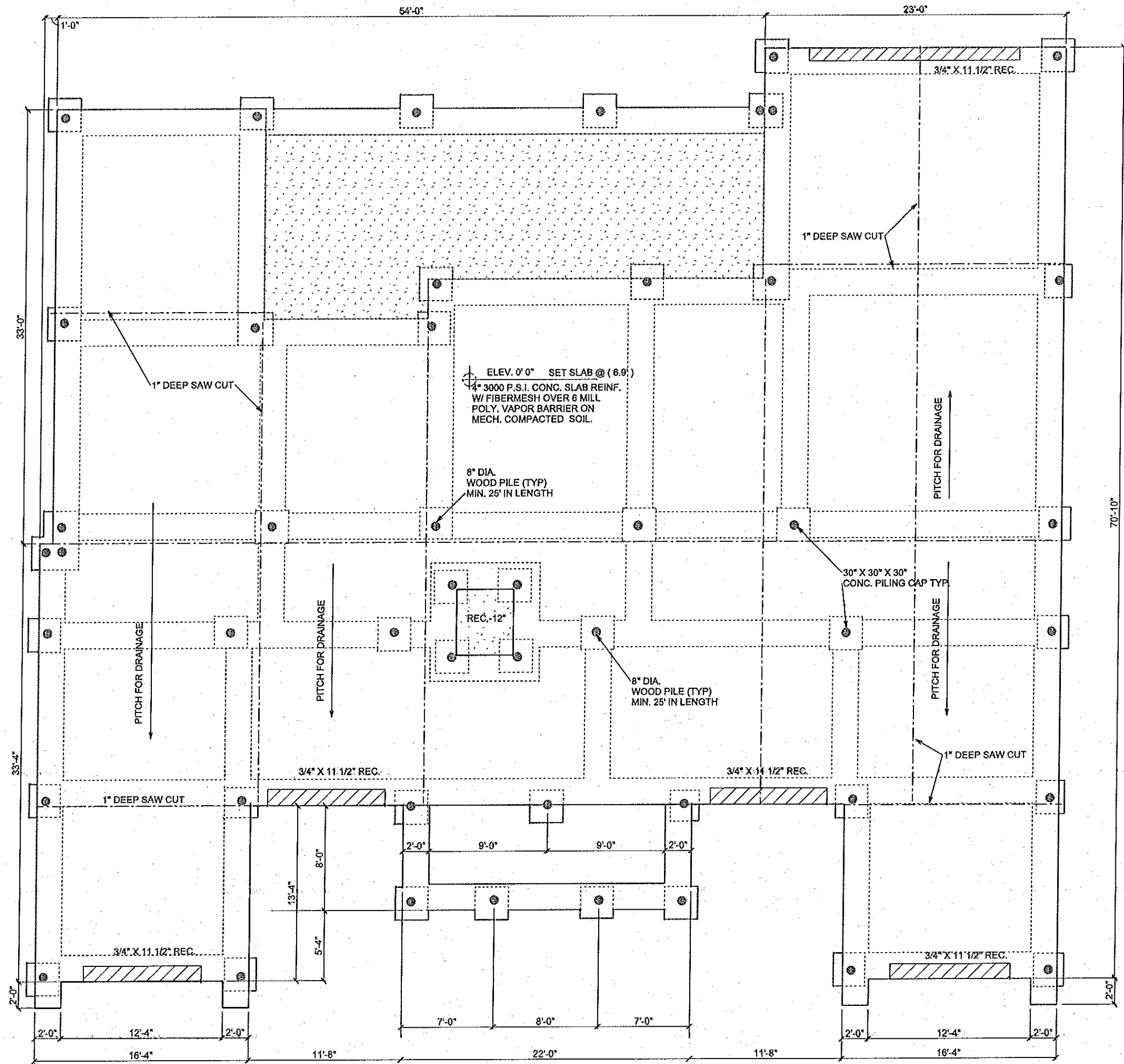


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SLAB PLAN

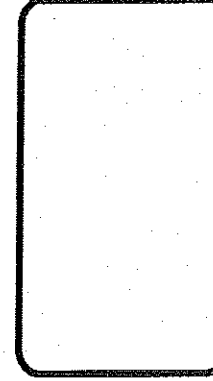
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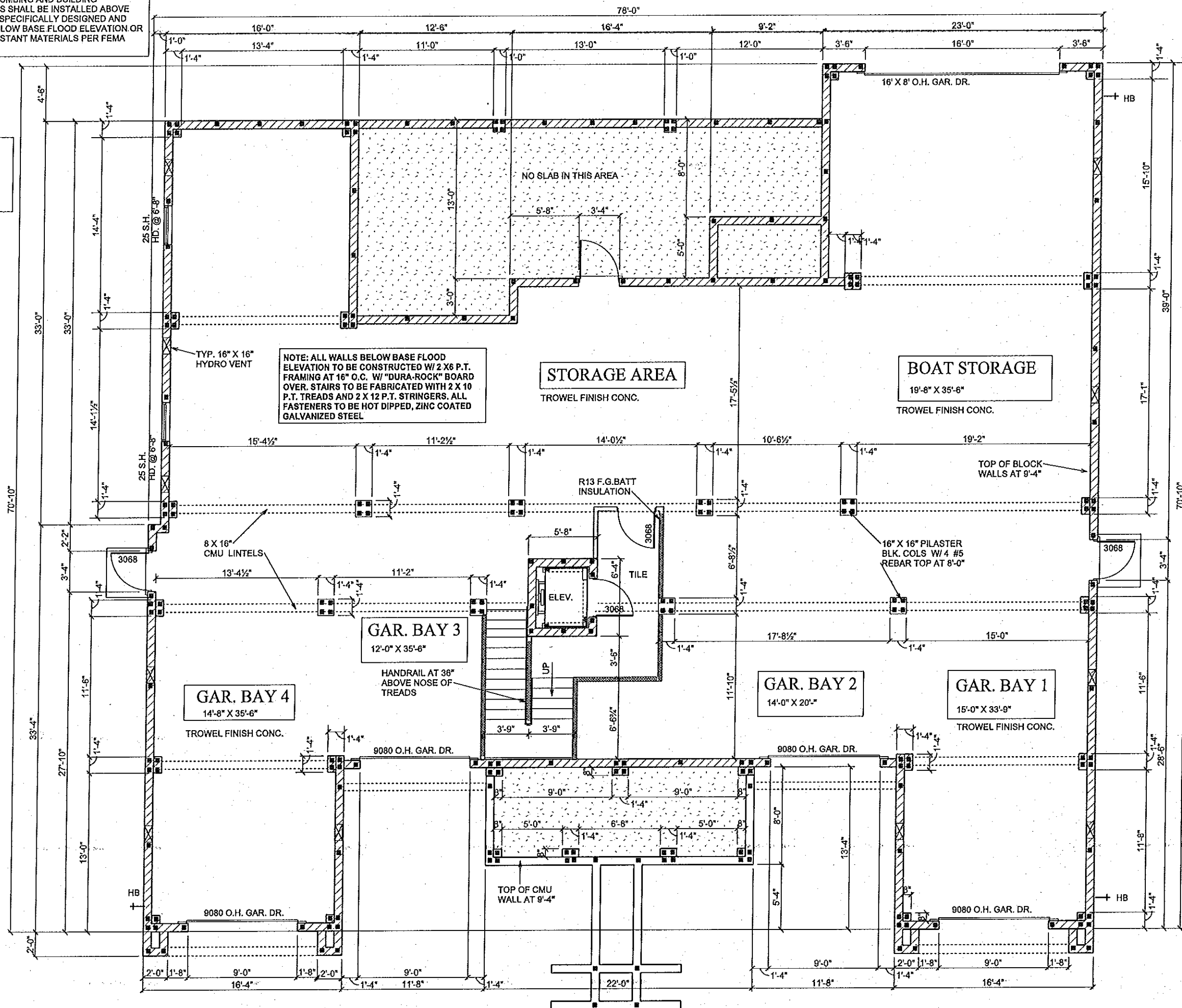
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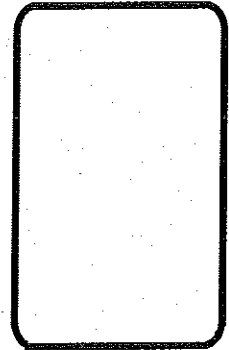
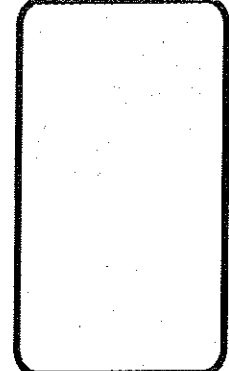
NOTE: ALL ELECTRICAL, MECH. PLUMBING AND BUILDING MATERIALS AND/OR COMPONENTS SHALL BE INSTALLED ABOVE BASE FLOOD ELEVATION UNLESS SPECIFICALLY DESIGNED AND APPROVED FOR INSTALLATION BELOW BASE FLOOD ELEVATION OR MADE OF APPROVED WATER RESISTANT MATERIALS PER FEMA TECHNICAL BULLETIN 2-93 & 7-93

NOTE: ALL WALLS BELOW BASE FLOOD ELEVATION TO BE CONSTRUCTED W/ 2 X 4 P.T. FRAMING AT 16" O.C. W/ "DURA-ROCK" BOARD OVER. STAIRS TO BE FABRICATED WITH 2 X 10 P.T. TREADS AND 2 X 12 P.T. STRINGERS. ALL FASTENERS TO BE HOT DIPPED, ZINC COATED GALVANIZED STEEL

TOTAL VENTABLE AREA = 3882 S.F.  
 REQUIRED VENTS = 3883 S.I.  
 (10) SMART VENTS RATED AT 400 S.F. PER VENT (= 4000 S.F.)



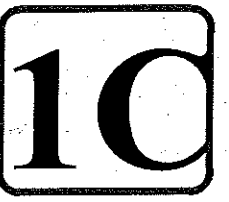
GROUND FLOOR PLAN SCALE 1/8" = 1'-0"

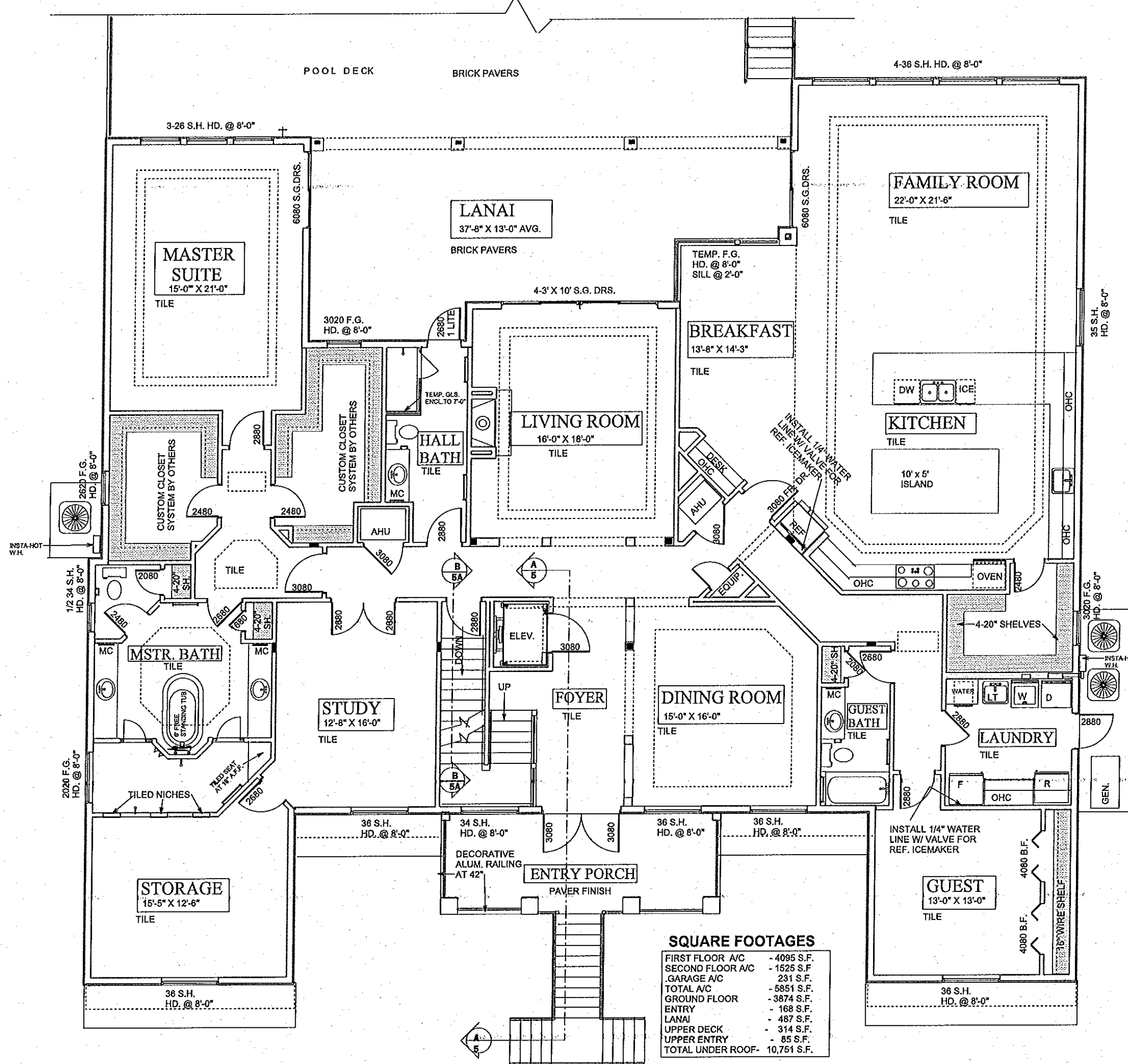


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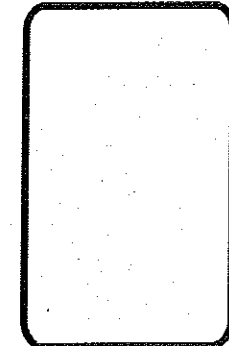
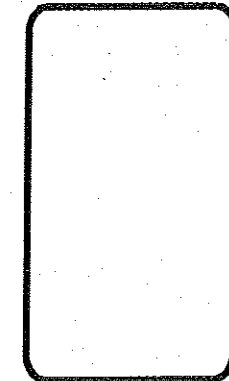




**SQUARE FOOTAGES**

FIRST FLOOR A/C	- 4095 S.F.
SECOND FLOOR A/C	- 1525 S.F.
GARAGE A/C	- 231 S.F.
TOTAL A/C	- 5851 S.F.
GROUND FLOOR	- 3874 S.F.
ENTRY	- 168 S.F.
LANAI	- 487 S.F.
UPPER DECK	- 314 S.F.
UPPER ENTRY	- 85 S.F.
TOTAL UNDER ROOF-	10,751 S.F.

FIRST FLOOR NOTES SCALE 1/8" = 1'-0"



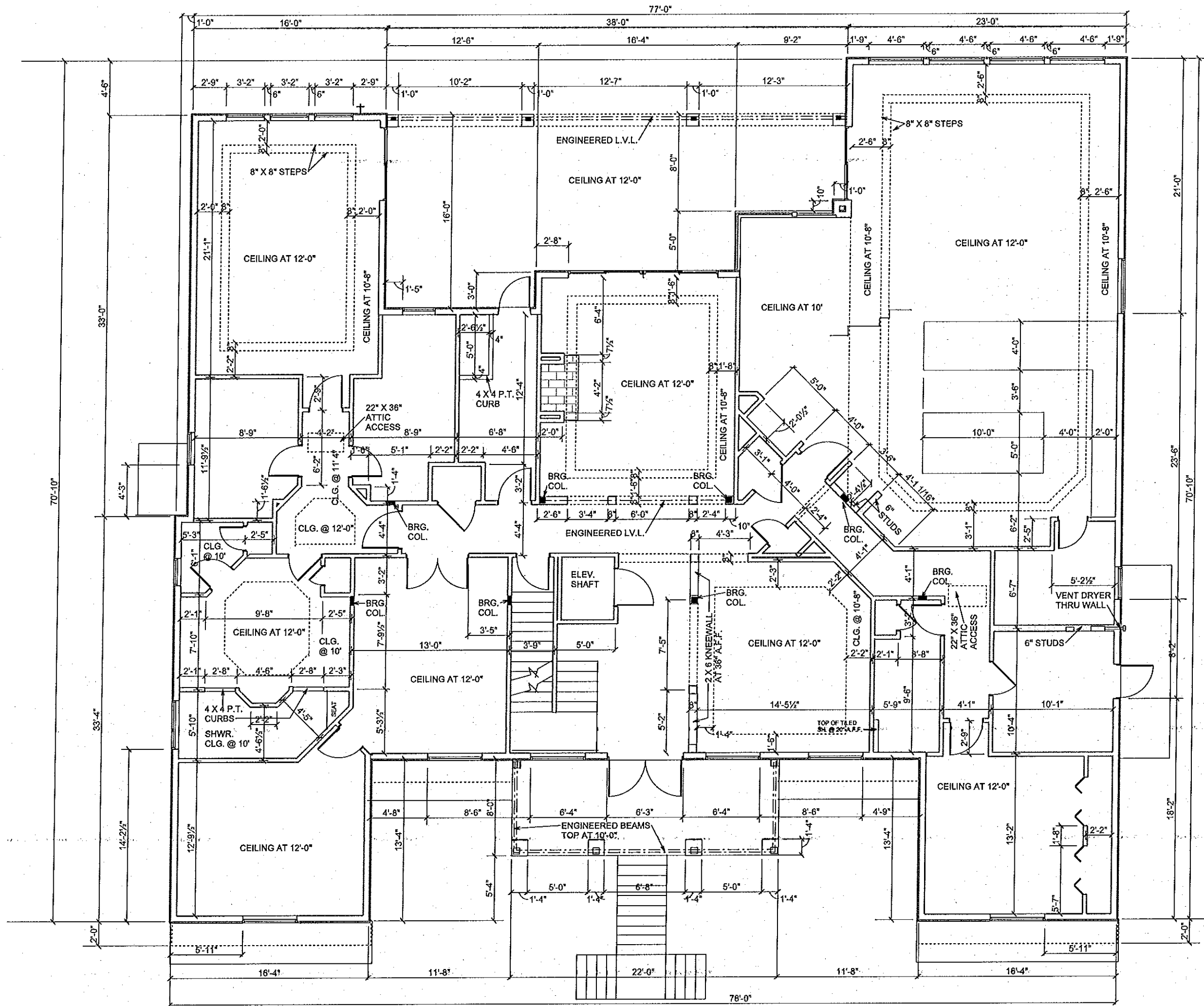
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**2**



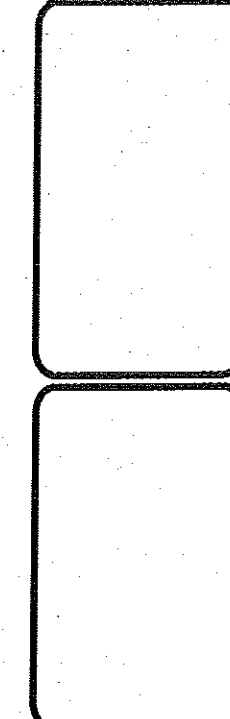
FIRST FLOOR DIMENSIONS SCALE 1/8" = 1'-0"

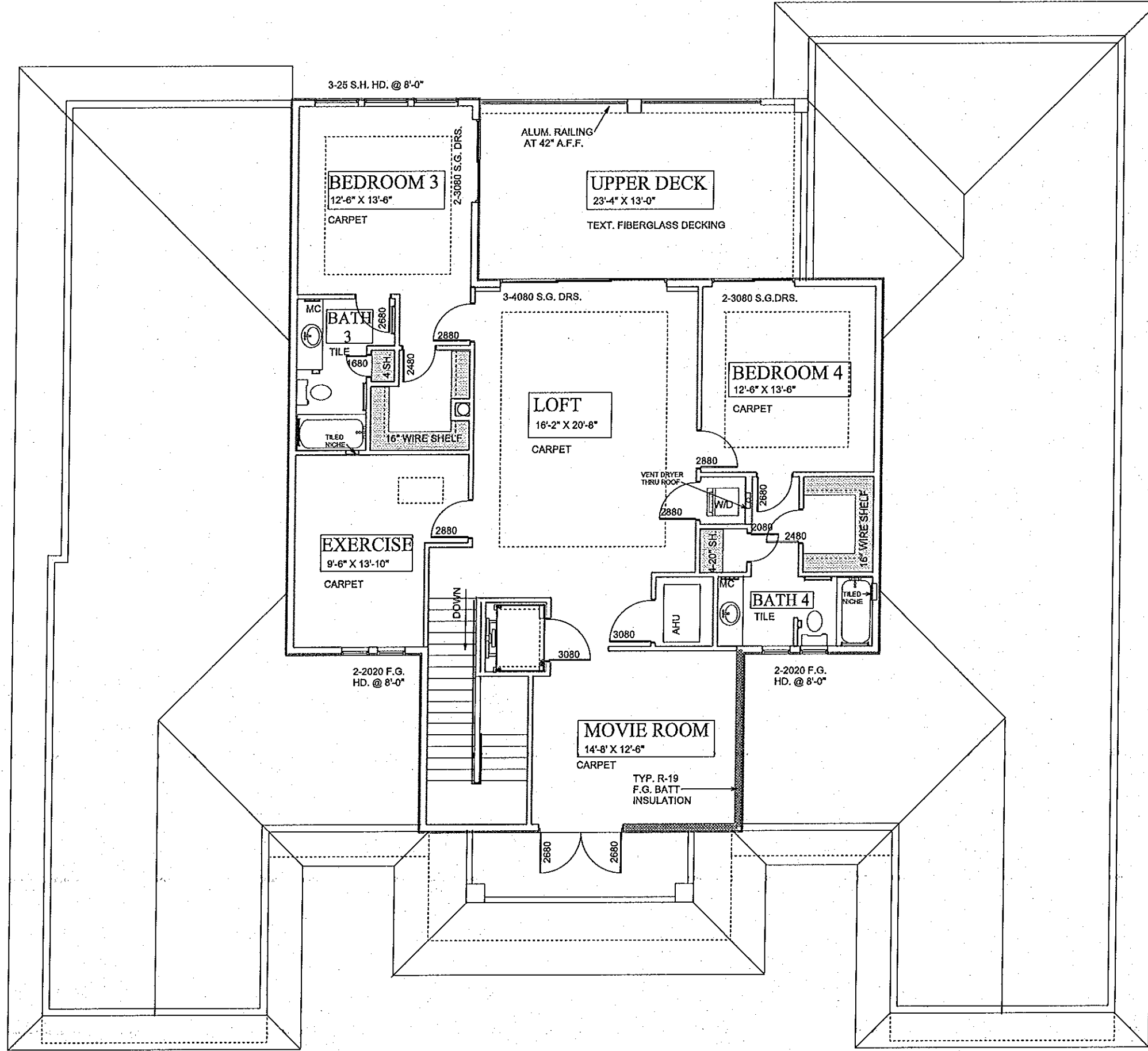
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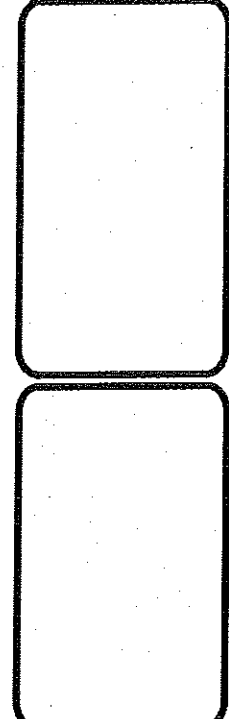
SECOND FLOOR NOTES SCALE 1/8" = 1'-0"

3

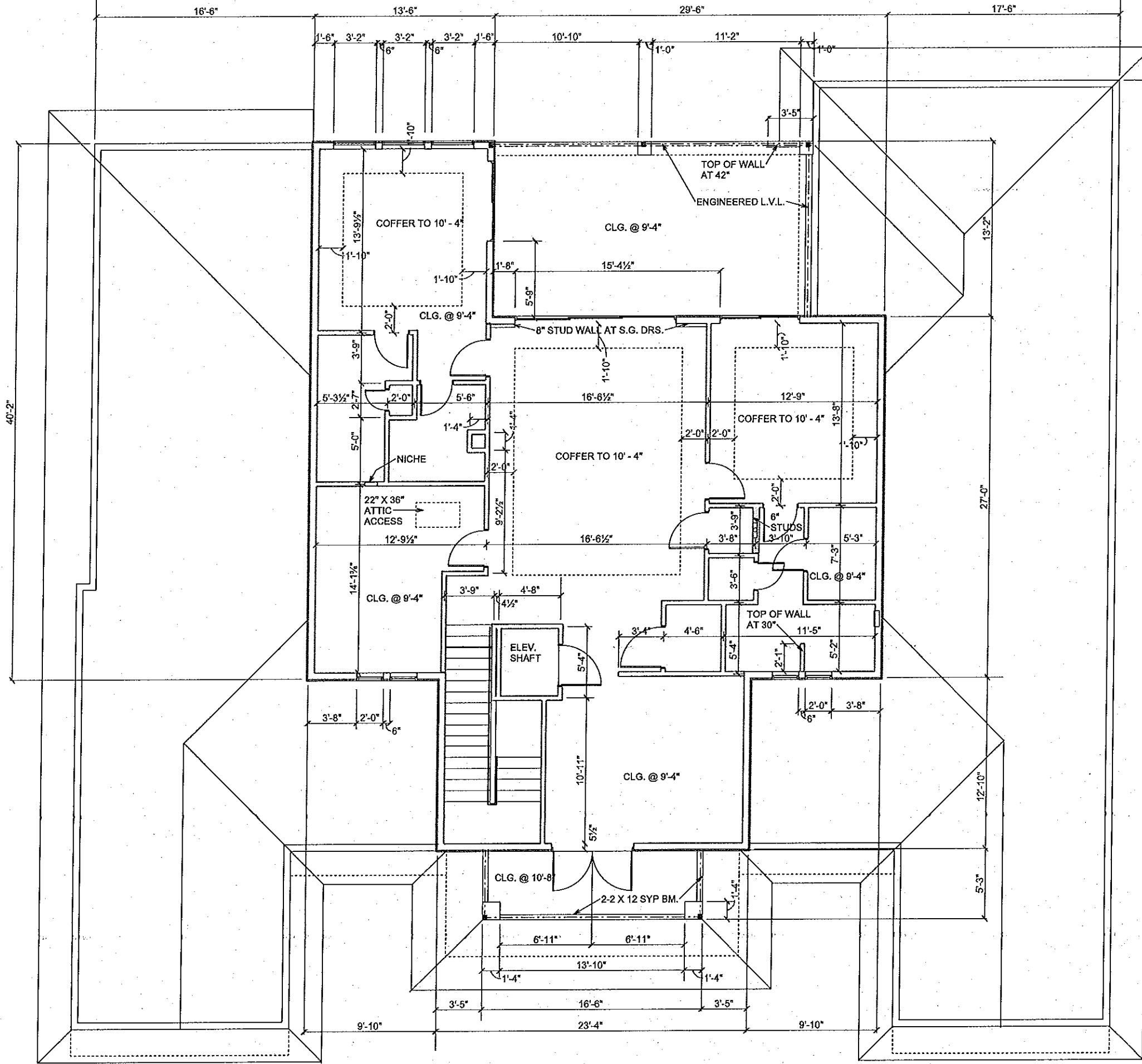
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SECOND FLOOR DIMENSIONS

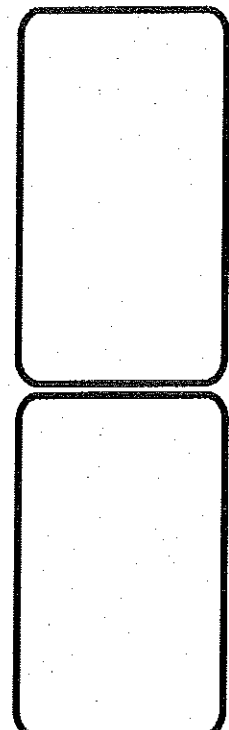
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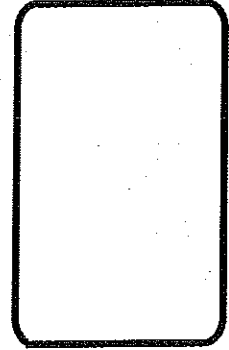
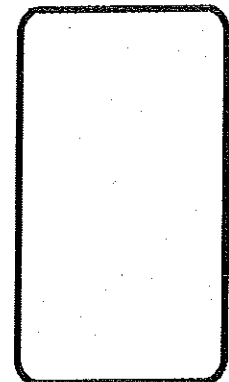




FRONT ELEVATION

SCALE 1/8" = 1'-0"

FRONT ELEVATION



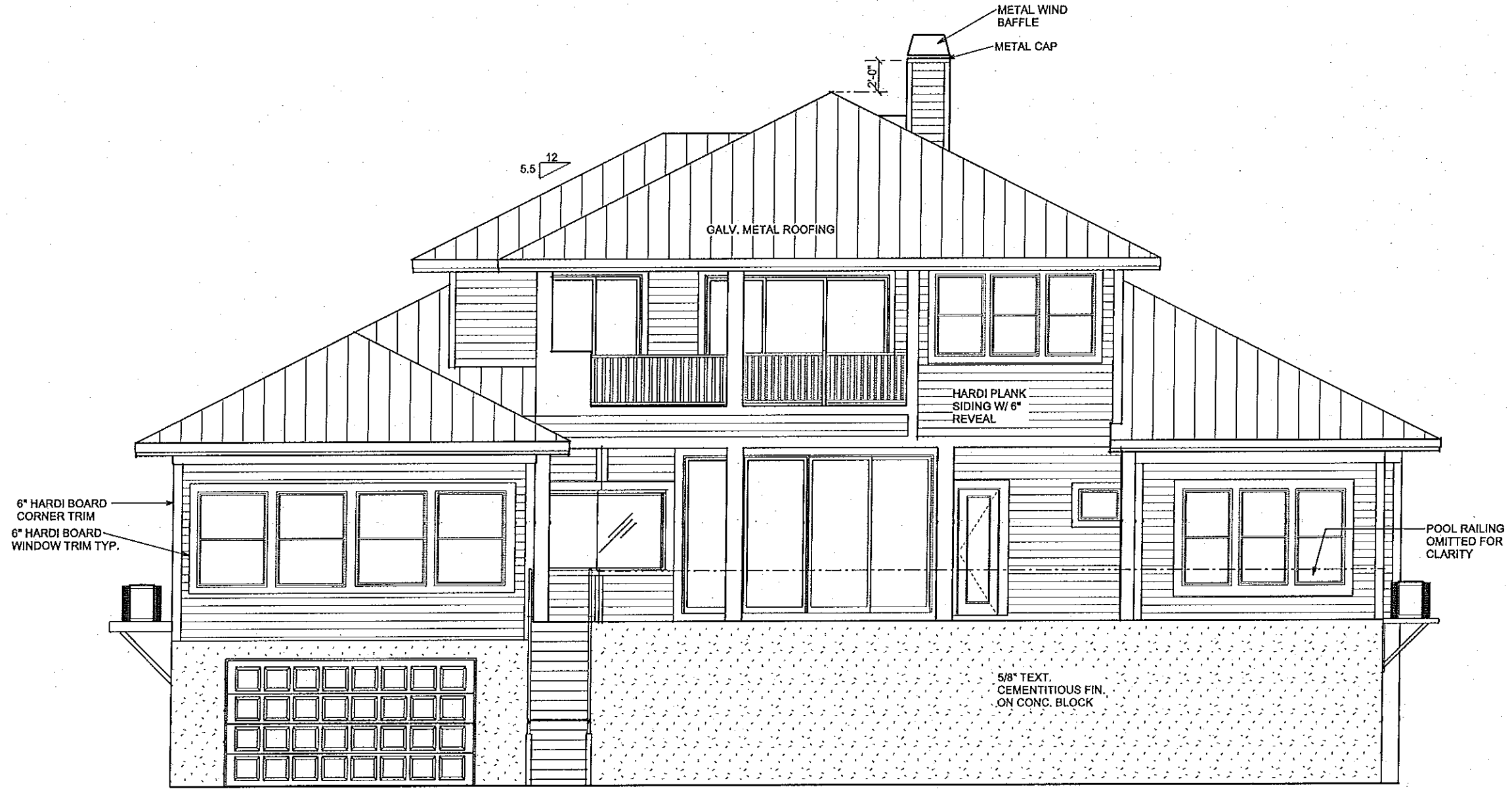
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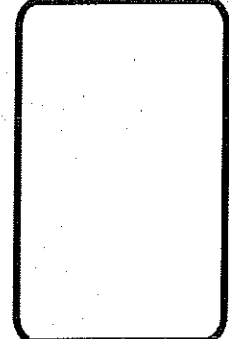
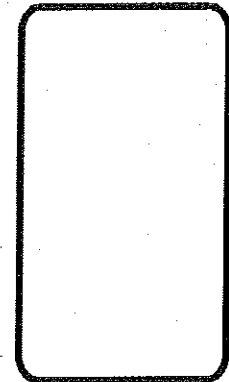
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REAR ELEVATION



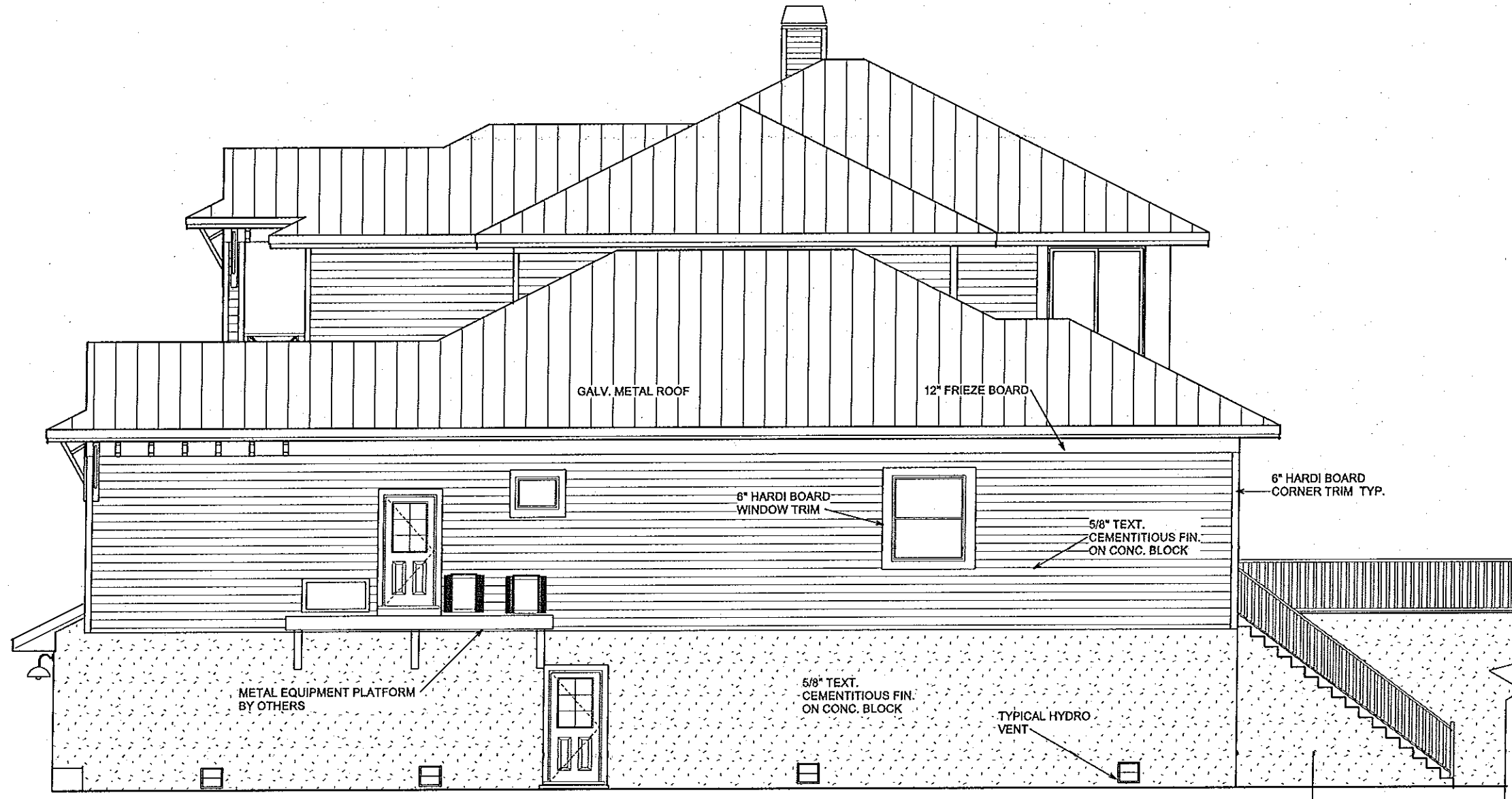
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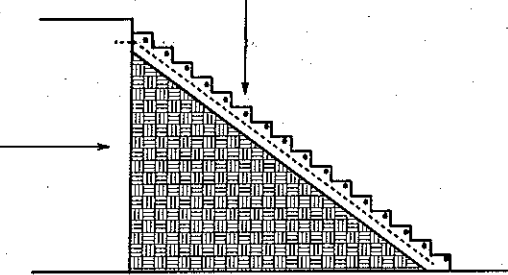
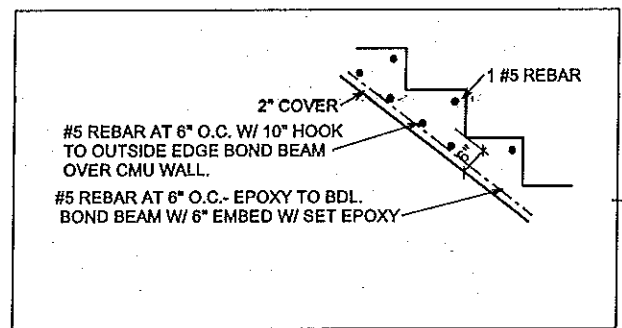
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**4B**

REAR ELEVATION

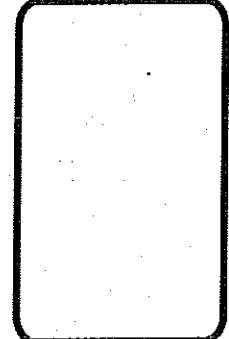
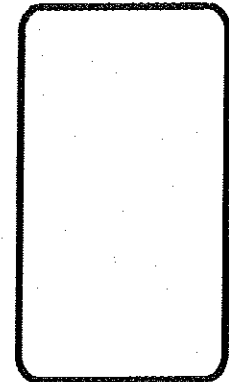


RIGHT SIDE ELEVATION



SCALE 1/8" = 1'-0"

RIGHT SIDE ELEVATION



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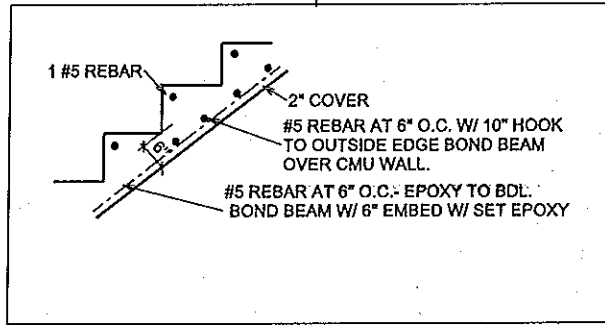
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SECTION A - A



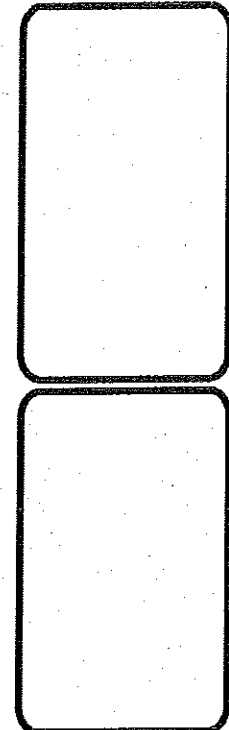
SECTION DETAILS

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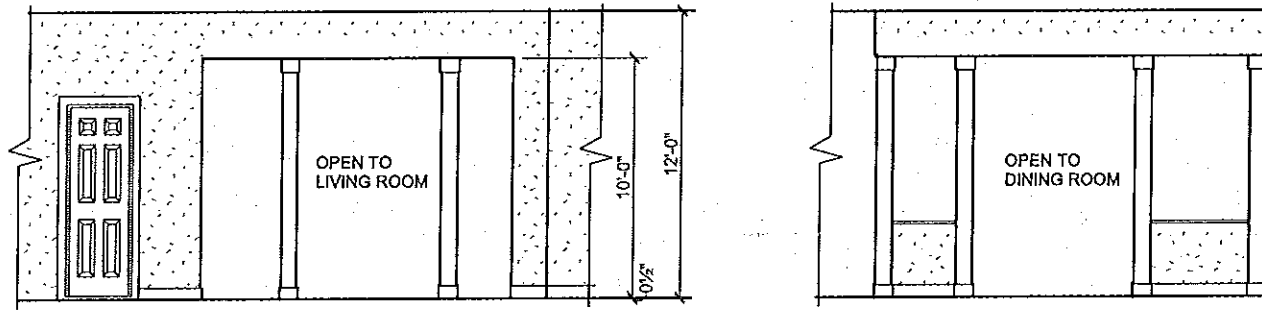
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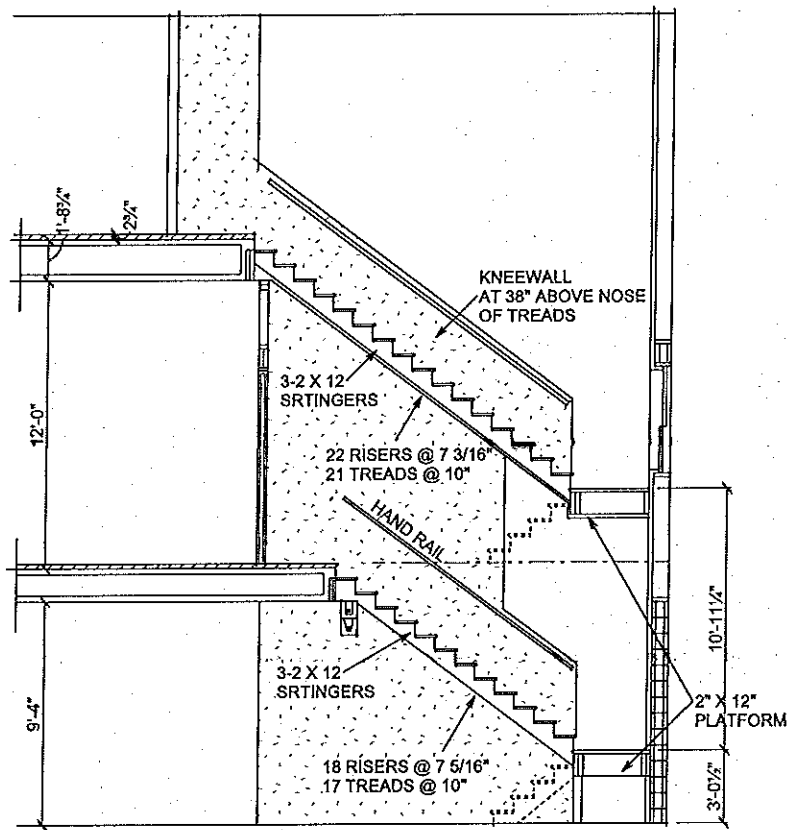
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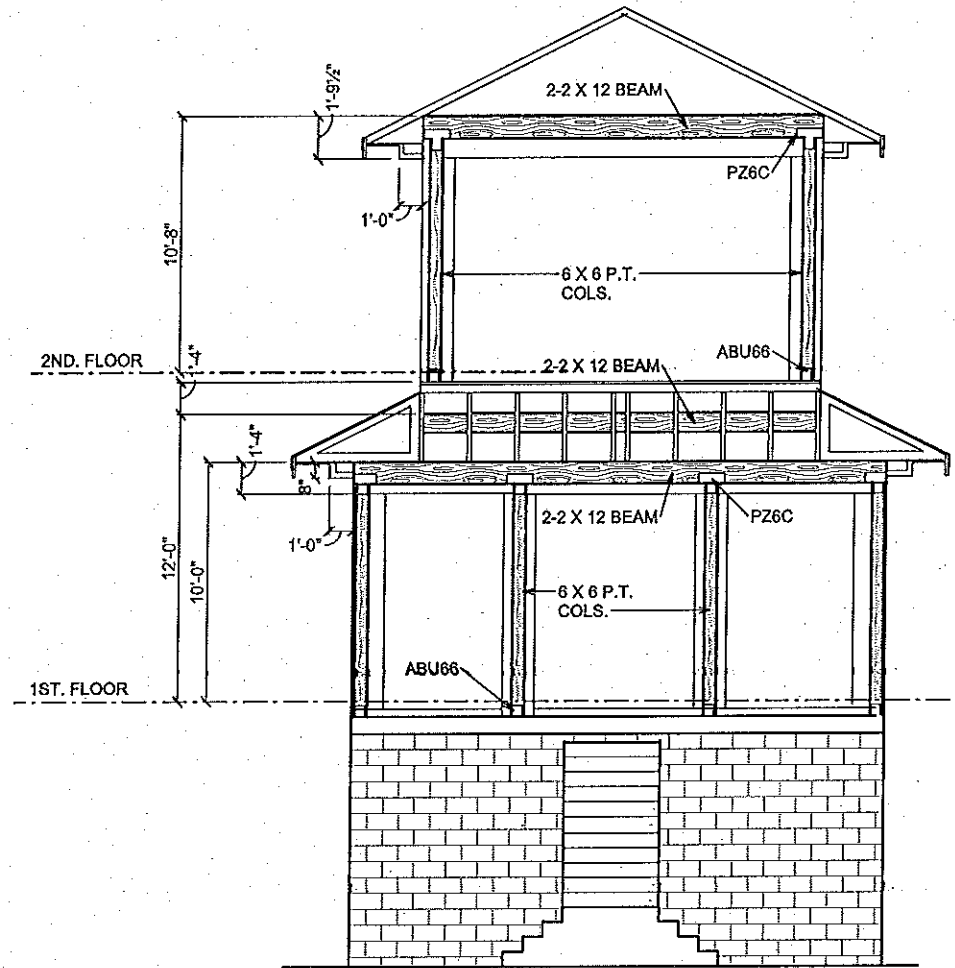
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ENTRY FOYER COLUMN DETAILS



STAIR SECTION B-B



ENTRY TOWER

INTERIOR - EXTERIOR DETAILS SCALE 1/8" = 1'-0"

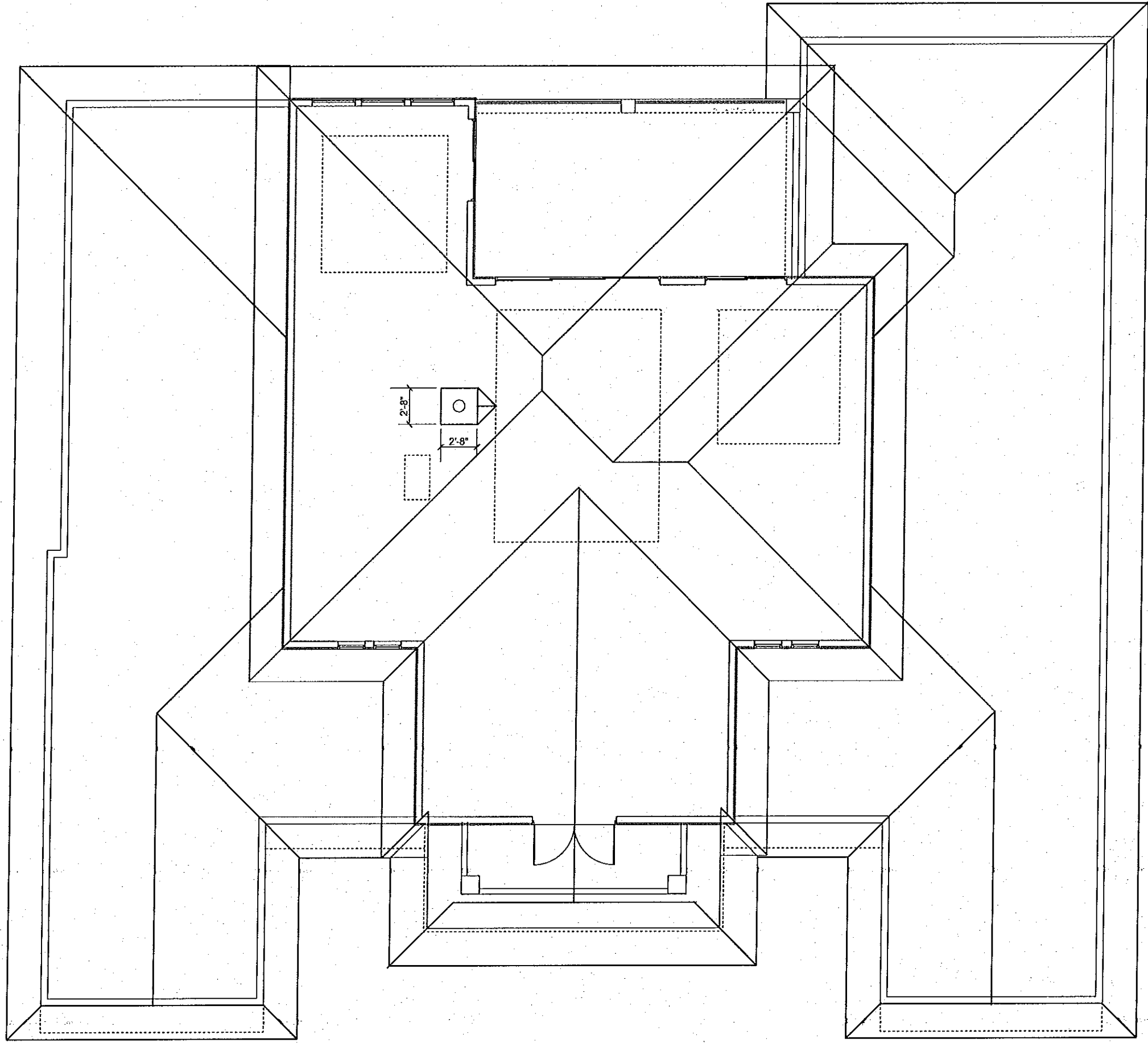
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5A



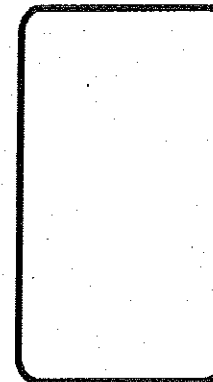
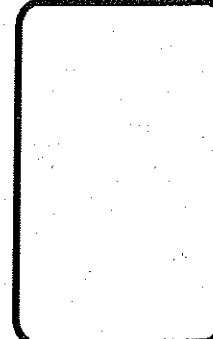
ROOF PLAN SCALE 1/8" = 1'-0"

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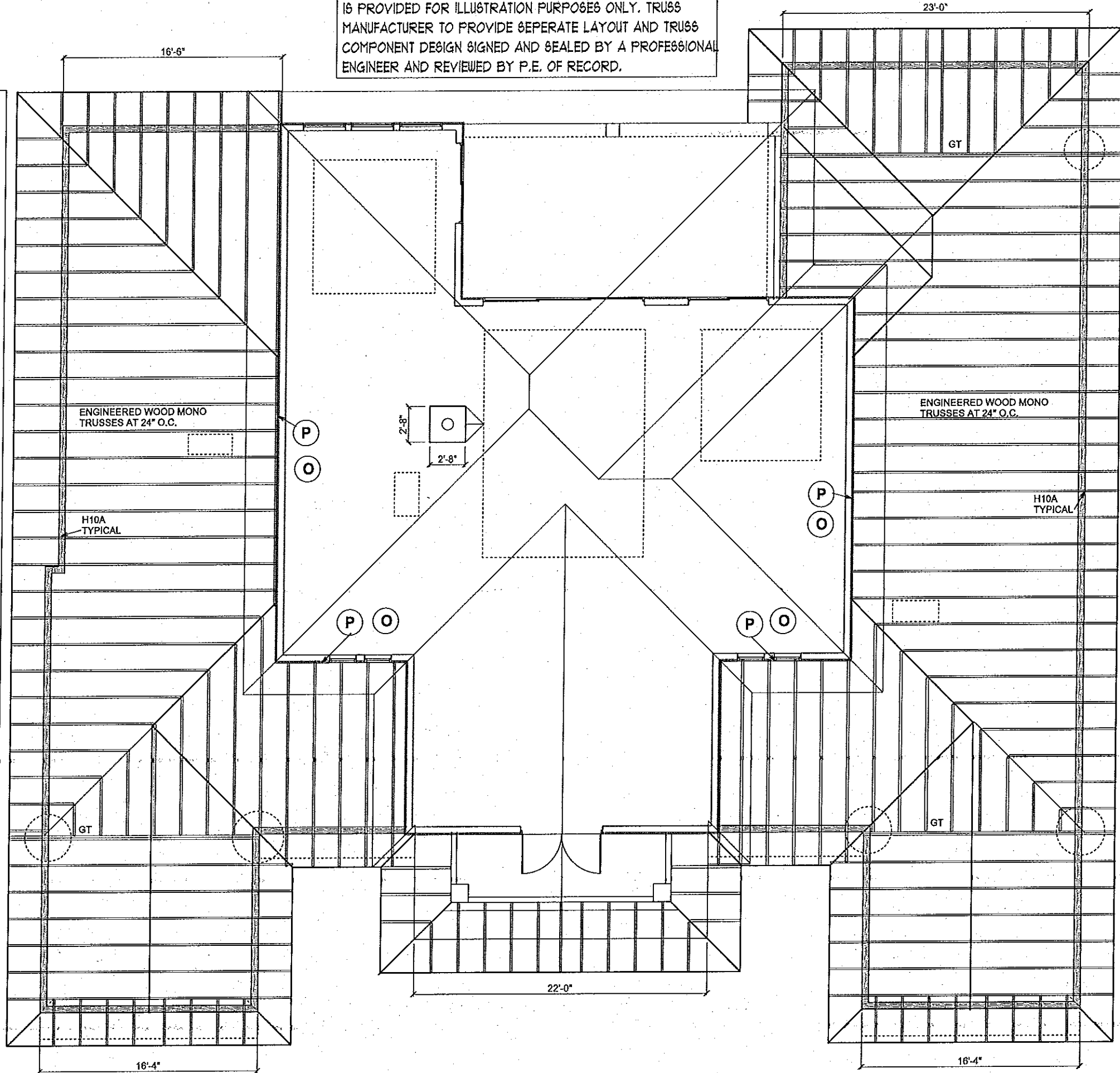


**IMPORTANT NOTE:**

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

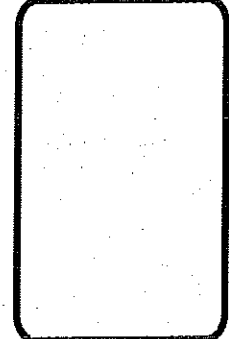
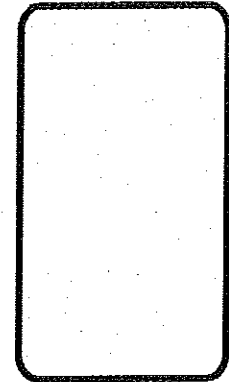
**Connection Notes**

- A. 5 Stud corner column with 3 CS16 to 2<sup>nd</sup> floor 5.25" x 5.25" Versa Lam column below
- B. 5 stud corner column with 3 CS16 to floor girder truss below
- C. 5 Stud corner column with 4 CS14 to beam below
- D. 3 Ply 1.75"x 12" LVL header beam
  - a. 3 Jacks, 2 king studs each end
  - b. 2 CS16 each face, each stud pack to LVL Header
  - c. 2 CS14 each face, each stud pack to beam below
- E. 3 Stud corner with 5.25" sq versa lam column. Versa lam column beneath roof girder truss
  - a. VGT with concealed flange to HTTS - GT to versa lam
  - b. HTTS to HTTS versa lam column to LVL beam below with 5.25" x 7" versa lam 2<sup>nd</sup> floor with 2 HTTS to cmu
- F. 4 Stud corner with 5.25" sq versa lam column. Versa lam column beneath side to side roof girder truss, stud pack beneath front to rear girder
  - a. Side to side triple girder:
    - i. VGT with concealed flange to HTTS - GT to versa lam
    - ii. HTTS to HTTS versa lam column to 5.25" x 7" versa lam column 2<sup>nd</sup> floor with 2 HTTS to cmu
  - b. Front to rear girder
    - i. LGT2 girder to stud pack
    - ii. HTTS stud pack to 5.25" versa lam column 2<sup>nd</sup> floor with HTTS to cmu
- G. 5 stud corner column with 3 CS16 to 5 stud corner column below with HTTS to cmu
- H. 5 Stud corner column with 3 CS16 to beam below
- I. 5 stud corner column with 3 CS16 to 5.25" column below with HTTS to cmu
- J. 3 stud column with LGT2 to GT and 2 CS16 to 3 stud column below with 2 CS16 to LVL beam
- K. 6x6 PT column with 2 CS16 each beam to each column (4 per column) with HTTS to HTTS on 5.25" columns below and HTTS to cmu
- L. 5 Stud corner column with MSTCM60 to cmu
- M. 5.25" versa lam column with 2 LGT2 to column and HTTS to cmu below
- N. 3 Ply 1.75"x 12" LVL upset header beam
  - a. 2 LGT2 GT to LVL header
  - b. 3 jacks, 2 king studs each end
  - c. 2 CS16 each face, each stud pack to LVL Header
  - d. HTTS to cmu below each stud pack
- O. LUS26 bottom chord roof truss to wall, provide 2x6 top chord blocking between trusses for roof sheathing attachment with (2) K" x 3.5" sds screws at each stud crossing and 3 10d toe nails to truss and 10d nails at 3" o.c sheathing attachment to ledger
- P. 2x6 cont. sheathing ledger with (2) K" x 3.5" sds screws at each stud crossing and 10d nails at 3" o.c sheathing attachment to ledger
- Q. MGT3 with (2) 5/8" ATR, 12" embed, Epoxy
- R. 3 pt bearing 2 ply 1.75"x16" LVL beam
  - a. At elevator and stair column - 5.25" sq versa lam columns with (2) HTS16 to beam and HTTS to cmu
  - b. At far right column - 5.25" x 7" versa lam column per Item E above
- S. 2 ply 1.75"x16" LVL header beams at openings
  - a. 2 Jacks, 1 king stud packs
  - b. HTS16 stud pack to header
  - c. CS16 to beam below
- T. 3 Ply 1.75"x 24" LVL header beam
  - a. 5.25" x 7" versa lam jack column each end
  - b. 2 CS14 each face, each column to LVL Header
  - c. HTTS each column to cmu
- U. 5.25" x 7" versa lam column
  - a. 2 CS14 each face, each column to LVL Header
  - b. HTTS each column to cmu
- V. 5.25" sq versa lam column
  - a. 2 CS14 each face, each column to LVL Beam
  - b. HTTS each column to cmu
- W. 5.25" sq versa lam column
  - a. 2 CS14 each face, each column to LVL Beam below
  - b. 2 CS14 each face, each column to roof girder truss above
- X.



SCALE 1/8" = 1'-0"

FIRST FLOOR ROOF TRUSSES



**DEEB RESIDENCE**  
 ...SHORE DRIVE  
 OLDSMAR, FL.

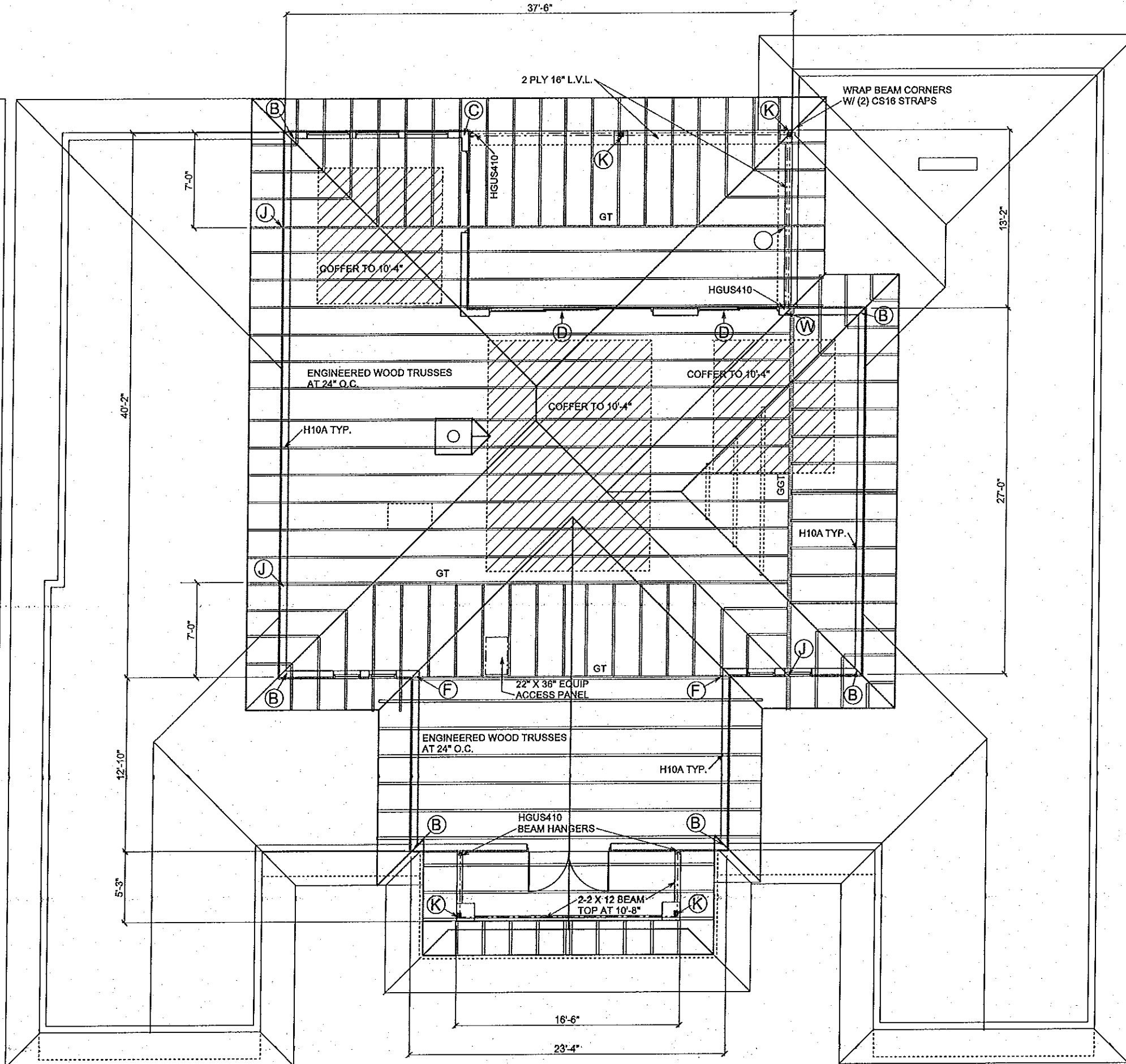
PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL 34655  
 727-376-6831

**6A**

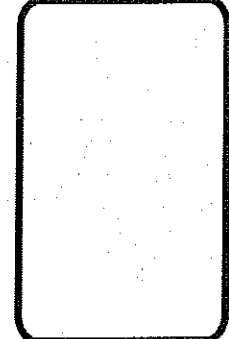
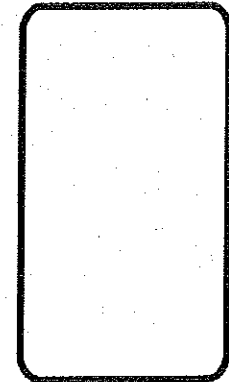


- Connection Notes**
- A. 5 Stud corner column with 3 CS16 to 2<sup>nd</sup> floor 5.25" x 5.25" Versa Lam column below
  - B. 5 Stud corner column with 3 CS16 to floor girder truss below
  - C. 5 Stud corner column with 4 CS14 to beam below
  - D. 3 Ply 1.75" x 12" LVL header beam
    - a. 3 Jacks, 2 king studs each end
    - b. 2 CS16 each face, each stud pack to LVL Header
    - c. 2 CS14 each face, each stud pack to beam below
  - E. 3 Stud corner with 5.25" sq versa lam column. Versa lam column beneath roof girder truss
    - a. VGT with concealed flange to HTTS - GT to versa lam
    - b. HTTS to HTTS versa lam column to LVL beam below with 5.25" x 7" versa lam 2<sup>nd</sup> floor with 2 HTTS to cmu
  - F. 4 Stud corner with 5.25" sq versa lam column. Versa lam column beneath side to side roof girder truss, stud pack beneath front to rear girder
    - a. Side to side triple girder:
      - i. VGT with concealed flange to HTTS - GT to versa lam
      - ii. HTTS to HTTS versa lam column to 5.25" x 7" versa lam column 2<sup>nd</sup> floor with 2 HTTS to cmu
    - b. Front to rear girder
      - i. LGT2 girder to stud pack
      - ii. HTTS stud pack to 5.25" versa lam column 2<sup>nd</sup> floor with HTTS to cmu
  - G. 5 stud corner column with 3 CS16 to 5 stud corner column below with HTTS to cmu
  - H. 5 Stud corner column with 3 CS16 to beam below
  - I. 5 stud corner column with 3 CS16 to 5.25" column below with HTTS to cmu
  - J. 3 stud column with LGT2 to GT and 2 CS16 to 3 stud column below with 2 CS16 to LVL beam
  - K. 6x6 PT column with 2 CS16 each beam to each column (4 per column) with HTTS to HTTS on 5.25" columns below and HTTS to cmu
  - L. 5 Stud corner column with MSTCM60 to cmu
  - M. 5.25" versa lam column with 2 LGT2 to column and HTTS to cmu below
  - N. 3 Ply 1.75" x 12" LVL upset header beam
    - a. 2 LGT2 GT to LVL header
    - b. 3 Jacks, 2 king studs each end
    - c. 2 CS16 each face, each stud pack to LVL Header
    - d. HTTS to cmu below each stud pack
  - O. LUS26 bottom chord roof truss to wall, provide 2x6 top chord blocking between trusses for roof sheathing attachment with (2) K" x 3.5" sds screws at each stud crossing and 3 10d toe nails to truss and 10d nails at 3" o.c. sheathing attachment to ledger
  - P. 2x6 cont. sheathing ledger with (2) K" x 3.5" sds screws at each stud crossing and 10d nails at 3" o.c. sheathing attachment to ledger
  - Q. MGT3 with (2) 5/8" ATR, 12" embed, Epoxy
  - R. 3 pt bearing 2 ply 1.75" x 16" LVL beam
    - a. At elevator and stair column - 5.25" sq versa lam columns with (2) HTS16 to beam and HTTS to cmu
    - b. At far right column - 5.25" x 7" versa lam column per item E above
  - S. 2 ply 1.75" x 16" LVL header beams at openings
    - a. 2 Jacks, 1 king stud packs
    - b. HTS16 stud pack to header
    - c. CS16 to beam below
  - T. 3 Ply 1.75" x 24" LVL header beam
    - a. 5.25" x 7" versa lam jack column each end
    - b. 2 CS14 each face, each column to LVL Header
    - c. HTTS each column to cmu
  - U. 5.25" x 7" versa lam column
    - a. 2 CS14 each face, each column to LVL Header
    - b. HTTS each column to cmu
  - V. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam
    - b. HTTS each column to cmu
  - W. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam below
    - b. 2 CS14 each face, each column to roof girder truss above
  - X.



**IMPORTANT NOTE:**  
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SECOND FLOOR ROOF TRUSSES SCALE 1/8" = 1'-0"



**DEEB RESIDENCE  
 ...SHORE DRIVE  
 OLDSMAR, FL.**

PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

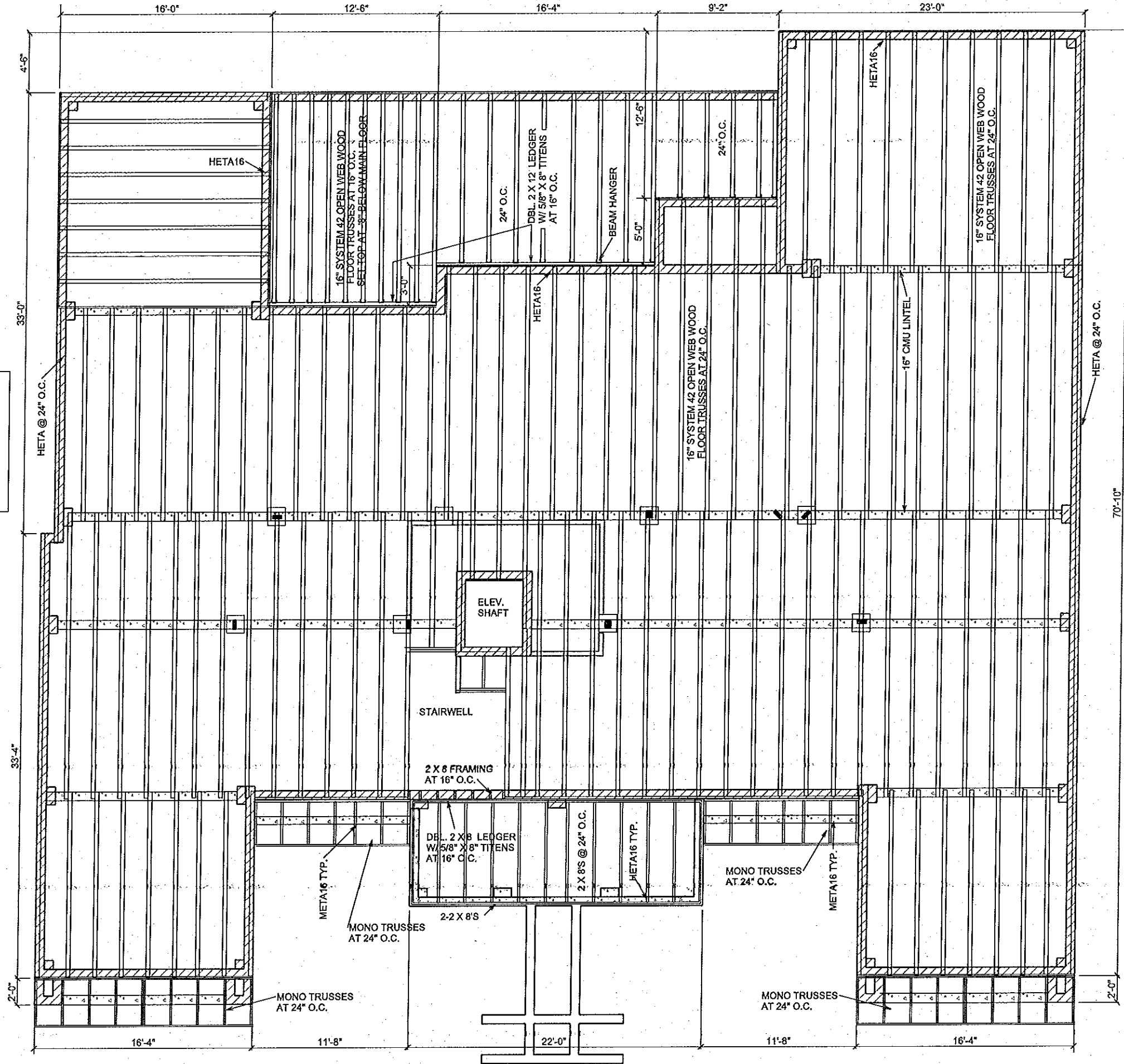
**DEEB FAMILY  
 HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831



**FLOOR TRUSS NOTES:**

- (1) TRUSS TO TRUSS AND TRUSS TO GIRDER CONNECTORS TO BE SPECIFIED BY THE TRUSS MFR'ER.
- (2) MINIMUM LIVE LOADS FROM FLOOR TRUSS DESIGN TO BE BASED ON FBC TABLE 1607.1 FOR ROOM AND AREA USAGE. FOR MIXED USE FLOORS, USE THE LARGEST VALUE OF THE MIN. LIVE LOADS.

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**FLOOR TRUSSES, FIRST FLOOR**

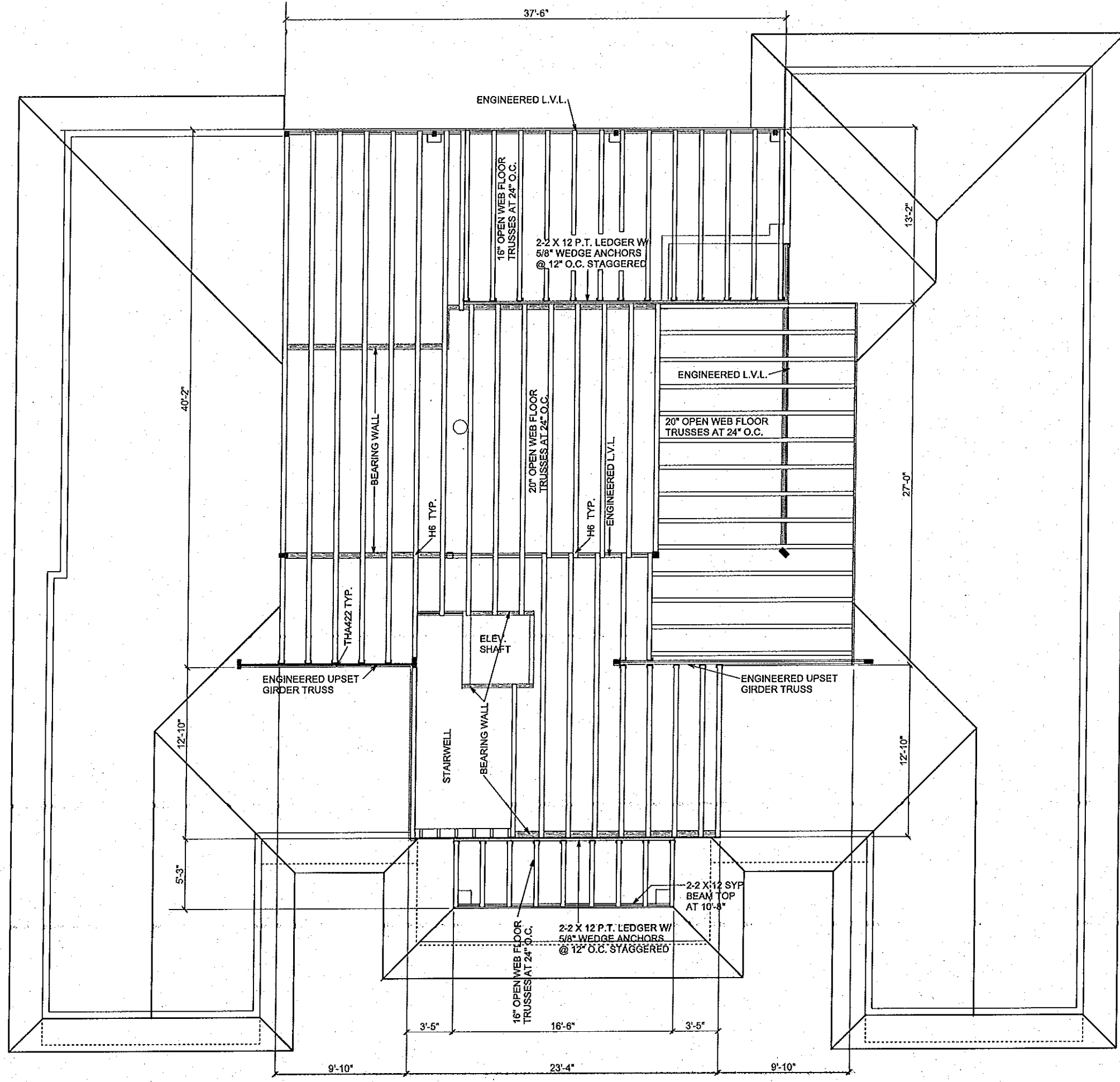
SCALE 1/8" = 1'-0"

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL 34655  
 727-376-6831

**6C**

PLAN DATE
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11-14-18
11-29-18
1-03-19

**DEEB RESIDENCE  
 ...SHORE DRIVE  
 OLDSMAR, FL.**



FLOOR TRUSSES SECOND FLOOR

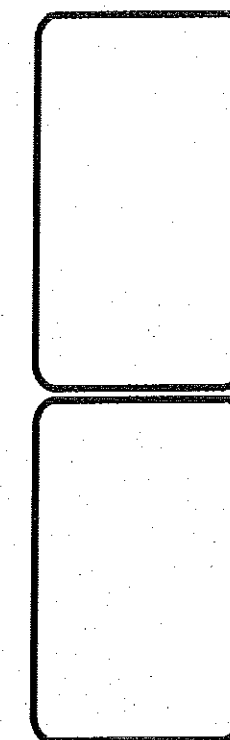
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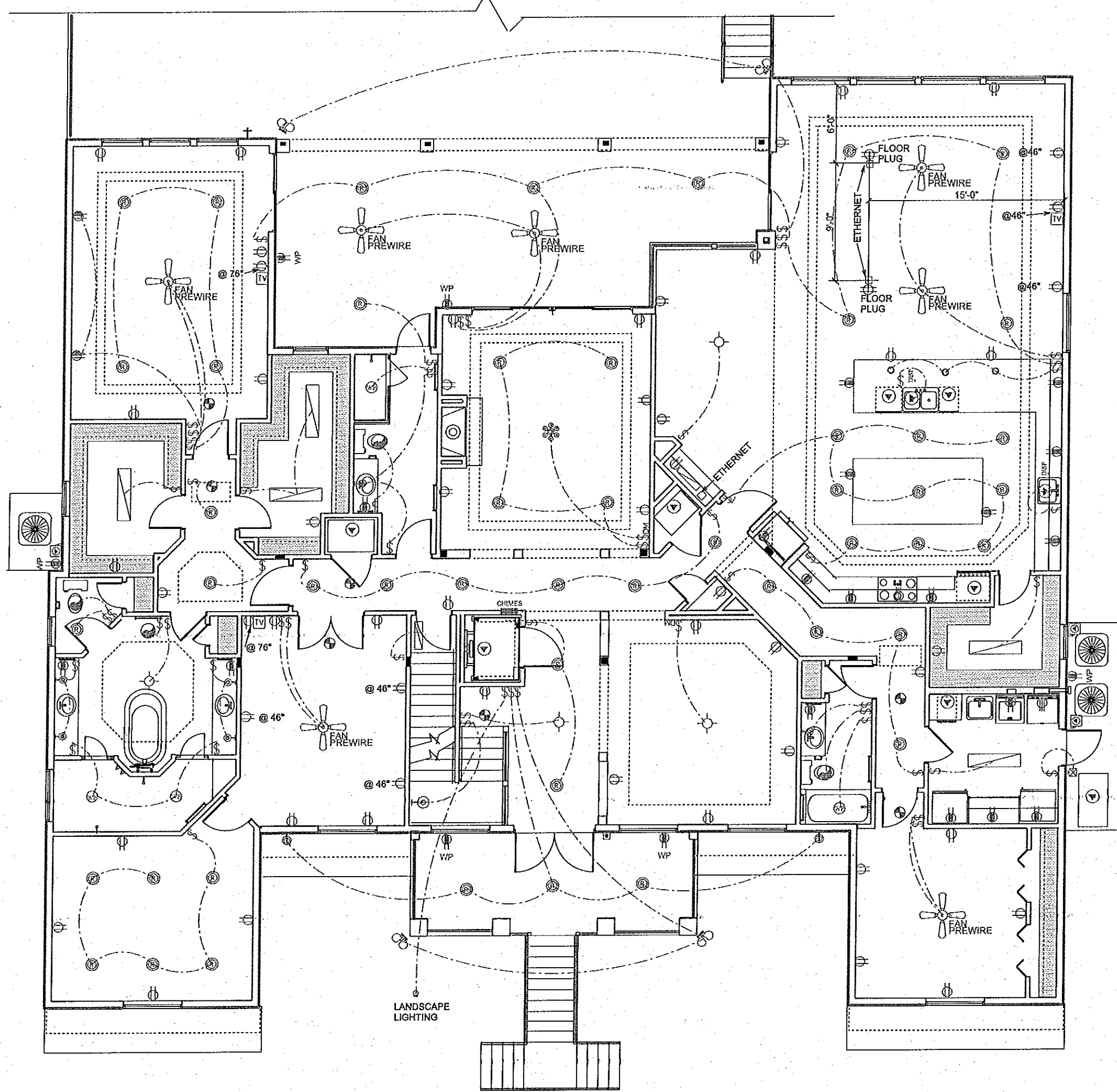
DEEB RESIDENCE  
 ...SHORE DRIVE  
 OLDSMAR, FL.



- ELECTRICAL LEGEND**
- § SINGLE POLE SWITCH
  - §2 DOUBLE POLE SWITCH
  - §3 THREE-WAY SWITCH
  - §4 FOUR-WAY SWITCH
  - DM DIMMER SWITCH
  - ☉ CEILING FIXTURE
  - ☉ SCOUNCE (WALL MOUNTED) FIXTURE
  - ⊕ 110 VOLT DUPLEX OUTLET
  - ⊕ 110 VOLT SPLIT SWITCHED OUTLET
  - ⊕ GROUND FAULT INTERRUPT
  - WP WATER PROOF W/ GROUND FAULT
  - ⊕ 220 VOLT OUTLET
  - ⊕ SPECIAL SERVICES OUTLET
  - TV T.V. CABLE OUTLET
  - ☎ TELEPHONE CABLE OUTLET
  - ⊕ RECESSED LIGHTING
  - ⊕ WATER PROOF RECESSED LIGHTING
  - ⊕ BATH FAN
  - ⊕ BATH FAN W/ LIGHT
  - ☉ SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
  - ☉ FLOOD LIGHT
  - ☉ FLUORESCENT LIGHTING
  - ☉ TRACK LIGHTING
  - ☉ CEILING FAN
  - CHIMES DOOR BELL CHIMES
  - ☎ DOOR BELL
  - ☉ DISPOSAL
  - ☉ DISCONNECT SWITCH
  - ☉ PREWIRE SPEAKER
  - ☉ JUNCTION BOX
  - ☉ THERMOSTAT
  - ☉ LOW VOLTAGE LIGHTING
  - ☉ INTERCOM SYSTEM
  - ☉ GARAGE DOOR PUSH BUTTON

UNLESS OTHERWISE NOTED  
 1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)  
 KITCHEN 42"  
 BATHROOM 42"  
 LAUNDRY 36" WASHER/24" DRYER/ WALL OUTLETS 45"  
 EXTERIOR WATERPROOF @ 12"  
 GARAGE GFI @ 45"  
 RANGE 220V @ 4"  
 2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE  
 3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.  
 5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION R314  
 6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC, SECTION 210-12  
 7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11



**FIRST FLOOR ELECTRICAL PLAN**

SCALE 1/8" = 1'-0"

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL 34655  
 727-376-6831

**PLAN DATE**

11-08-18
11-14-18
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1-03-19

**DEEB RESIDENCE**  
 ...SHORE DRIVE  
 OLDSMAR, FL.

**7**

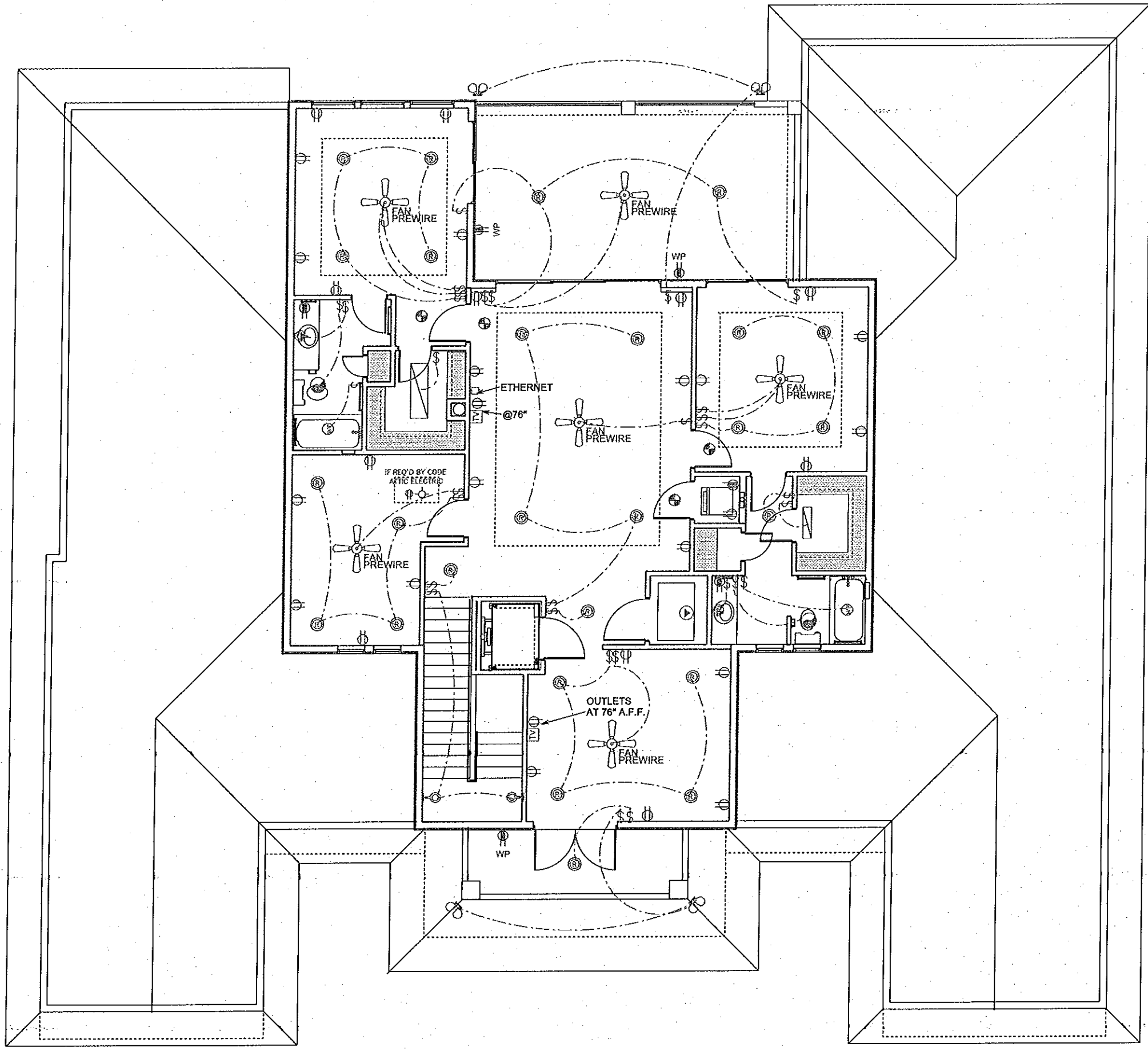
**ELECTRICAL LEGEND**

- ⌚ SINGLE POLE SWITCH
- ⌚2 DOUBLE POLE SWITCH
- ⌚3 THREE-WAY SWITCH
- ⌚4 FOUR-WAY SWITCH
- ⌚DM DIMMER SWITCH
- ⊙ CEILING FIXTURE
- ⊙ SCOUNCE (WALL MOUNTED) FIXTURE
- ⊕ 110 VOLT DUPLEX OUTLET
- ⊕ 110 VOLT SPLIT SWITCHED OUTLET
- ⊕ GROUND FAULT INTERRUPT
- ⊕ WP WATER PROOF W/ GROUND FAULT
- ⊕ 220 VOLT OUTLET
- ⊕ SPECIAL SERVICES OUTLET
- ⊕ TV T.V. CABLE OUTLET
- ⊕ TELEPHONE CABLE OUTLET
- ⊕ RECESSED LIGHTING
- ⊕ WATER PROOF RECESSED LIGHTING
- ⊕ BATH FAN
- ⊕ BATH FAN W/ LIGHT

- ⊕ SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
- ⊕ FLOOD LIGHT
- ⊕ FLUORESCENT LIGHTING
- ⊕ TRACK LIGHTING
- ⊕ CEILING FAN
- ⊕ CHIMES DOOR BELL CHIMES
- ⊕ DOOR BELL
- ⊕ DISP DISPOSAL
- ⊕ DISCONNECT SWITCH
- ⊕ PREWIRE SPEAKER
- ⊕ JUNCTION BOX
- ⊕ THERMOSTAT
- ⊕ LOW VOLTAGE LIGHTING
- ⊕ INTERCOM SYSTEM
- ⊕ GARAGE DOOR PUSH BUTTON

UNLESS OTHERWISE NOTED  
 1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)  
 KITCHEN 42"  
 BATHROOM 42"  
 LAUNDRY 36" WASHER/ 24" DRYER/ WALL OUTLETS 45"  
 EXTERIOR WATERPROOF @ 12"  
 GARAGE GFI @ 45"  
 RANGE 220V @ 4"  
 2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE  
 3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.  
 5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION R314  
 6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC, SECTION 210-12  
 7. ALL RECEPICALS TO BE TAMPER PROOF PER SECT. 406.11



**SECOND FLOOR ELECTRICAL**

SCALE 1/8" = 1'-0"

**7A**

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE
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**DEEB RESIDENCE**  
 ...SHORE DRIVE  
 OLDSMAR, FL.

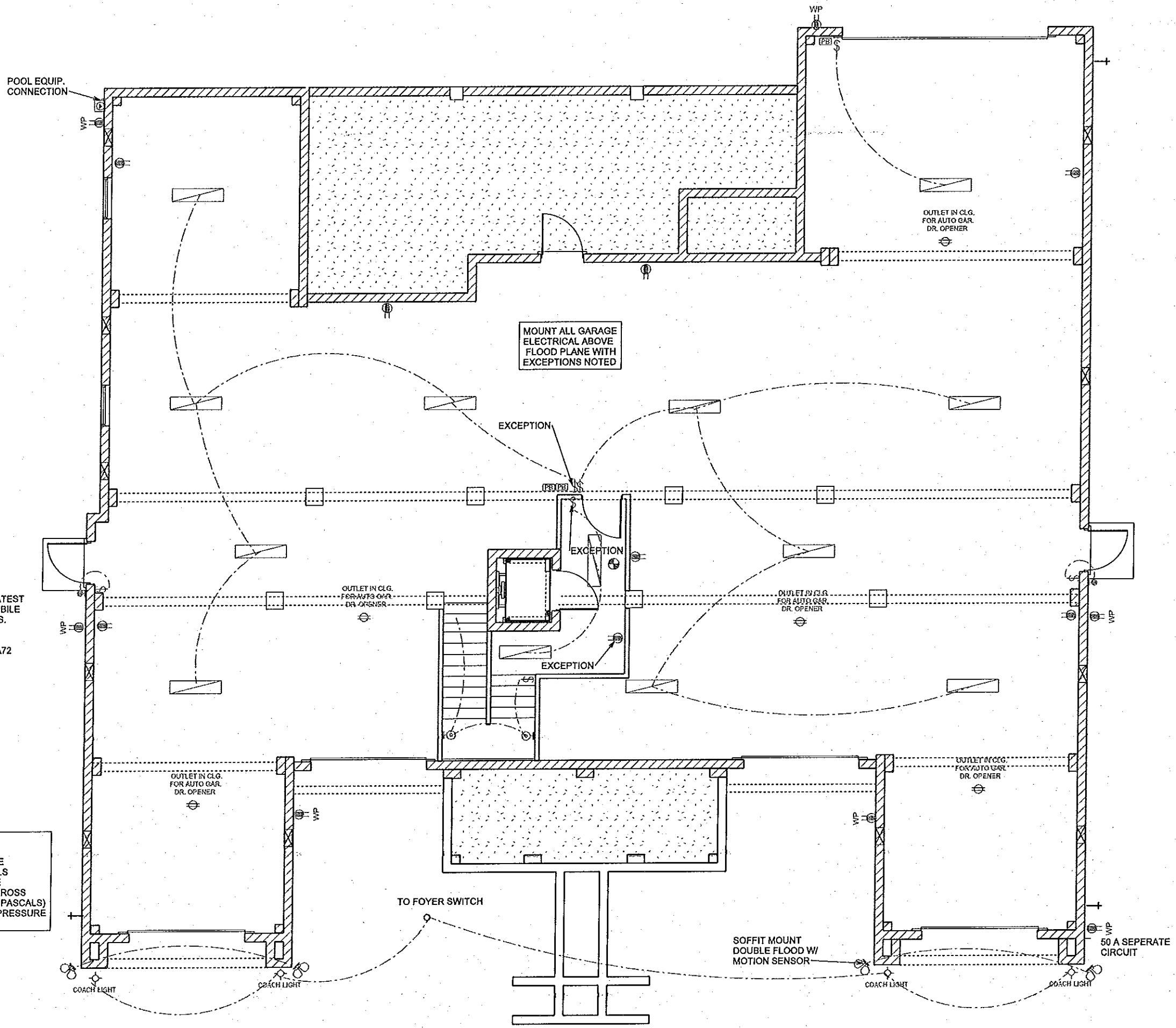
**ELECTRICAL LEGEND**

1	SINGLE POLE SWITCH		SMOKE DETECTOR
2	DOUBLE POLE SWITCH		CARBON DIOXIDE DETECTOR
3	THREE-WAY SWITCH		FLOOD LIGHT
4	FOUR-WAY SWITCH		FLUORESCENT LIGHTING
DM	DIMMER SWITCH		TRACK LIGHTING
	CEILING FIXTURE		CEILING FAN
	SCONCE (WALL MOUNTED) FIXTURE		DOOR BELL CHIMES
	110 VOLT DUPLEX OUTLET		DOOR BELL
	110 VOLT SPLIT SWITCHED OUTLET		DISPOSAL
	GROUND FAULT INTERRUPT		DISCONNECT SWITCH
	WATER PROOF W/ GROUND FAULT		PREHIRE SPEAKER
	220 VOLT OUTLET		JUNCTION BOX
	SPECIAL SERVICES OUTLET		THERMOSTAT
	T.V. CABLE OUTLET		LOW VOLTAGE LIGHTING
	TELEPHONE CABLE OUTLET		INTERCOM SYSTEM
	RECESSED LIGHTING		GARAGE DOOR PUSH BUTTON
	WATER PROOF RECESSED LIGHTING		
	BATH FAN		
	BATH FAN W/ LIGHT		

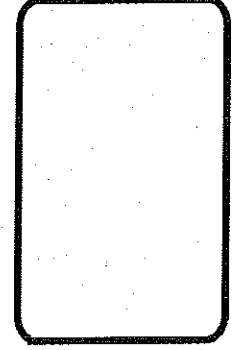
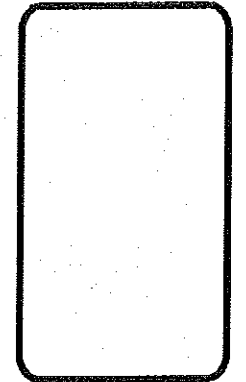
- NOTES:**
- UNLESS OTHERWISE NOTED, ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)
  - KITCHEN 42"
  - BATHROOM 42"
  - AUDRY 36" WASHER/ 24" DRYER/ WALL OUTLETS 45"
  - EXTERIOR WATERPROOF @ 12"
  - GARAGE GFI @ 45"
  - RANGE 220V @ 4"
  - ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
  - ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
  - THIS ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.
  - SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, R314, UL217 NFPA72 AND SECTION 907.2.11.1 & NFPA72
  - PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL AREAS PER NEC, SECTION 210-12
  - ALL RECEPTALS TO BE TAMPER PROOF PER SECT 406.11

**NOTE:**  
 PER SECTION 501.2 MECH CODE 2004- THE AIR REMOVED BY MECHANICAL EXHAUST SYSTEM SHALL BE DISCHARGED OUTDOORS AT A POINT WHERE IT WILL NOT CAUSE A NUISANCE AND FROM WHICH IT CANNOT AGAIN BE READILY DRAWN IN BY A VENTILATING SYSTEM. AIR SHALL NOT BE EXHAUSTED INTO AN ATTIC OR CRAWL SPACE.

**NOTE:**  
 PER SECT 601.4 BALANCED RETURN AIR. PROVISIONS SHALL BE MADE TO AVOID UNBALANCED AIR FLOWS AND PRESSURE DIFFERENTIALS CAUSED BY RESTRICTED RETURN AIR. PRESSURE DIFFERENTIALS ACROSS CLOSED DOORS WHERE RETURNS ARE CENTRALLY LOCATED SHALL BE LIMITED TO 0.01 INCH WC (2.5 PASCALS) OR LESS. PRESSURE DIFFERENTIALS ACROSS REWALLS IN CEILING SPACE PLENUMS SHALL BE LIMITED TO 0.01 INCH WC (2.5 PASCALS) BY PROVIDING AIR DUCT PATHWAYS OR AIR TRANSFER PATHWAYS FROM HIGH PRESSURE ZONES TO THE LOW ZONES



GROUND FLOOR ELECTRICAL 1/8" = 1'-0"

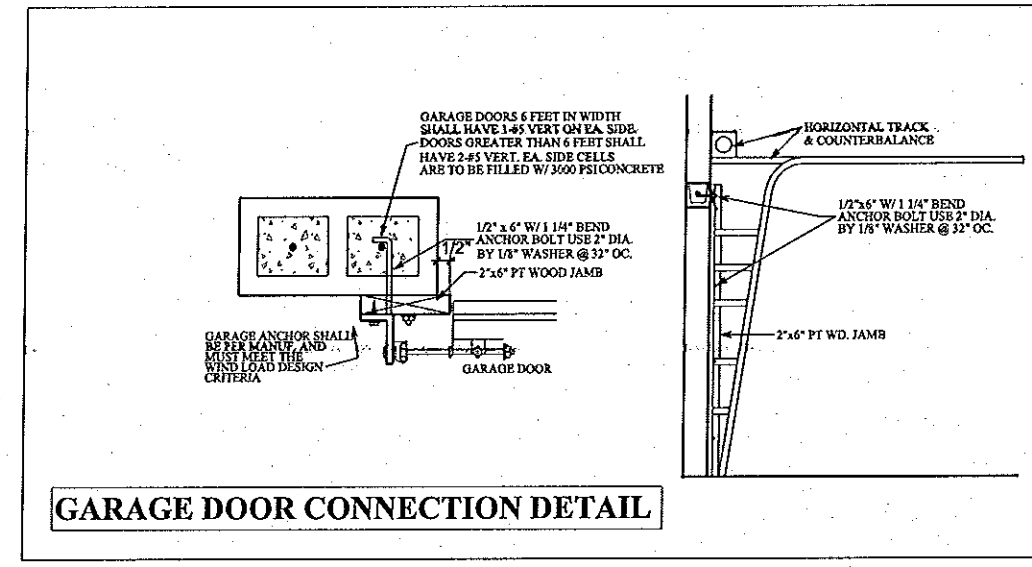
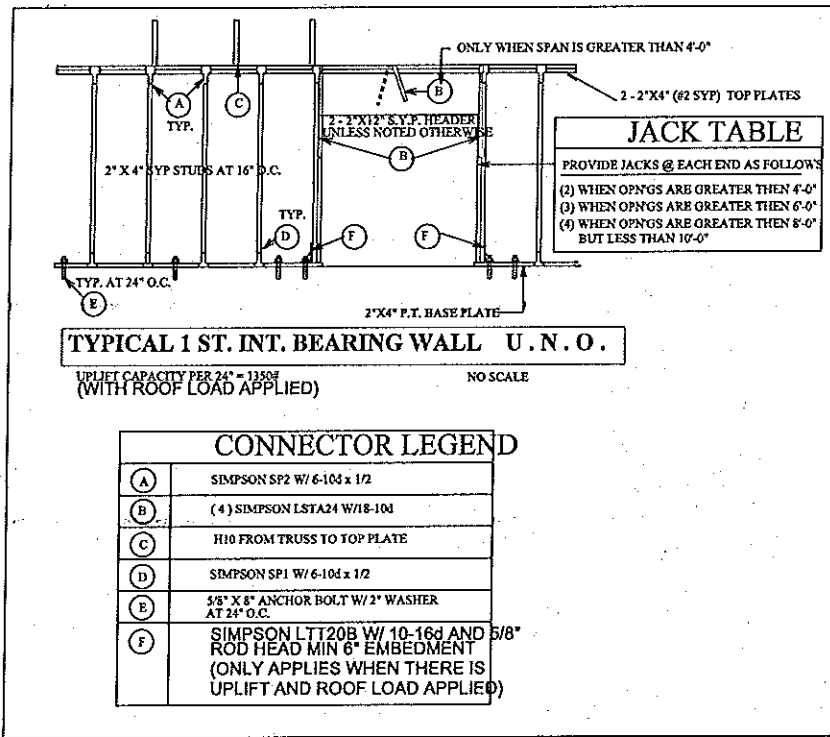
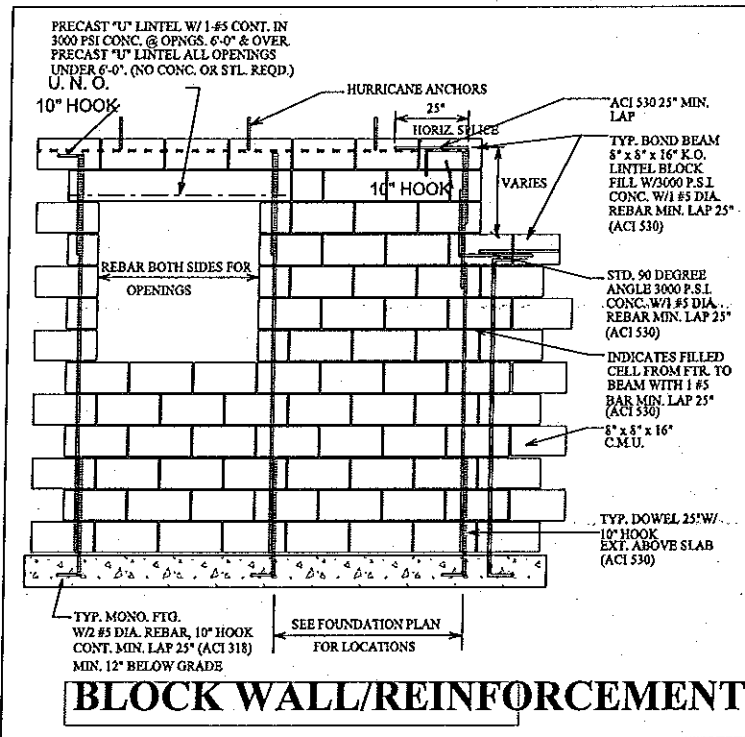
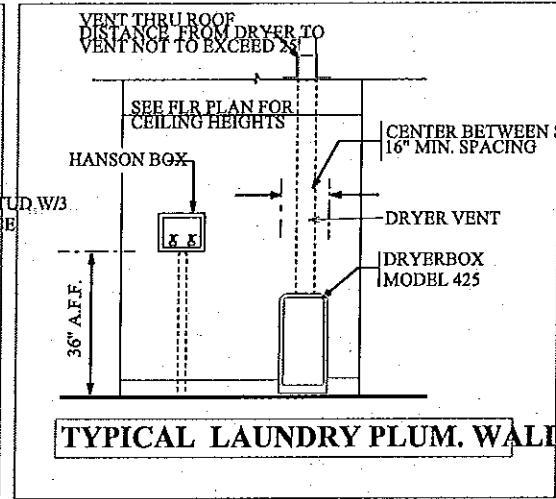
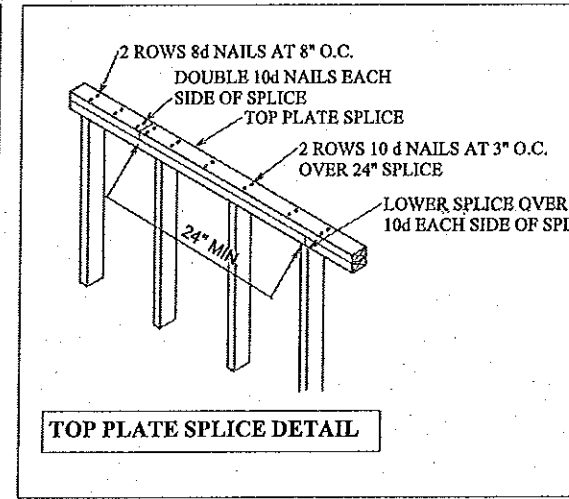
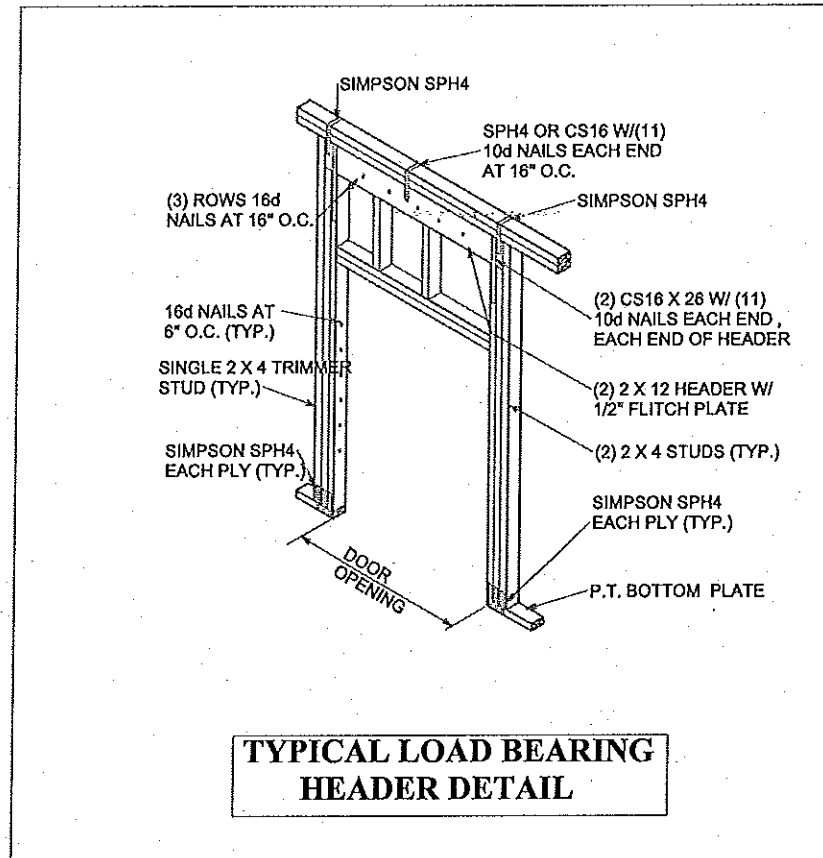
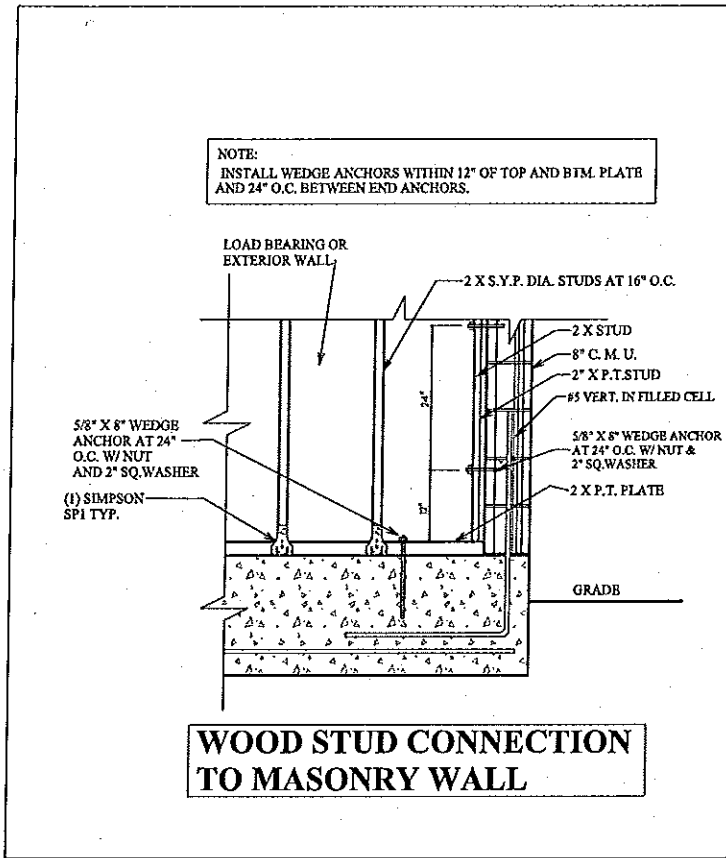


**DEEB RESIDENCE  
 ...SHORE DRIVE  
 OLDSMAR, FL.**

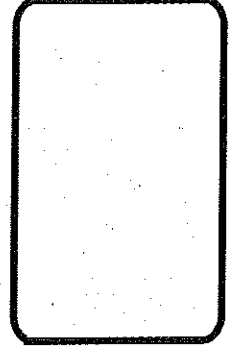
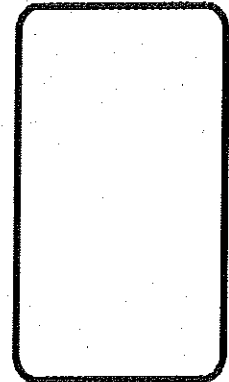
PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

**DEEB FAMILY  
 HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831





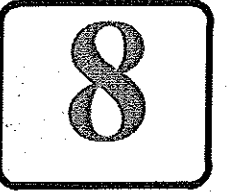
CONSTRUCTION DETAILS



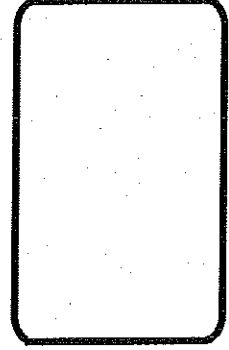
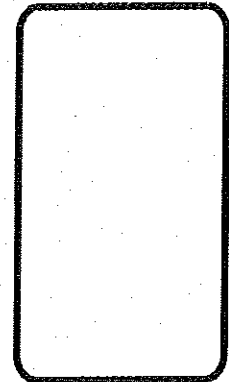
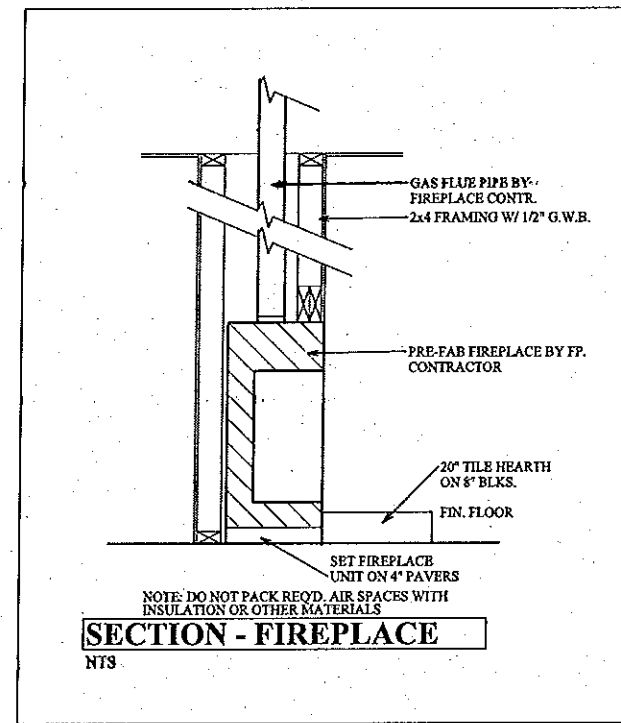
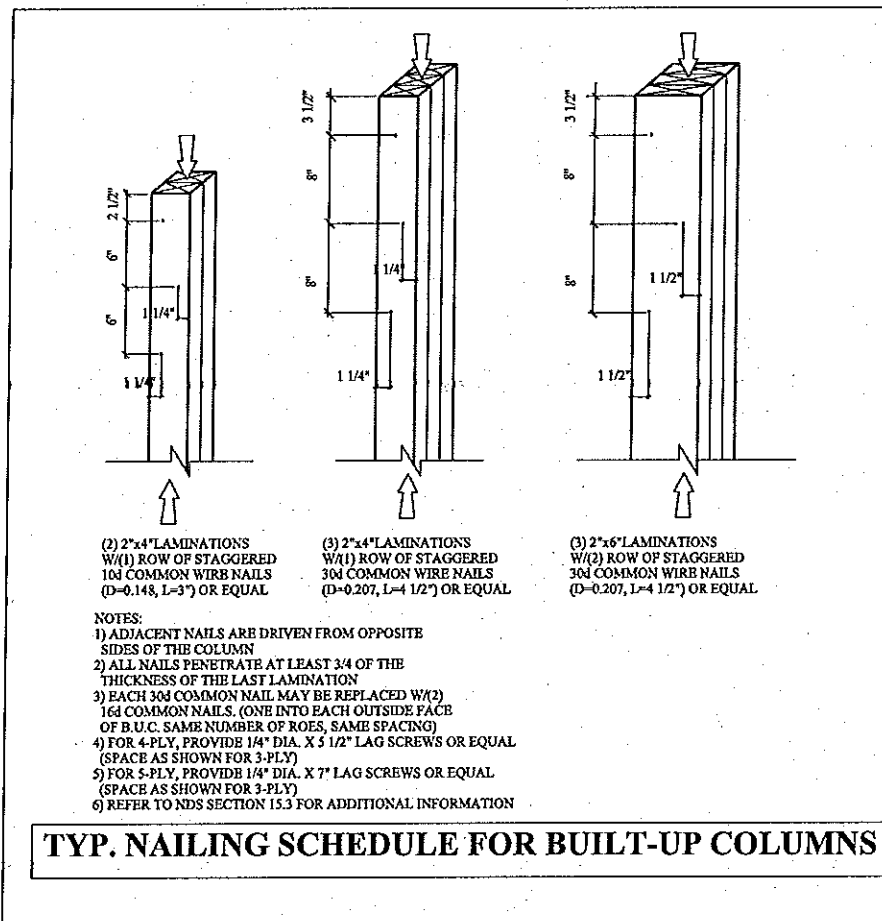
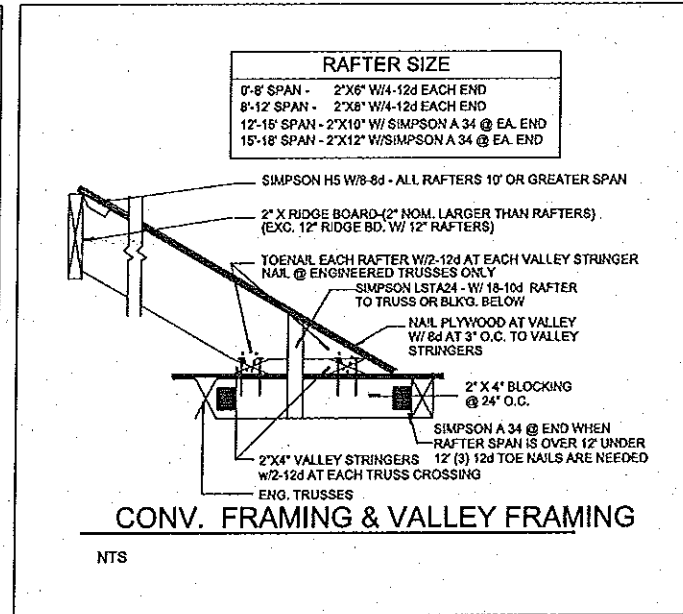
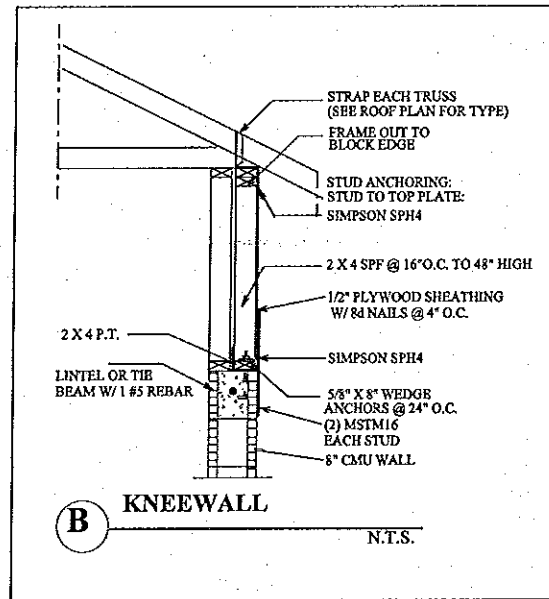
DEEB RESIDENCE  
...SHORE DRIVE  
OLDSMAR, FL.

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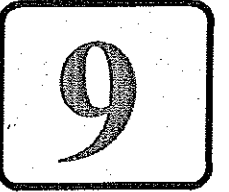




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...SHORE DRIVE  
OLDSMAR, FL.**

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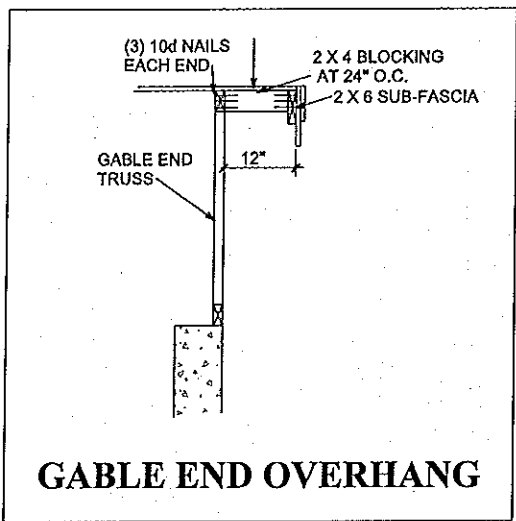
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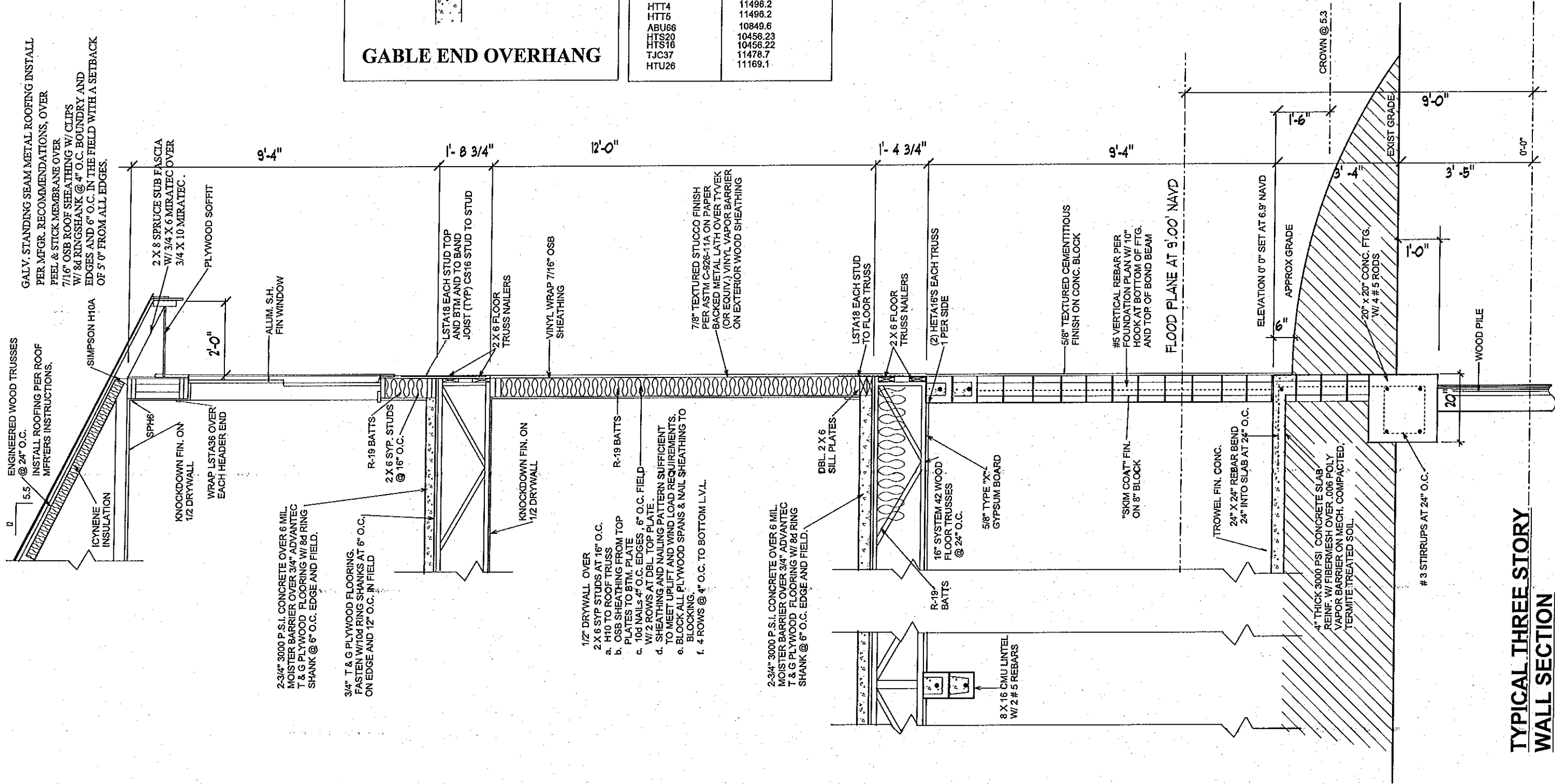
**CONST. DETAILS**



# CONNECTOR TABLE



SIMPSON	FLORIDA PRODUCT NUMBERS PER INDEX 2-25-2011
MBHA3.56/11.88	10866.12
H2	10456.10
H10	10456.6
LGT2	11470.6
MGT	11470.7
LSTA18	10852.4
LSTA24	10852.4
SP1	10456.41
SP2	10456.42
META16	11473.17
L30	10446.11
MSTAM24	11473.19
MSTAM36	11473.19
MSTCM60	11473.19
CS16	10852.1
SPH4	10456.46
SPH6	10456.47
HTT4	11496.2
HTT5	11496.2
ABU66	10849.6
HTS20	10456.23
HTS16	10456.22
TJC37	11478.7
HTU26	11169.1



## TYPICAL THREE STORY WALL SECTION

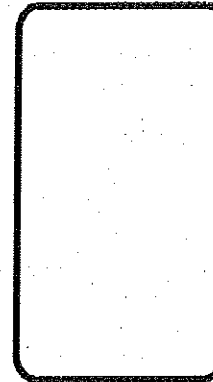
**10**

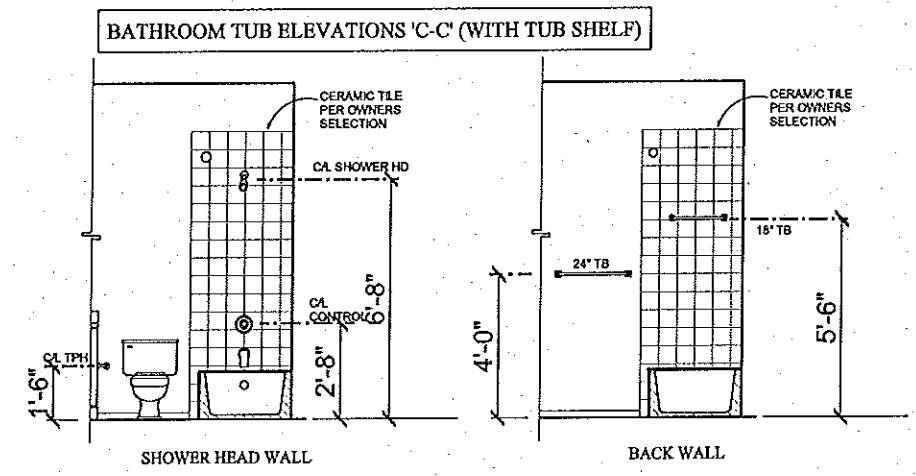
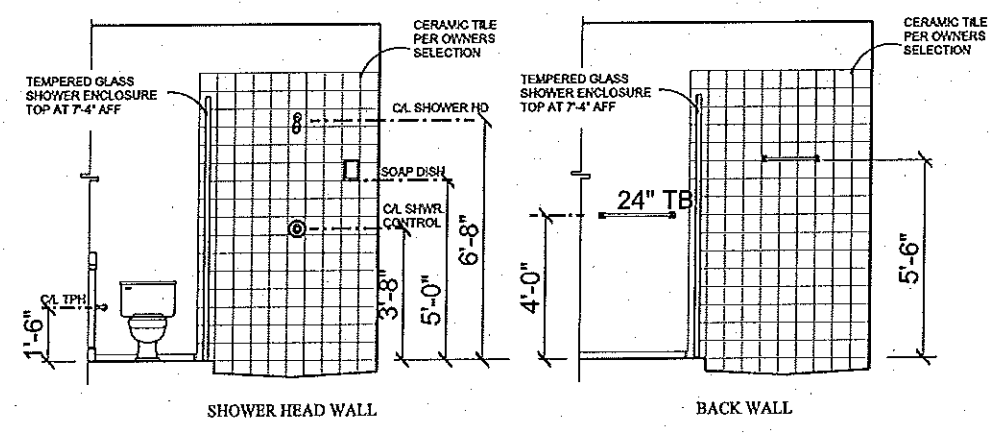
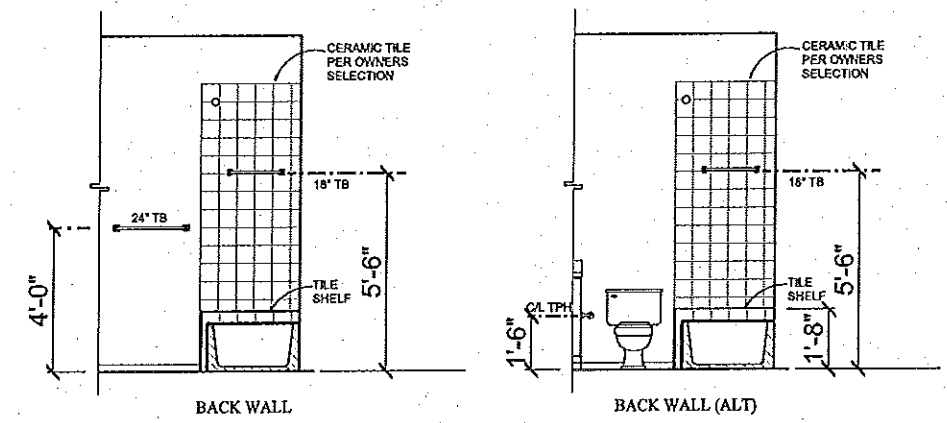
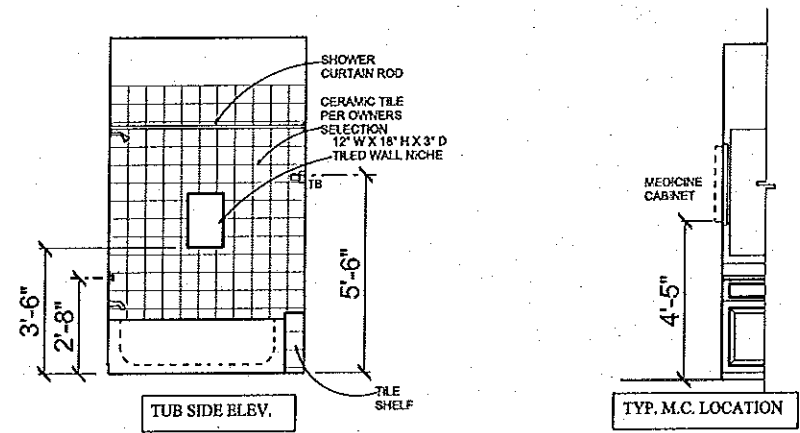
DEEB FAMILY HOMES, LTD.  
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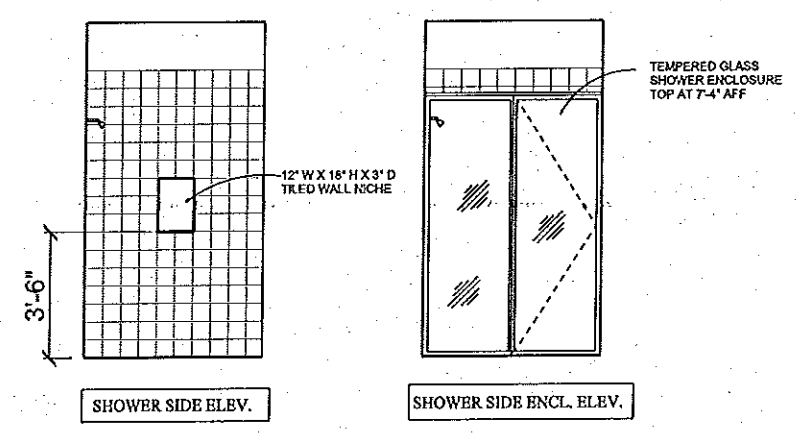
11-08-18
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DEEB RESIDENCE  
 ...SHORE DRIVE  
 OLDSMAR, FL.

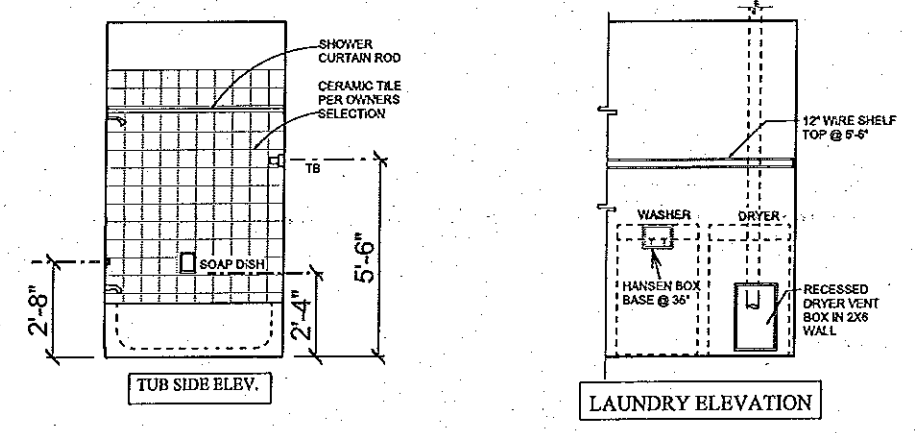




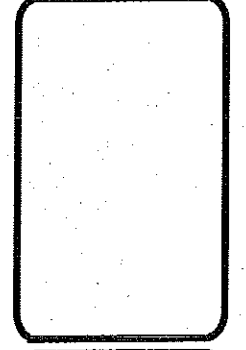
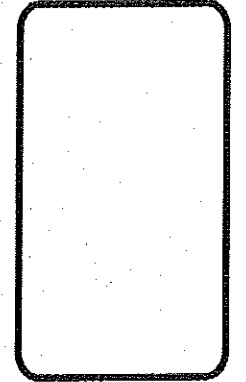
**BATHROOM SHOWER ELEVATIONS 'A-A'**



**BATHROOM TUB ELEVATIONS 'B-B'**



TYPICAL INTERIOR BATHROOM DETAILS

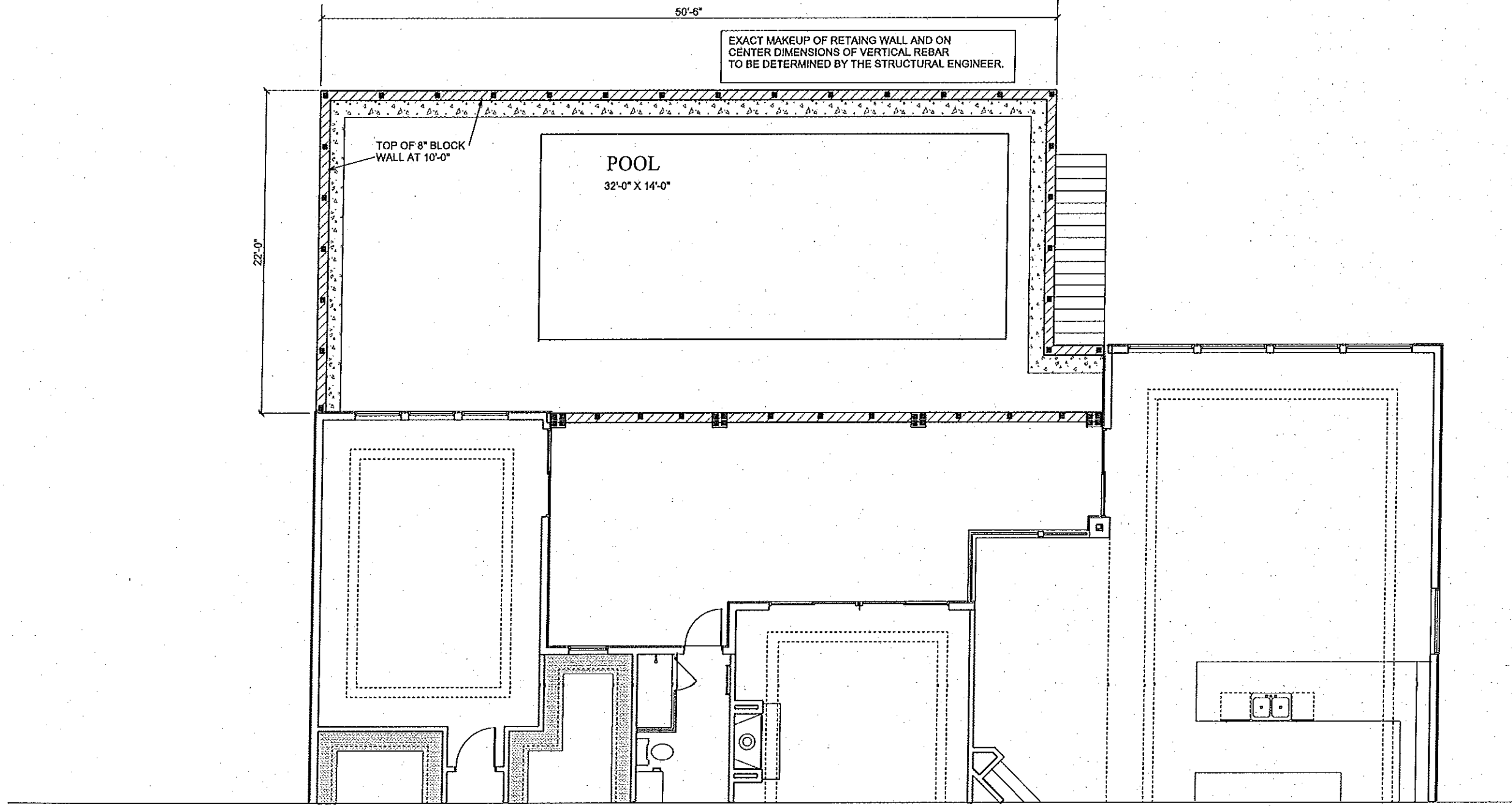


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POOL RETAINING WALL

SCALE 1/8" = 1'-0"

**12**

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