

Sealed Plans > Shore Dr > Loaded 3/26/19

**GENERAL NOTES:**

THE FOLLOWING TECHNICAL CODES SHALL APPLY:  
 2017 FLORIDA BUILDING CODE,  
 PLUMBING, MECHANICAL, FUEL GAS,  
 ENERGY EFFICIENCY, ACCESSIBILITY,  
 AND NATIONAL ELECTRICAL CODES  
 NEC 2014

1. TANK TYPE WATER CLOSET VOLUME  
1.6 GALLONS
2. WALL MOUNT WATER CLOSET VOLUME  
3.5 GALLONS
3. WATER - FLOW RATE.  
 PUBLIC FACILITIES 0.5 G.P.M.  
 PRIVATE FACILITIES 2.2 G.P.M.  
 SHOWER HEADS 2.5 G.P.M.

VTR LOCATIONS ARE APPROXIMATE AND MAY CHANGE DUE TO JOBSITE CONDITIONS

THE FOLLOWING SHALL COMPLY WITH THE 2017 FBC.

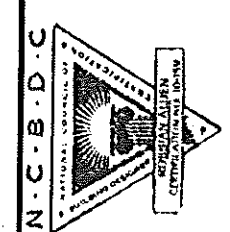
- PORCHES AND BALCONIES
- HANDRAILS
- GUARDRAILS
- STAIRS
- CHIMNEY & FIREPLACE
- EGRESS WINDOWS

4. ALL OPENINGS SHALL COMPLY WITH 2017 FBC WIND LOADS AS STATED BELOW. ATTACHMENTS OF WINDOWS, DOORS, SLIDING GLASS DOORS AND O.H. GARAGE DOORS ARE DELEGATED TO THE MANUFACTURER OF THESE ITEMS. THE MANUFACTURER OF THESE ITEMS SHALL SUBMIT ATTACHMENTS TO ENGINEER OF RECORD FOR REVIEW PRIOR TO INSTALLATION. SEE ATTACHED SPECIFICATION SHEETS FOR MANUFACTURERS DESIGN CRITERIA AND INSTALLATION METHODS FOR WINDOWS, DOORS, SLIDING GLASS DOORS, OVERHEAD GARAGE DOORS, AND ROOFING.
5. ALL DOORS INTERIOR & EXTERIOR ARE 8' 0" UNLESS OTHERWISE NOTED  
 ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS
6. ALL WINDOWS WITHIN 24" OF DOORS (INTERIOR & EXTERIOR) AND WITHIN 18" OFF FLR TO BE TEMPERED GLASS.

**SOFTPLAN**  
 ARCHITECTURAL DESIGN SOFTWARE

**ROBBIAN DESIGN**  
 AL ROBBIAN A.I.B.D.  
 6397 CONNIEWOOD SQ.  
 NEW PORT RICHEY, FL. 34653  
 (727) 848-2259  
 MAIL: al@robbiandesign.com

**AIBD**  
 7059 Blair Road NW  
 Suite 201  
 Washington DC 20012



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**NOTICE TO SUBCONTRACTORS :**

DUE TO SPACE LIMITATIONS IN THIS 11"X 17" PLAN FORMAT, AND TO ELIMINATE CLUTTER AND TEXT READABILITY ISSUES, SOME DETAILS AND NOTATIONS MAY OR MAY NOT BE LOCATED ON THE SAME SHEETS OR IN THE SAME LOCATIONS AS PROVIDED FOR BY OTHER CONTRACTORS OR ARCHITECTS. IT WOULD BE IN YOUR BEST INTEREST TO REVIEW THESE PLANS AND LOCATE THE APPROPRIATE INFORMATION REQUIRED TO COMPLETE YOUR SPECIFIC PORTION OF THE JOB BEFORE BEGINNING CONSTRUCTION.

**NOTICE TO BUILDER**

IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION, STOP, AND CALL THE DESIGNER LISTED IN THIS TITLE PAGE. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL THAT IS CONSTRUCTING THIS PROJECT TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS AND ANY AND ALL CORRECTIONS, IF NEEDED, TO BE MADE BEFORE ANY WORK IS DONE.

**WINDOW INSTALLATION NOTES:**

1. WINDOWS MUST BE FASTENED INTO STRUCTURAL MEMBERS PER MFG'S. DETAIL REQUIREMENTS PER DESIGN CRITERIA NOTED ON THESE DRAWINGS.
2. WINDOWS ARE IMPACT RESISTANT TYPE. NO STORM SHUTTERS OR PANELS ARE REQUIRED.
3. ROOF, WALLS AND WINDOW FASTENINGS MUST BE ENGINEERED AND SPECIFIED FOR CUMULATIVE INTERNAL PRESSURE AND EXTERNAL NEGATIVE (SUCTION) PRESSURES WHICH VARIES ACCORDING TO AREAS AS NOTED IN THE DESIGN CRITERIA AS NOTED ON PAGE S4.

**ZUENDT ENGINEERING**  
 5405 WATER ST.  
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 CA32834  
 727-848-2921  
**JOB # 6228**

**ALEXANDER ZUENDT**  
 P.E. 82552

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL**

PLAN DATE
11-08-18 03-18-19
11-14-18
11-29-18
1-03-19

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831



**COVER SHEET**

70  
11

1. CODES AND REFERENCES

- 1.1 FLORIDA BUILDING CODE 2017 (FBC 2017 / &TH EDITION)
- 1.2 AMERICAN CONCRETE INSTITUTE OF STRUCTURAL CONCRETE (ACI301/318-II8/315)
- 1.3 AMERICAN CONCRETE INSTITUTE OF MASONRY STRUCTURES (ACI-530-II8)  
ASCE5-0B/ TMS 402-08 AND SPECIFICATIONS FOR MASONRY STRUCTURES  
(ACI 530IIIIID B / ASCE6-II8 / TMS 602.1)8)
- 1.4 AMERICAN SOCIETY OF CIVIL ENGINEERS MINIMUM DESIGN  
LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE7-10)
- 1.5 SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION  
OF STRUCTURAL STEEL FOR BUILDINGS AISC380-II5
- 1.6 DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD  
TRUSSES BY THE TRUSS PLATE INSTITUTE (TPI/ WTCA BCS1-II6)
- 1.7 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NOS)  
(ANSI/ AWC NDS-2012)
- 1.8 AMERICAN PLYWOOD ASSOCIATION DESIGN / CONSTRUCTION GUIDE. (APA / PDS1998)

2. DESIGN CRITERIA

- 2.1 ROOF LOADING
  - 30 PSF @ 1.33 DURATION FACTOR DEAD
  - 10 PSF FOR SHINGLE
  - 15 PSF FOR TILE
- 2.2 FLOOR LOADING
  - LIVE 40 PSF @ 1.00 DURATION FACTOR
  - DEAD 15 PSF
- 2.3 BALCONY LOADING
  - LIVE 40 PSF FOR LESS THAN 100 SQUARE FT
  - LIVE 60 PSF FOR MORE THAN 100 SQUARE FT
  - DEAD 15 PSF
- 2.4 FOR FLOORING MATERIALS HEAVIER THAN 5 PSF, CONTACT  
ENGINEER OF RECORD
- 2.5 WIND LOADING  
SEE FBC 2017 TABLE FOR CRITERIA

3 SOILS

- 3.1 SOILS REPORT BY GROUND DOWN ENGINEERING,  
RECOMMENDS PILE  
SUPPORT; TREATED WOOD PILES 55' LONG, WITH MIN.  
8" TIP, DRIVEN TO 23 TONS WORKING CAPACITY.
- 3.2 PILE DRIVING TO BE MONITORED BY PE  
REPRESENTATIVE WITH A SEALED COMPLETION  
REPORT  
SHOWING FINAL DEPTH, FINAL BLOW COUNT AND SAFE  
WORKING CAPACITY OF EACH PILE.

4. CONCRETE

- 4.1 OPERATION INSTALLATION AND PROCEDURE TO COMPLY WITH ACI STANDARDS
- 4.2 CONCRETE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS  
U.N.O.
- 4.3 REINFORCEMENT REBARS ASTM A615 GRADE 640 U.N.O.
- 4.4 WELD WIRE FABRIC (WWF ASTM A185)
- 4.5 LAP SPLICES AND HOOKS AS PER PLAN.

5. MASONRY

- 5.1 MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS  
OF THE SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.11 ASCE & I TMS &02)  
**PUBLISHED BY THE MASONRY SOCIETY, BOULDER, COLORADO; THE AMERICAN  
CONCRETE INSTITUTE, FARMINGTON HILLS, MICHIGAN; AND THE AMERICAN SOCIETY  
OF CIVIL ENGINEERS, RESTON, VIRGINIA; EXCEPT AS MODIFIED BY THE REQUIREMENTS  
OF THESE CONTRACT DOCUMENTS.**
- 5.2 GENERAL SPECIFICATION FOR MASONRY STRUCTURES
- 5.2.1 TESTING OF FIELD MATERIALS FOR QUALITY CONTROL IS NOT REQUIRED BY  
ENGINEER FOR THIS PROJECT.
- 5.2.2 COMPRESSIVE STRENGTH REQUIREMENT IS  $f_m=1500$  PSI
- 5.2.3 DETERMINATION OF COMPRESSIVE STRENGTH IS THE ALLOWABLE STRESS METHOD
- 5.2.4 UNIT STRENGTH METHOD IS NOT APPLICABLE
- 5.2.5 QUALITY ASSURANCE IS NOT APPLICABLE
- 5.3 PRODUCTS
- 5.3.1 MORTAR MATERIALS SHALL BE TYPE M OR S GRAY MORTAR
- 5.3.2 **MASONRY UNIT MATERIALS SHALL BE 1900 PSI MIN. CONCRETE MASONRY UNIT.**
- 5.3.3 REINFORCEMENT, PRE-STRESSED TENDONS, AND METAL ACCESSORIES SHALL  
BE 40 KSI REBAR (MIN.).

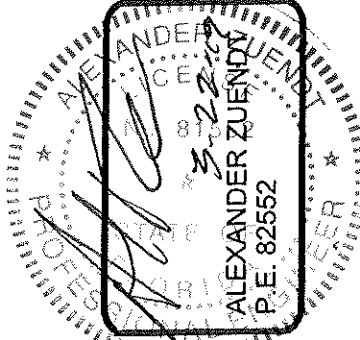
STRUCTURAL ENGINEER NOTES



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727-376-6831

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OLDSMAR, FL.

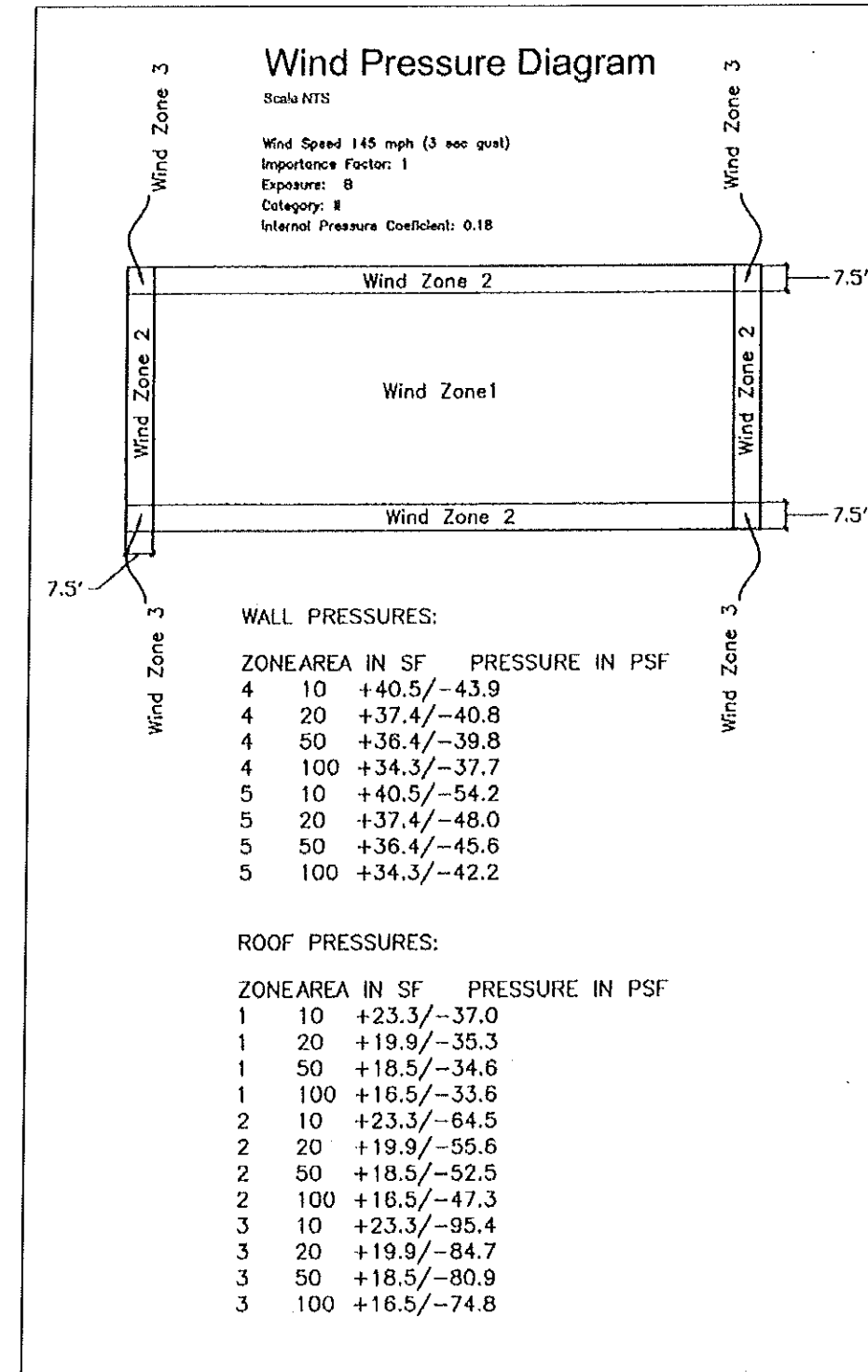


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- 5.3.4 WELDED WIRE FABRIC TO BE INSTALLED AS SPECIFIED ON PLAN SET.
- 5.3.5 STAINLESS STEEL IS NOT APPLICABLE.
- 5.3.6 COATING FOR RE-BAR CORROSION PROTECTION IS NOT APPLICABLE.
- 5.3.7 CORROSION PROTECTION FOR TENDONS IS NOT APPLICABLE.
- 5.3.8 PRE-STRESSING ANCHORAGE, COUPLERS, AND END BLOCKS ARE NOT APPLICABLE.
- 5.3.9 JOINT FILLERS AS APPLICABLE.
- 5.3.10 LINTELS TO BE PRE CAST UNLESS NOTED OTHERWISE.
- 5.4 EXECUTION
- 5.4.1 PIPES AND CONDUITS AS APPLICABLE.
- 5.4.2 ACCESSORIES ARE NOT APPLICABLE.
- 5.4.3 EXPANSION AND CONTROL JOINTS AS PER PLAN.

6. WOOD FRAMING

- &.1 DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
- 6.2 ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- &.3 FRAMING WALLS AND COLUMNS
- 5.3.1 MINIMUM OF 3 PLY STUD COLUMNS TO BE INSTALLED AT BEAM OR GIRDER TRUSS BEARING LOCATIONS. UNLESS NOTED OTHERWISE.
- 6..3.2 S.Y.P. #2 GRADE OR BETTER FASTEN PLYS TOGETHER USING 16d COMMON NAILS 8" O.C. AS EACH MEMBER IS APPLIED U.N.O.
- 6.3.3 4 PLY OR AND LARGER STUD COLUMNS SHALL BE FASTENED TOGETHER AS STATED ABOVE PLUS CS16 COIL STRAPPING WRAPPED AROUND COLUMN WITH A 4" END CAP AT 16" O.C. OR 112"111 THRU BOLTS @24"O.C.
- 5.3.4 ALL FRAMING LUMBER SHALL BE 112 SPRUCE / PINE I FIR OR EQUAL U.N.O.
- 5.3.5 INTERIOR LOAD BEARING (IF APPLICABLE) WALLS SPACED AT 16" OC AND LESS THAN 8'-6" IN HEIGHT SHALL BE STUD GRADE, SPRUCE I PINE I FIR OR EQUAL.
- 6..3.7 INTERIOR NON-LOAD BEARING WALLS SHALL BE UTILITY GRADE DR BETTER.
- 5.3.8 INSTALL BLOCKING IN ALL WALL STUDS OVER 8'-11" @ MID-HEIGHT, AND SHEATHING JOINTS. BRACE GABLE END WALLS AT 4'-11" O.C. ADDITIONAL INFORMATION AS PER PLAN.
- 6.4 ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED OR NATURAL DURABLE WOOD.
- 6.5 PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.S. 11-W-71 AND BARE THE AMERICAN WOOD PRESERVES INSTITUTE EQUALITY MARK LP-2.
- 6.6 A.P.A. RATED SHEATHING EXTERIOR GRADE. ALL ROOF SHEATHING TO INSTALLED WITH PLY CLIPS (MAXIMUM 24" O/C). (SEE PLANS FOR SHEATHING THICKNESS.) ADDITIONAL SHEATHING ATTACHMENT AS PER PLAN
- 6. 7 ALL NAILING AND BOLING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 8.8 ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG TIE CO., USP, KC METAL, OR EQUIVALENT. SUBMIT CUT SHEETS FOR ALL CONNECTION HARDWARE TO ENGINEER FOR APPROVAL. ALL NAIL HOLES SHALL BE FILLED OR AS PRESCRIBED BY THE MANUFACTURER.
- 8.9 BRACING: TEMPORARY BRACING OF THE ROOF SYSTEM SHALL BE INSTALLED PER HIB-91 RECOMMENDATIONS AND SHALL BE UTILIZED AS THE PERMANENT BRACING FOR THE ROOF SYSTEM U.N.O.
- 6.10 ALL WOOD FRAMING SHALL BE IN COMPLIANCE WITH THE LATEST NOS EDITION FOR WOOD CONSTRUCTION.
- 6.10 ALL HORIZONTAL WOOD FRAMING MEMBERS SHALL HAVE A MINIMUM DEFLECTION LIMIT OF L/360.



**STRUCTURAL ENGINEER NOTES**

**DEEB RESIDENCE**  
348 SHORE DRIVE  
OLDSMAR, FL.

**DEEB FAMILY HOMES, LTD.**  
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727-376-6831

**PLAN DATE**

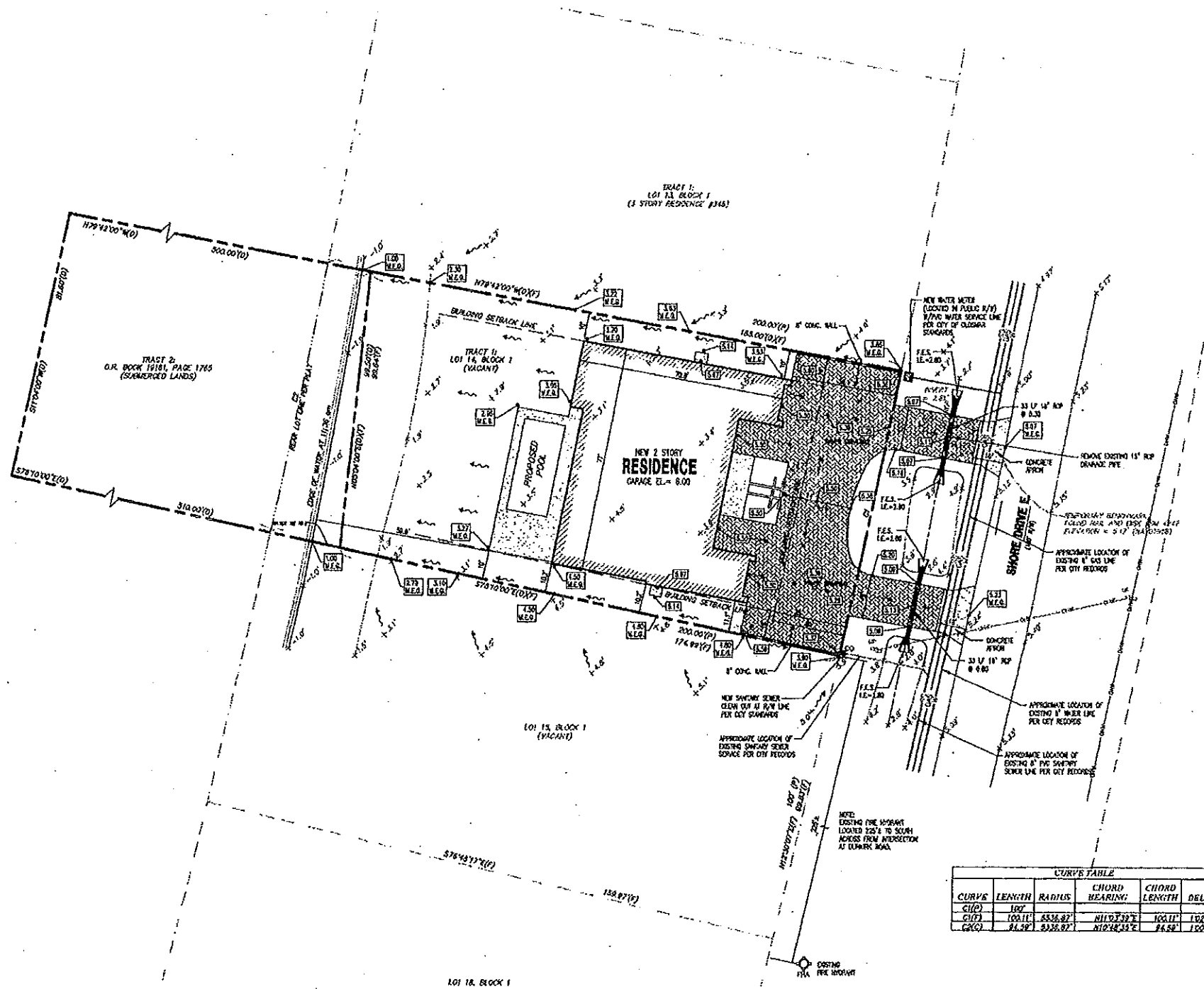
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727-848-2921  
JOB # 6228

**ALEXANDER ZUENDT**  
P.E. 82552

S2

SECTION 26, TOWNSHIP 28 S., RANGE 16 E  
PINELLAS COUNTY, FLORIDA



CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA
C101	100'				
C102	100.11'	5536.82'	N110°23'30"E	100.11'	1°02'29"
C103	84.28'	5325.02'	N10°48'45"E	84.28'	1°02'56"

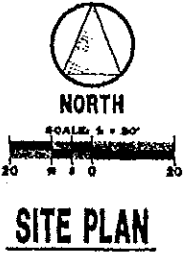
LEGAL DESCRIPTION

TRACT 1:  
LOT 14, BLOCK 1, REVISED MAP OF THE COUNTRY CLUB ADDITION TO OLDSMAR, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 42, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; AND ALSO:

TRACT 2:  
COMMENCING AT THE NORTHEAST CORNER OF LOT 14, BLOCK 1, REVISED MAP OF THE COUNTRY CLUB ADDITION TO OLDSMAR, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN PLAT BOOK 7, PAGE 42, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA; THENCE NORTH 79 DEGREES 42' WEST 185 FEET ALONG THE NORTH BOUNDARY OF SAID LOT 14 TO THE INTERSECTION WITH THE HIGH WATER MARK OF OLD TAMPA BAY, FOR A POINT OF BEGINNING, THENCE CONTAINING IN 79 DEGREES 42' WEST 500 FEET IN LINE WITH THE SAID NORTH BOUNDARY PRODUCED; THENCE S 11 DEGREES 04' WEST 81.8 FEET; THENCE S 78 DEGREES 10' EAST 510 FEET IN LINE WITH THE EXTENSION OF THE SOUTH BOUNDARY OF SAID LOT TO THE INTERSECTION WITH THE HIGH WATER MARK; THENCE FOLLOWING THE HIGH WATER MARK NORTH 5 DEGREES 4' EAST 95.5 FEET, MORE OR LESS TO THE POINT OF BEGINNING, LYING IN SECTION 26, TOWNSHIP 28 S., RANGE 16 EAST, PINELLAS COUNTY, FLORIDA.

SITE DATA  
ZONING: E-2  
LAND USE: VACANT  
SITE AREA = 17,558 SF (0.40 AC) (TRACT 1)  
BLDG COVERAGE = 4,644 SF (26.4%)  
TOT. IMP. AREA = 9,654 SF (54.9%)

NOTES:  
1. ELEVATIONS SHOWN HEREON ARE 1988 DATUM  
2. APPARENT FLOOD HAZARD ZONE: "AE" (EL. 9)  
COMMUNITY PANEL NO. 12103000930 EFFECTIVE DATE: 9/3/03



REVISIONS	BY	DATE

STATE OF FLORIDA  
**Ozona**  
Engineering, Inc.  
P.O. BOX 432  
KALISPELL, ARIZONA 85925  
PHONE (520) 755-3888 FAX (520) 755-3444  
www.ozonaeng.com

FOR:  
**RICHARD J. DEEB**  
DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLVD.  
NEW PORT RICHEY, FL 34655

PROJECT:  
**LOT 14 BLOCK 1**  
SHORE DRIVE EAST  
OLDSMAR, FLORIDA

PROJECT #:  
ORG. DATE:  
DRAWN BY: BH  
SCALE: AS SHOWN  
SHEET #:  
**1**

NOT PART OF P.E. REVIEW

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.

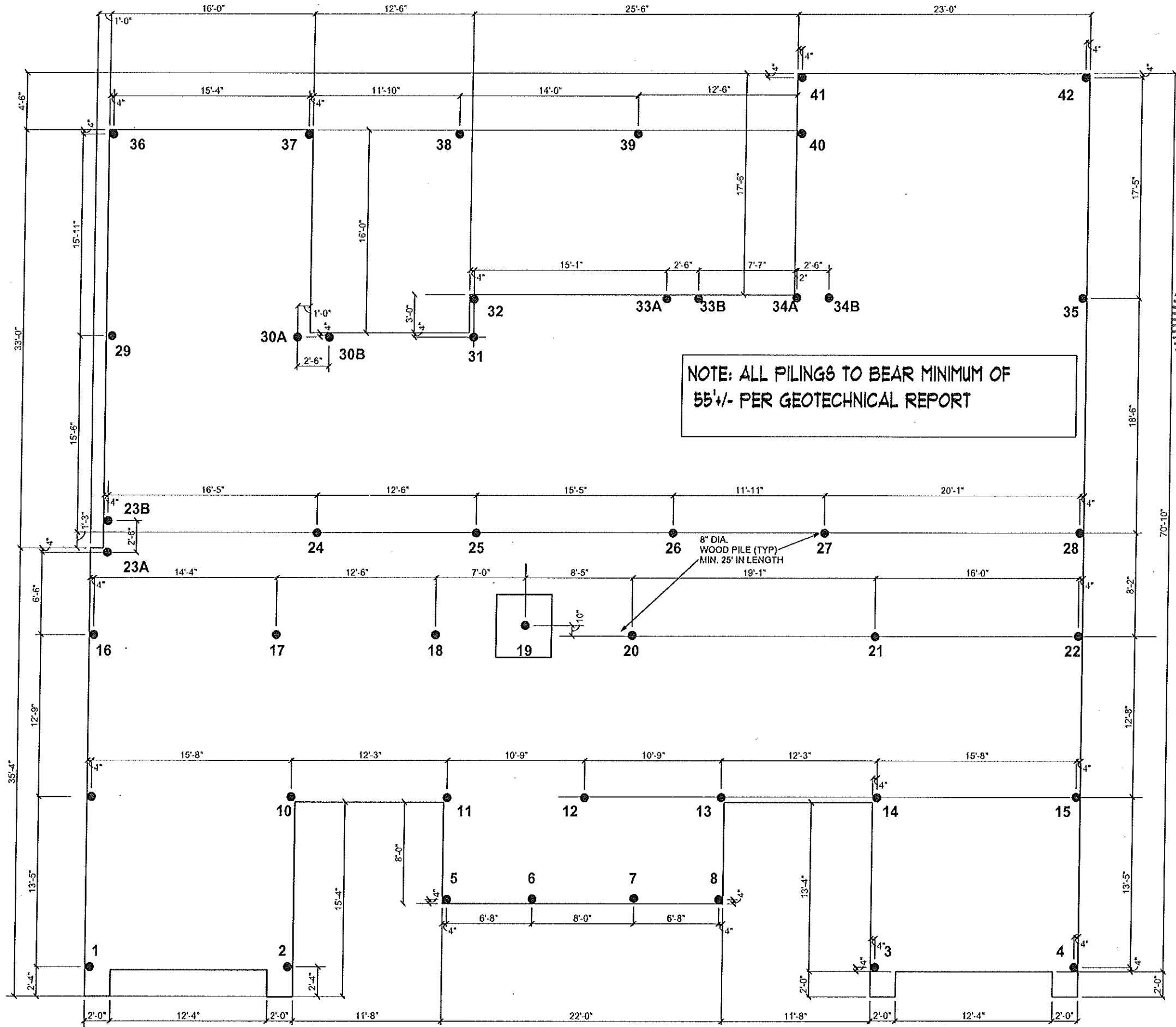
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**S3**

SITE PLAN

PILE #-	TOTAL KIPS
1	30
2	30
3	30
4	30
5	9
6	11
7	11
8	9
9	33
10	43
11	39
12	29
13	38
14	43
15	33
16	26
17	31
18	31
19	42
20	36
21	39
22	30
23	60 A+B
24	33
25	33
26	47
27	51
28	31
29	40
30	80 A+B
31	36
32	40
33	81 A+B
34	72 A+B
35	47
36	32
37	48
38	46
39	42
40	31
41	38
42	41



PILING LAYOUT PLAN

SCALE 1/8" = 1'-0"

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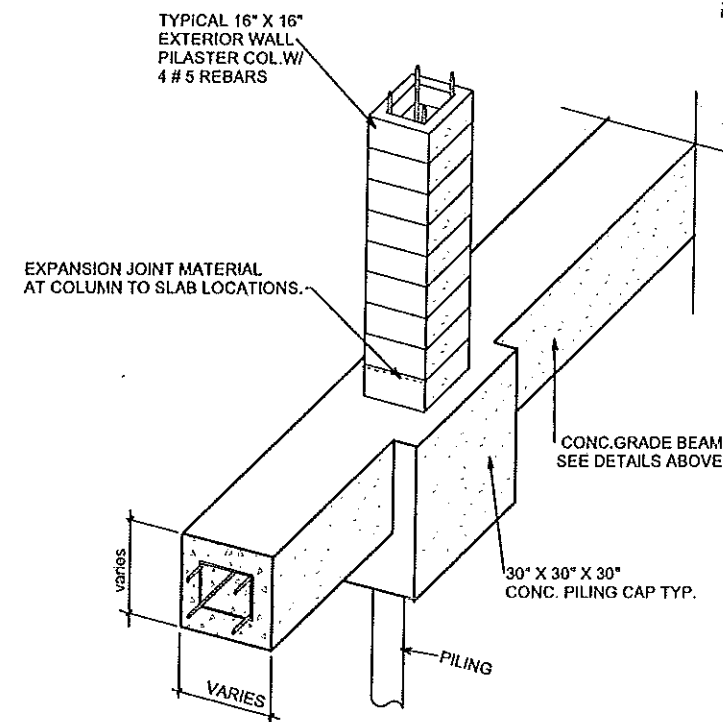
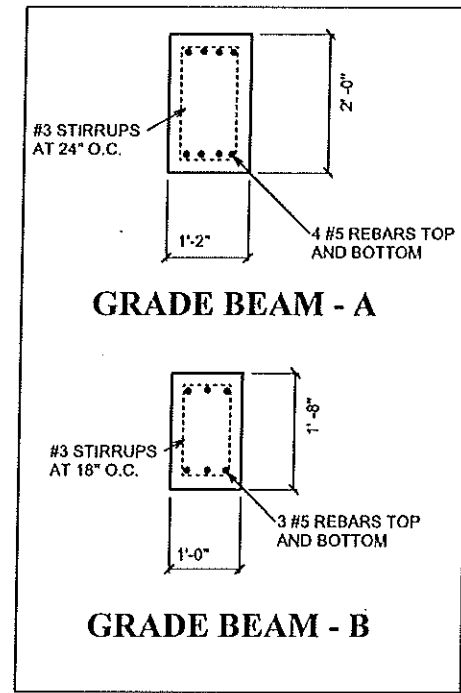
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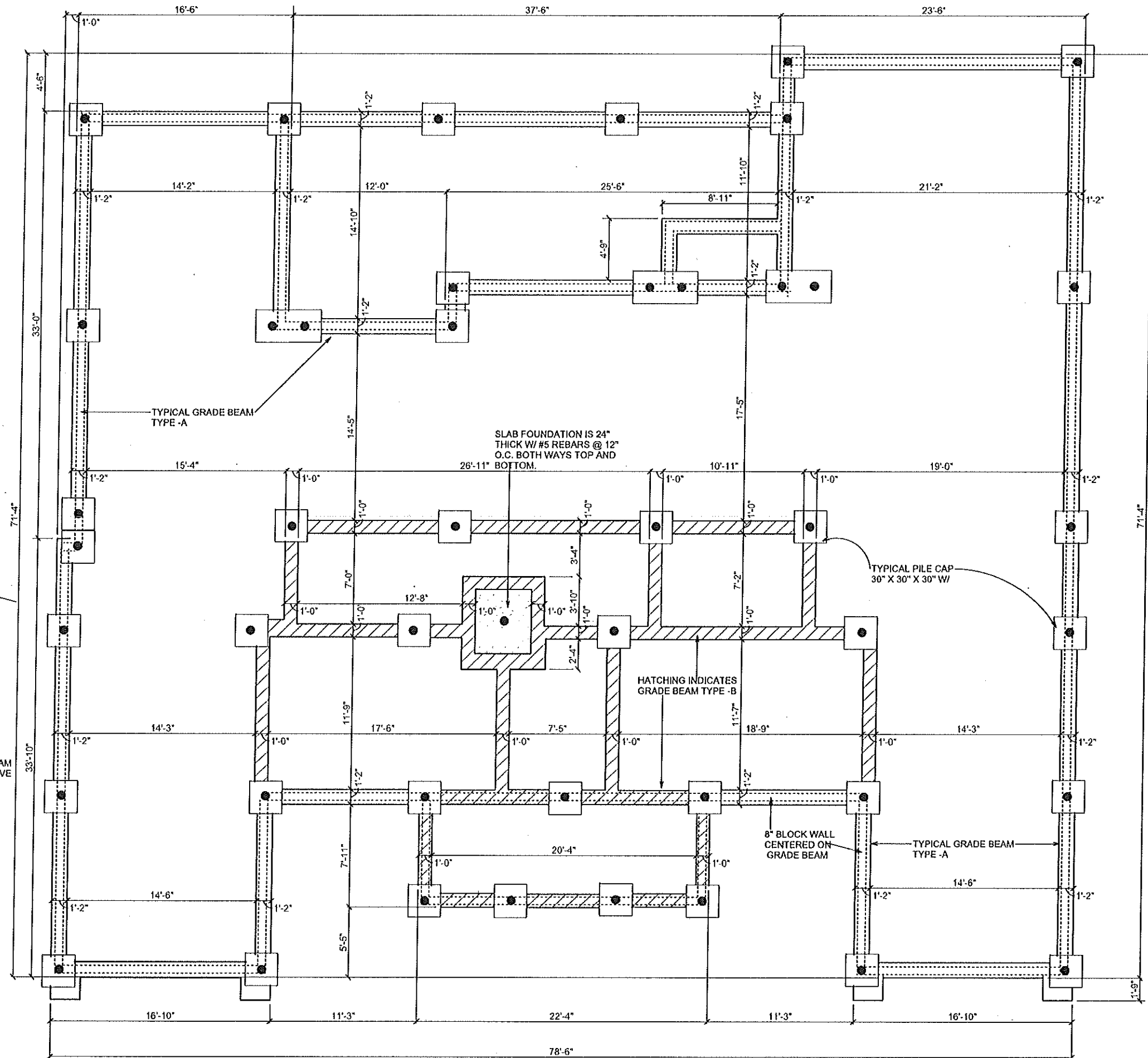
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**1**



**TYPICAL GRADE BEAM / PILE CAP DETAIL**



SCALE 1/8" = 1'-0"

**GRADE BEAM PLAN**

**ZUENDT ENGINEERING**  
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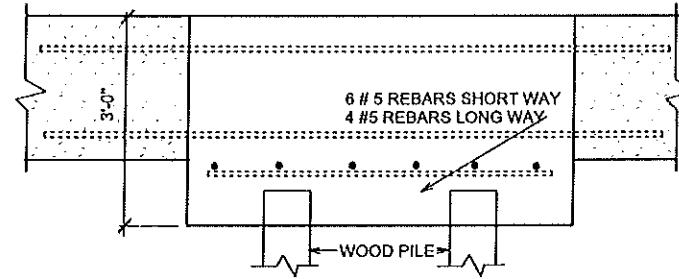
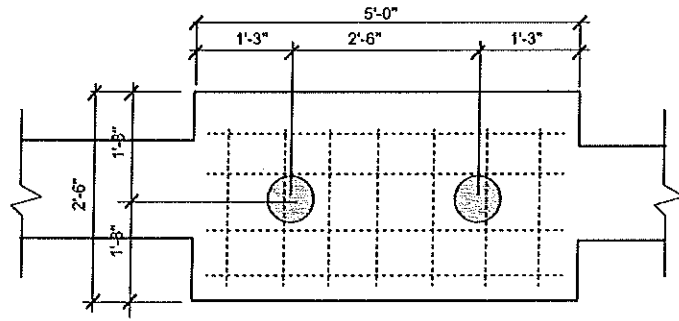
*Alexander Zuendt*  
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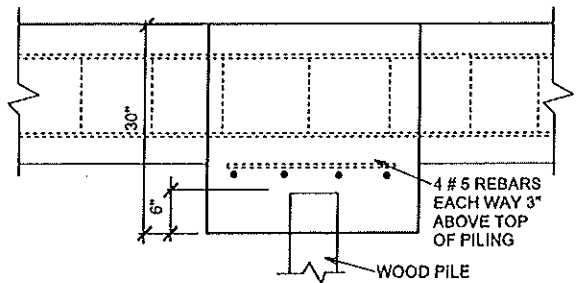
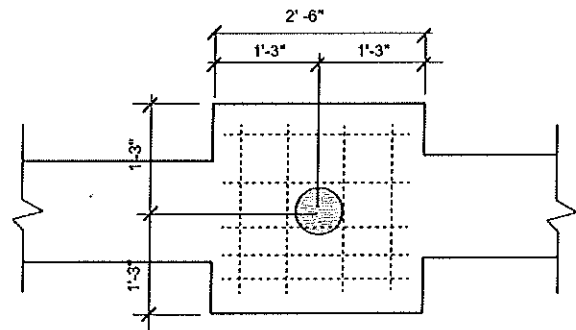
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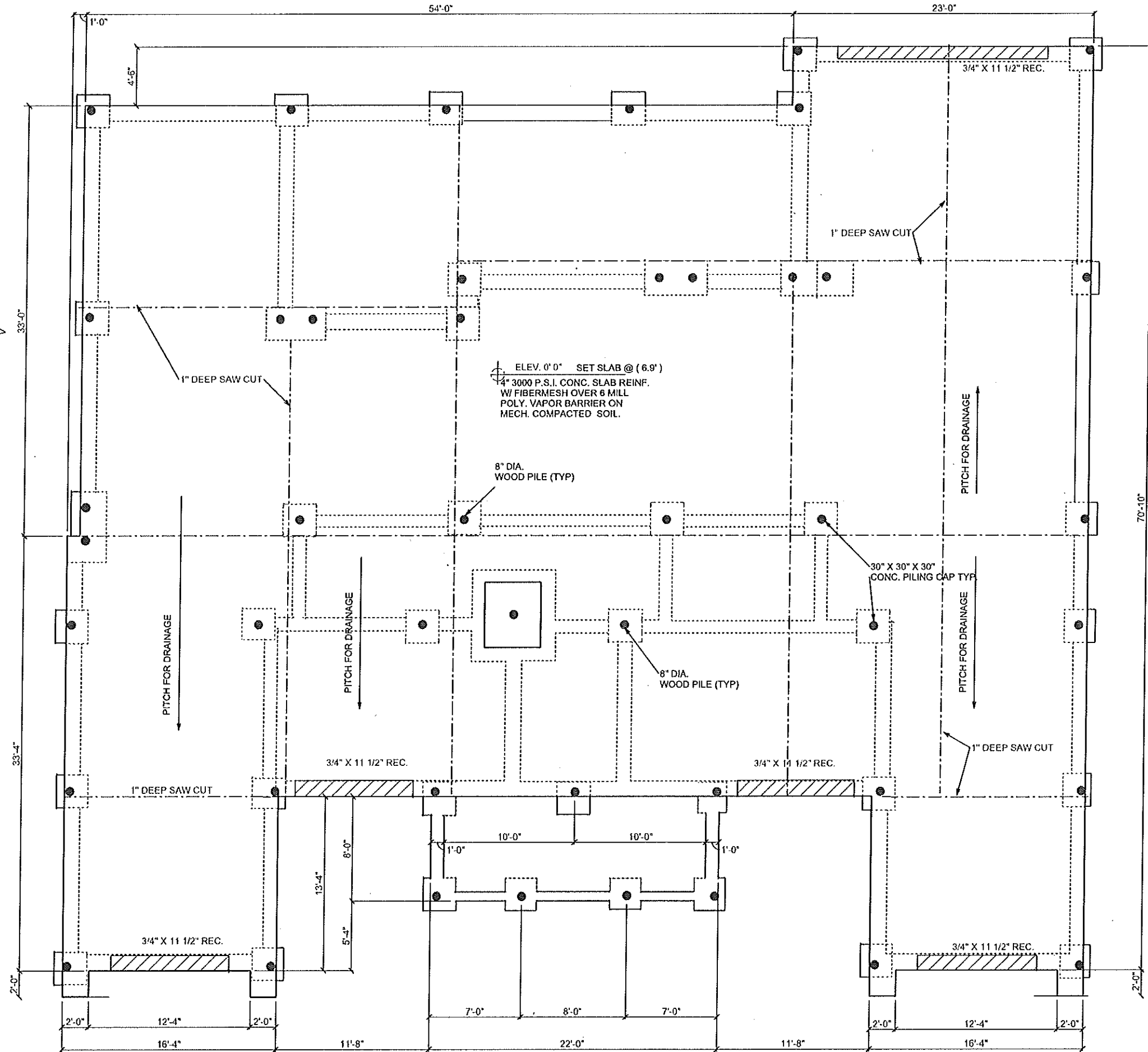




**DBL. PILING CAP DETAIL**



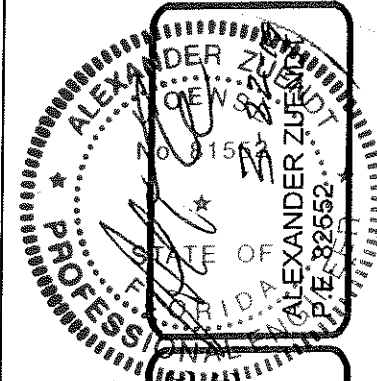
**PILING CAP DETAILS**



SCALE 1/8" = 1'-0"

SLAB PLAN

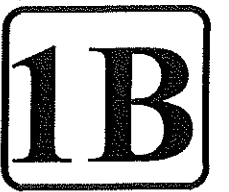
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NOTE: ALL ELECTRICAL, MECH. PLUMBING AND BUILDING MATERIALS AND/OR COMPONENTS SHALL BE INSTALLED ABOVE BASE FLOOD ELEVATION UNLESS SPECIFICALLY DESIGNED AND APPROVED FOR INSTALLATION BELOW BASE FLOOD ELEVATION OR MADE OF APPROVED WATER RESISTANT MATERIALS PER FEMA TECHNICAL BULLETIN 2-93 & 7-93

NOTE: ALL WALLS BELOW BASE FLOOD ELEVATION TO BE CONSTRUCTED W/ 2 X 4 P.T. FRAMING AT 16" O.C. W/ "DURA-ROCK" BOARD OVER. STAIRS TO BE FABRICATED WITH 2 X 10 P.T. TREADS AND 2 X 12 P.T. STRINGERS. ALL FASTENERS TO BE HOT DIPPED, ZINC COATED GALVANIZED STEEL.

TOTAL VENTABLE AREA = 3882 S.F.  
 REQUIRED VENTS = 3883 S.I.  
 (10) SMART VENTS RATED AT 400 S.F. PER VENT (= 4000 S.F.)

8F16-1T-1B

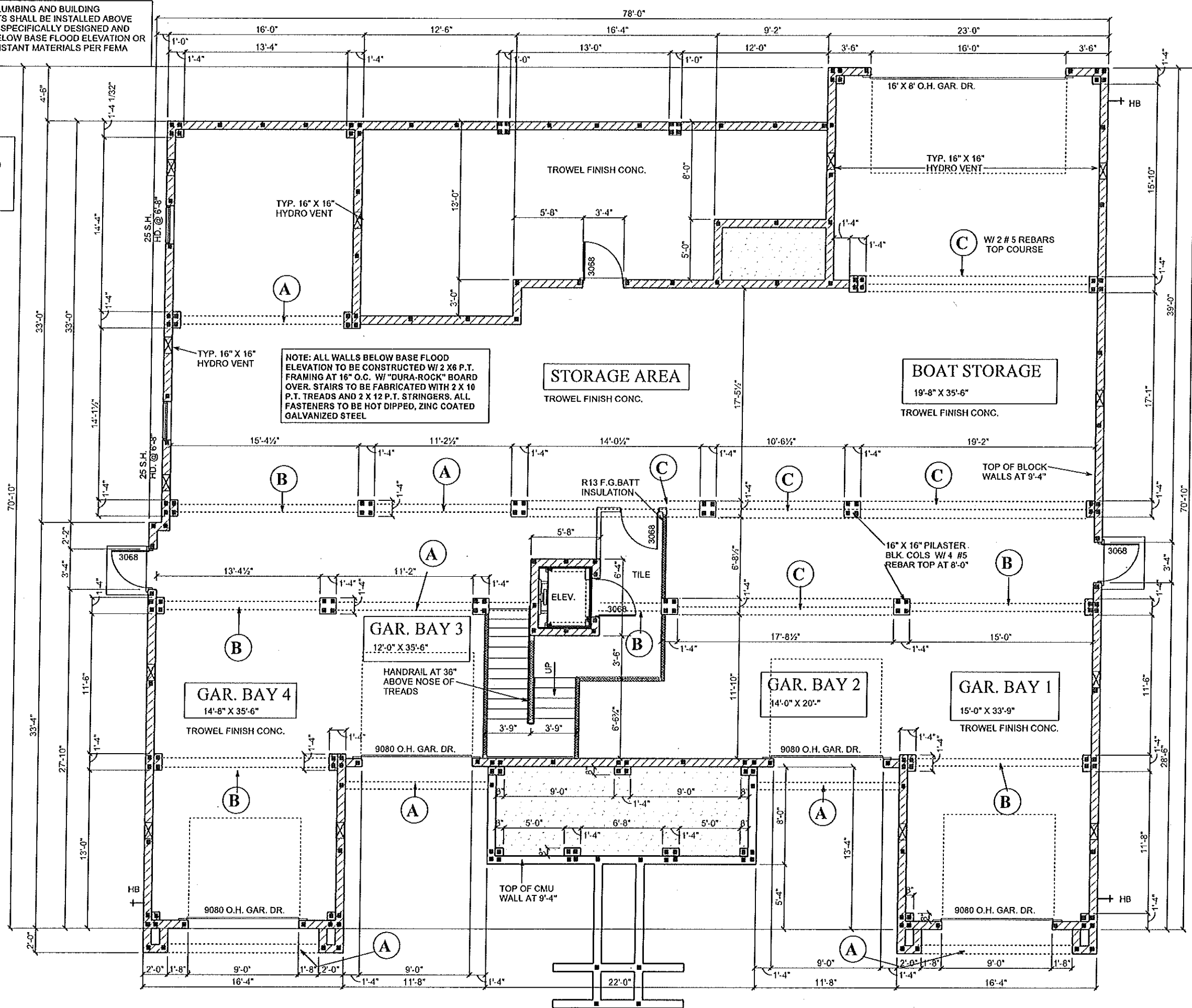
LINTEL TYPE (A)

8F16-1T-2B

LINTEL TYPE (B)

DBL. 8F16-1T-2B

LINTEL TYPE (C)

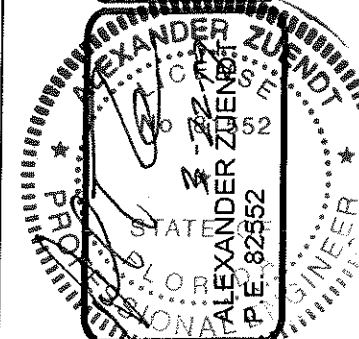


GROUND FLOOR PLAN SCALE 1/8" = 1'-0"

DEEB FAMILY HOMES, LTD.  
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 727-376-6831

PLAN DATE
11-08-18 03-18-19
11-14-18
11-29-18
1-03-19

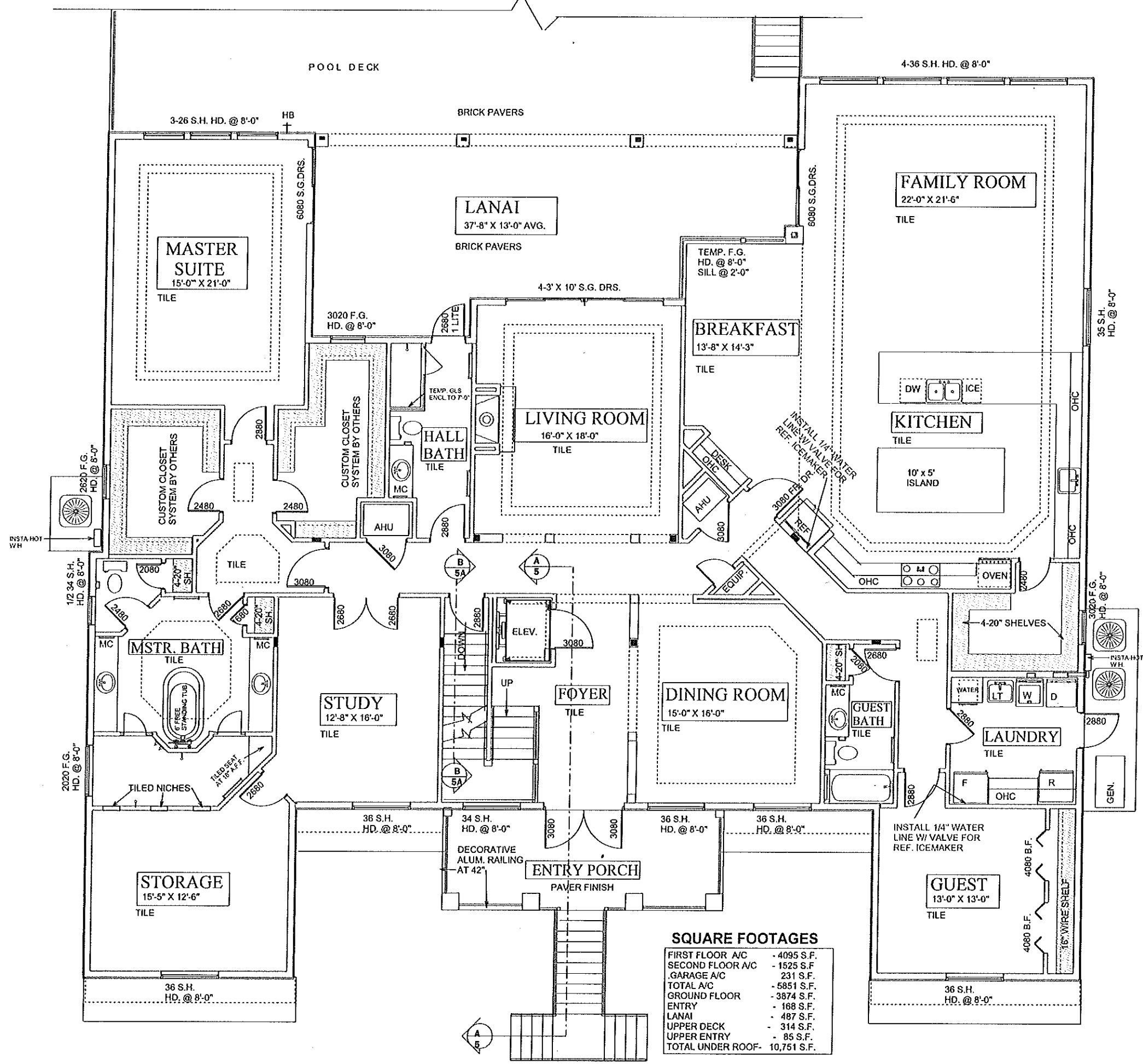
DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.



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 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 JOB # 6228







**SQUARE FOOTAGES**

FIRST FLOOR A/C	- 4095 S.F.
SECOND FLOOR A/C	- 1525 S.F.
GARAGE A/C	- 231 S.F.
TOTAL A/C	- 5851 S.F.
GROUND FLOOR	- 3874 S.F.
ENTRY	- 168 S.F.
LANAI	- 487 S.F.
UPPER DECK	- 314 S.F.
UPPER ENTRY	- 85 S.F.
TOTAL UNDER ROOF	- 10,751 S.F.

FIRST FLOOR NOTES SCALE 1/8" = 1'-0"

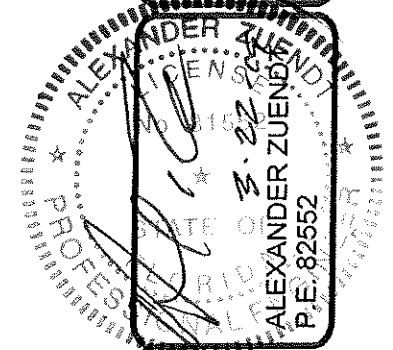
**2**

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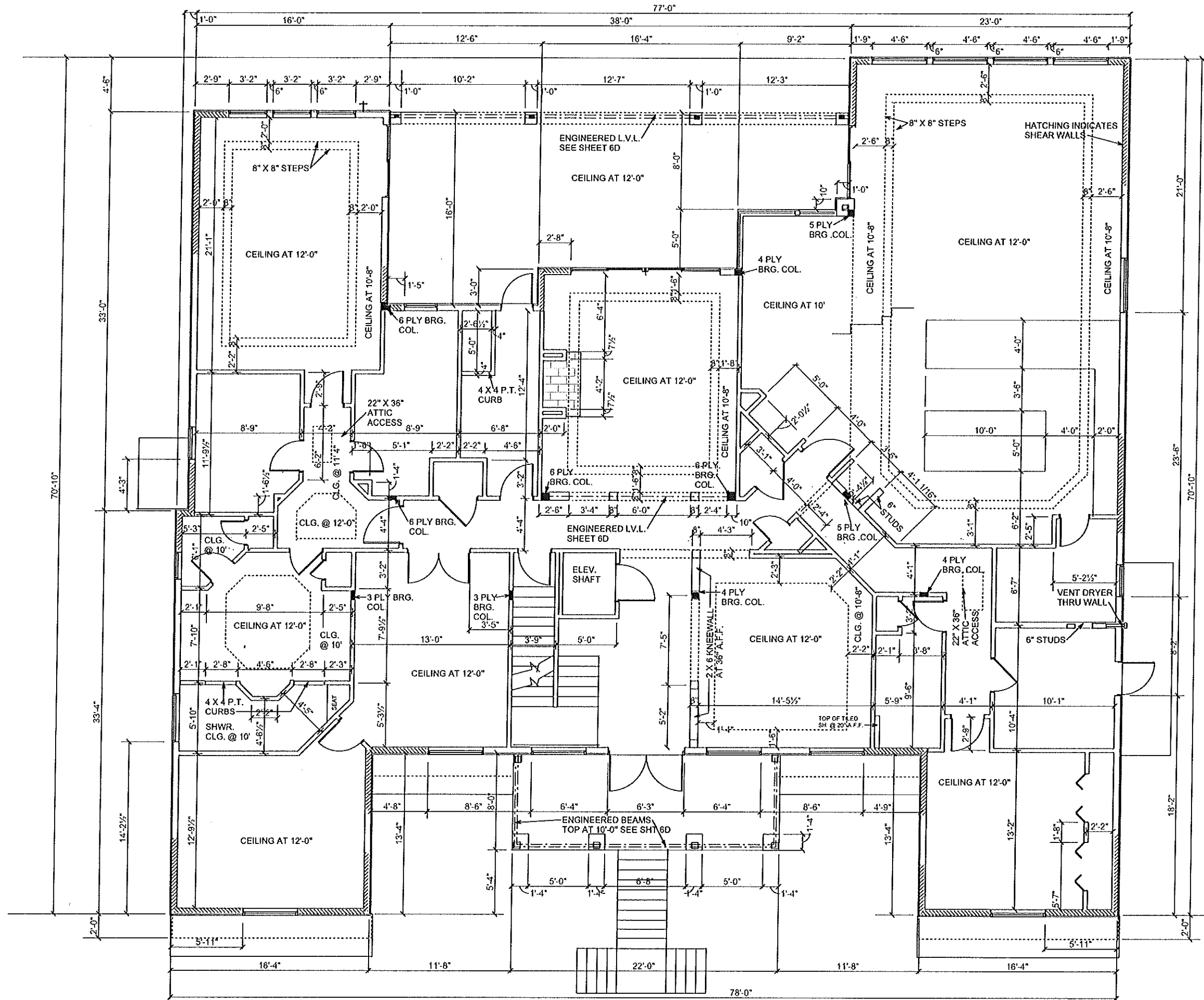
**PLAN DATE**

11-08-18	103-18-19
11-14-18	
11-29-18	
1-03-19	

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL.**



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 CA32834  
 727-848-2921  
**ALEXANDER ZUENDT**  
 P.E. 82552  
**JOB # 6228**



FIRST FLOOR DIMENSIONS SCALE 1/8" = 1'-0"

**2A**

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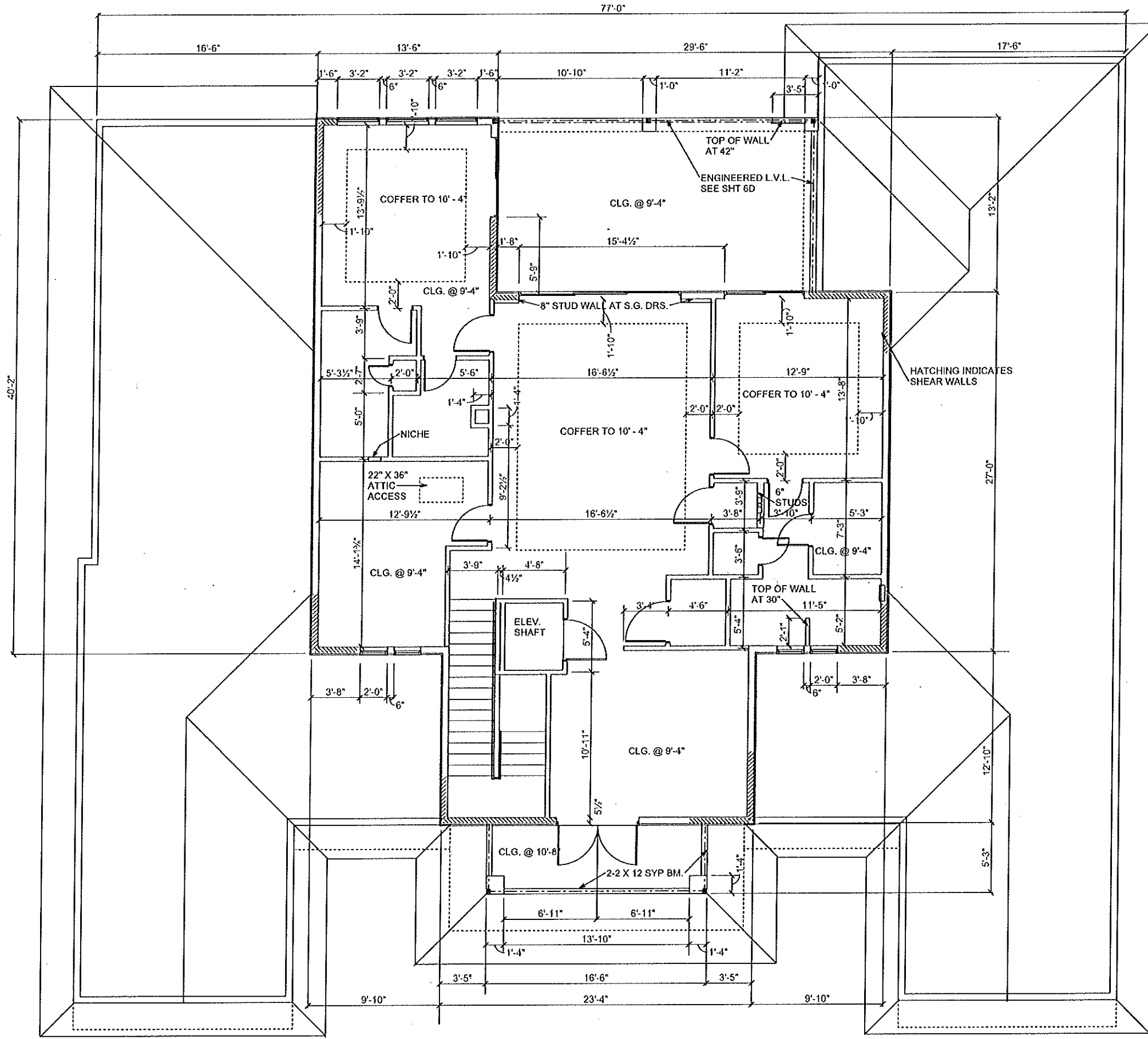
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11-08-18 03-18-19
11-14-18
11-29-18
1-03-19

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL.**

**ZUENDT ENGINEERING**  
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 NEW PORT RICHEY, FL. 34652  
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 A32834  
 27-848-2921  
 P.E. 82552  
 JOB # 6228

**ALEXANDER ZUENDT**





SECOND FLOOR DIMENSIONS

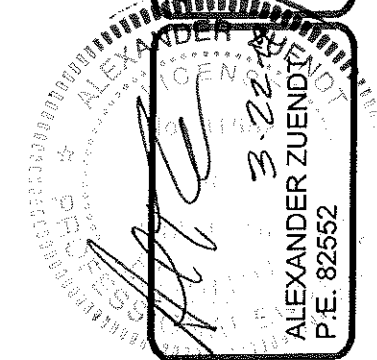
SCALE 1/8" = 1'-0"



DEEB FAMILY  
HOMES, LTD.  
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NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.



ZUENDT ENGINEERING  
4405 WATER ST.  
NEW PORT RICHEY, FL. 34652  
727-848-2921  
JOB # 6228



FRONT ELEVATION

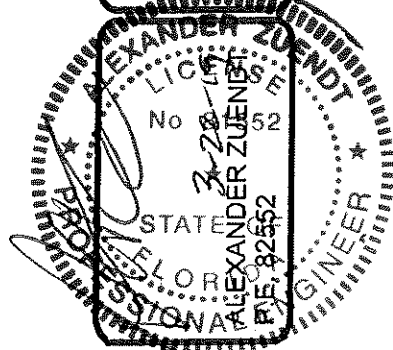
FRONT ELEVATION

SCALE 1/8" = 1'-0"

DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL 34655  
 727-376-6831

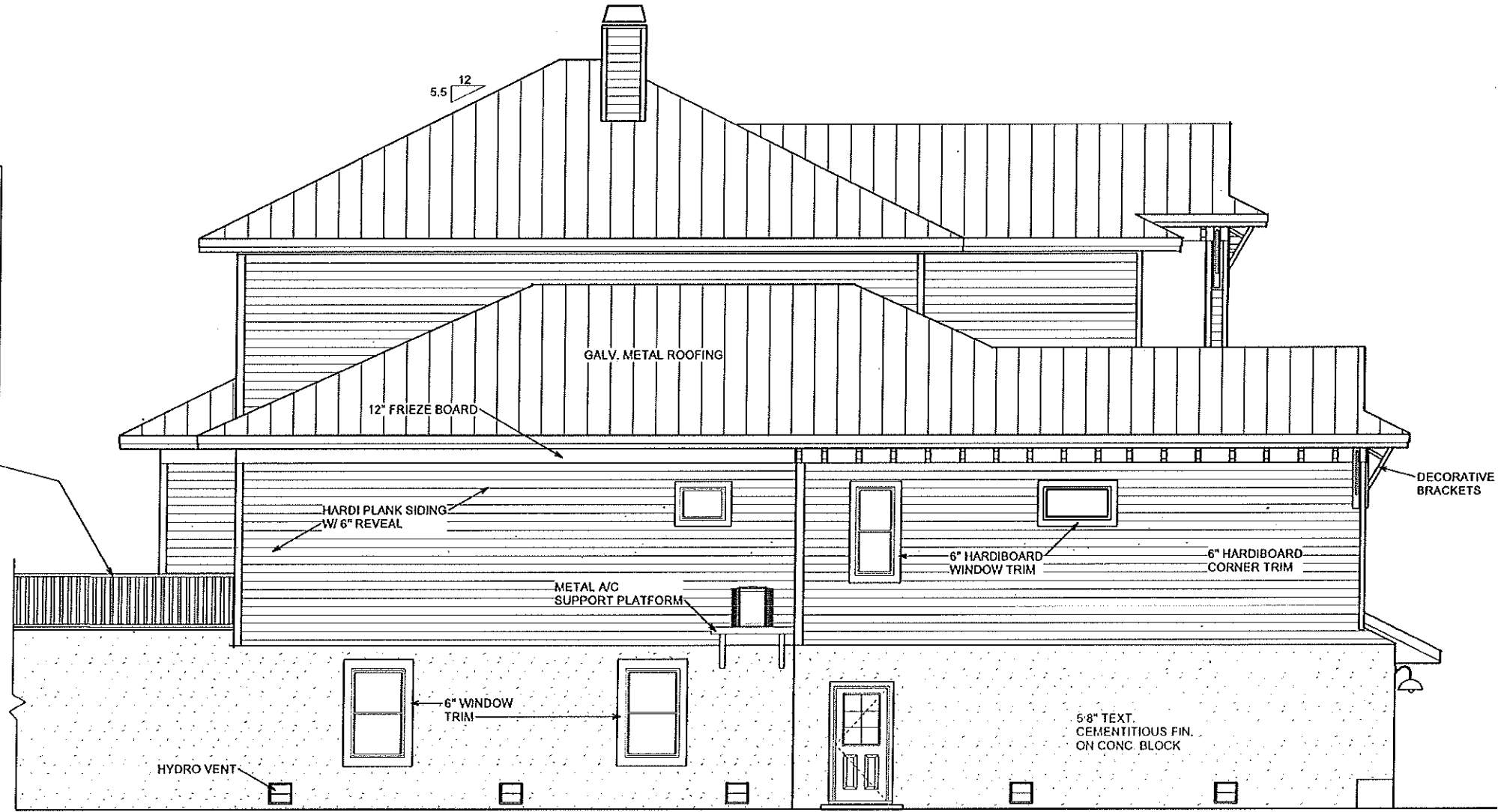
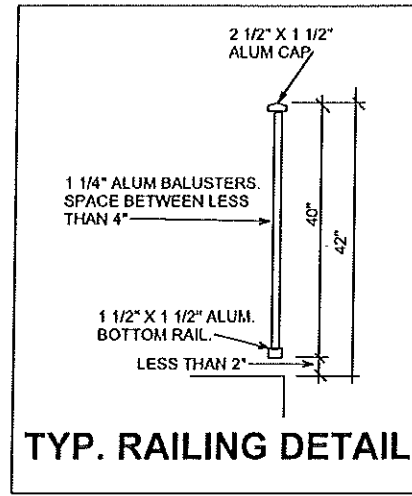
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11-08-18
03-18-19
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.



ZUENDT ENGINEERING  
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4



LEFT SIDE ELEVATION

LEFT SIDE ELEVATION

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 NEW PORT RICHEY, FL. 34655  
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**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.

**PLAN DATE**

11-08-18	03-18-19
11-14-18	
11-29-18	
12-03-19	

**ZUENDT ENGINEERING**  
 2405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 813-32834  
 727-848-2921  
 P.E. # 82552  
 JOB # 6228

PROFESSIONAL ENGINEER

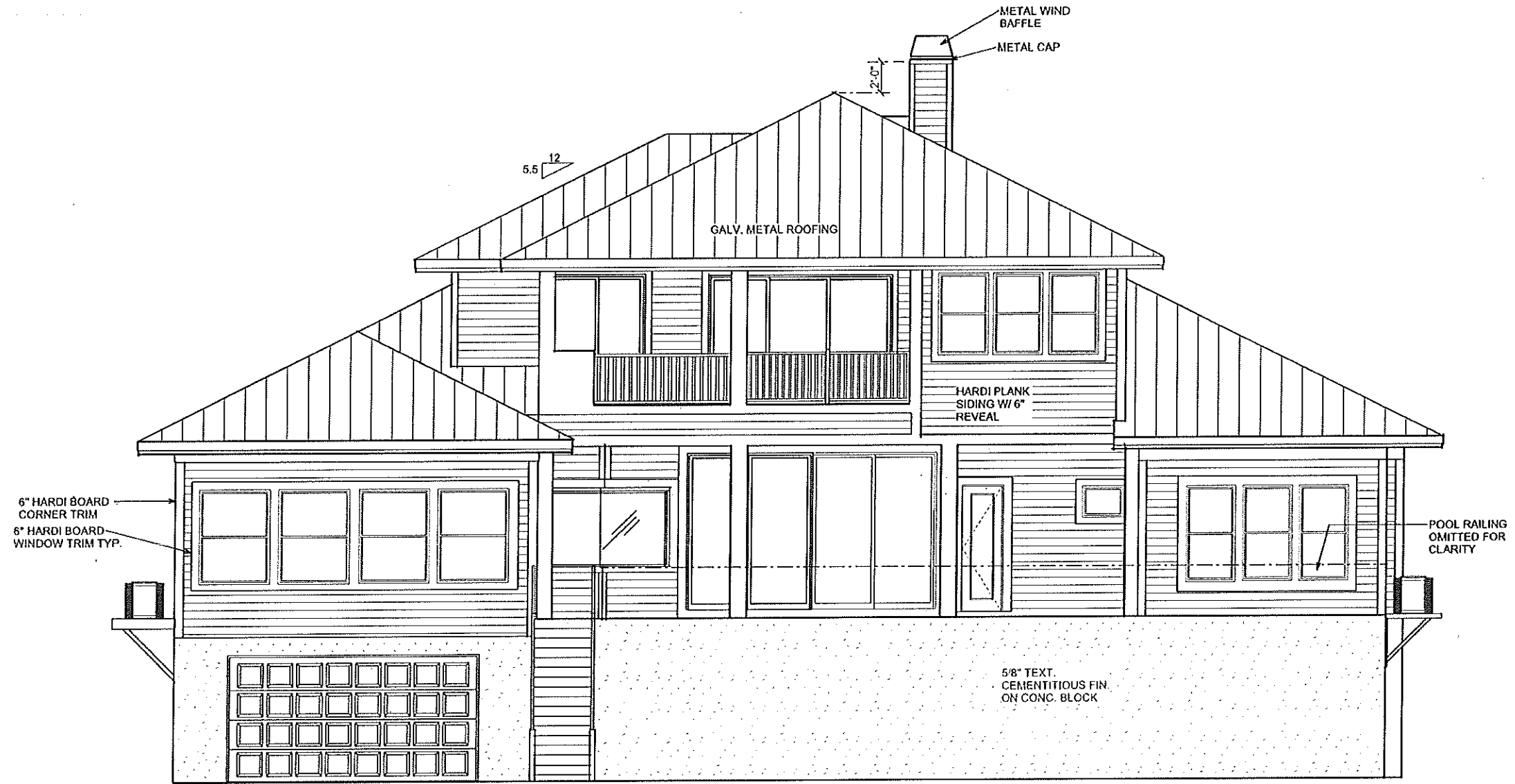
ALEXANDER ZUENDT

STATE OF FLORIDA

NO. 228152

EXPIRES 12/31/2022

**4A**



REAR ELEVATION

REAR ELEVATION

**4B**

DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
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 727-376-6831

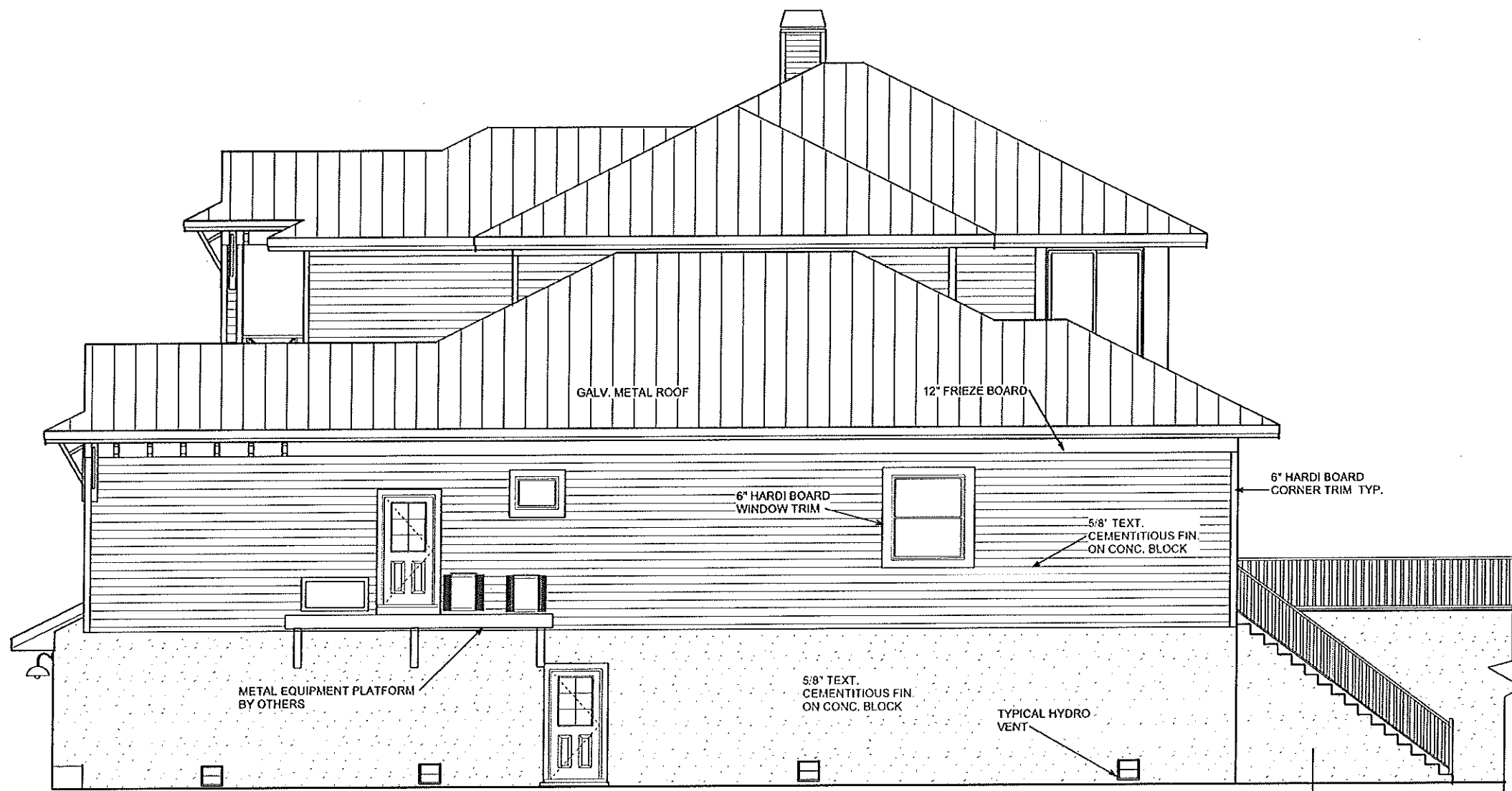
PLAN DATE

11-08-18	03-18-19
11-14-18	
11-29-18	
1-03-19	

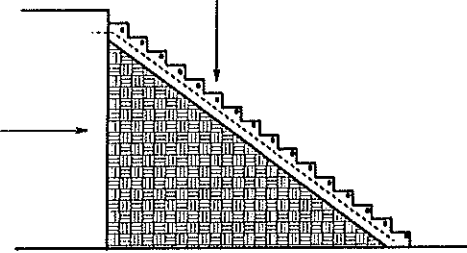
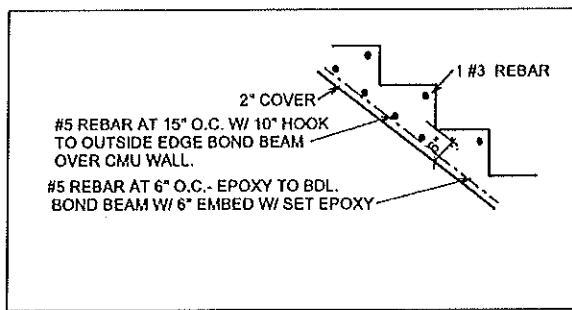
DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

ALEXANDER ZUENDT  
 P.E. 82552

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 5405 WATER ST.  
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RIGHT SIDE ELEVATION



RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"



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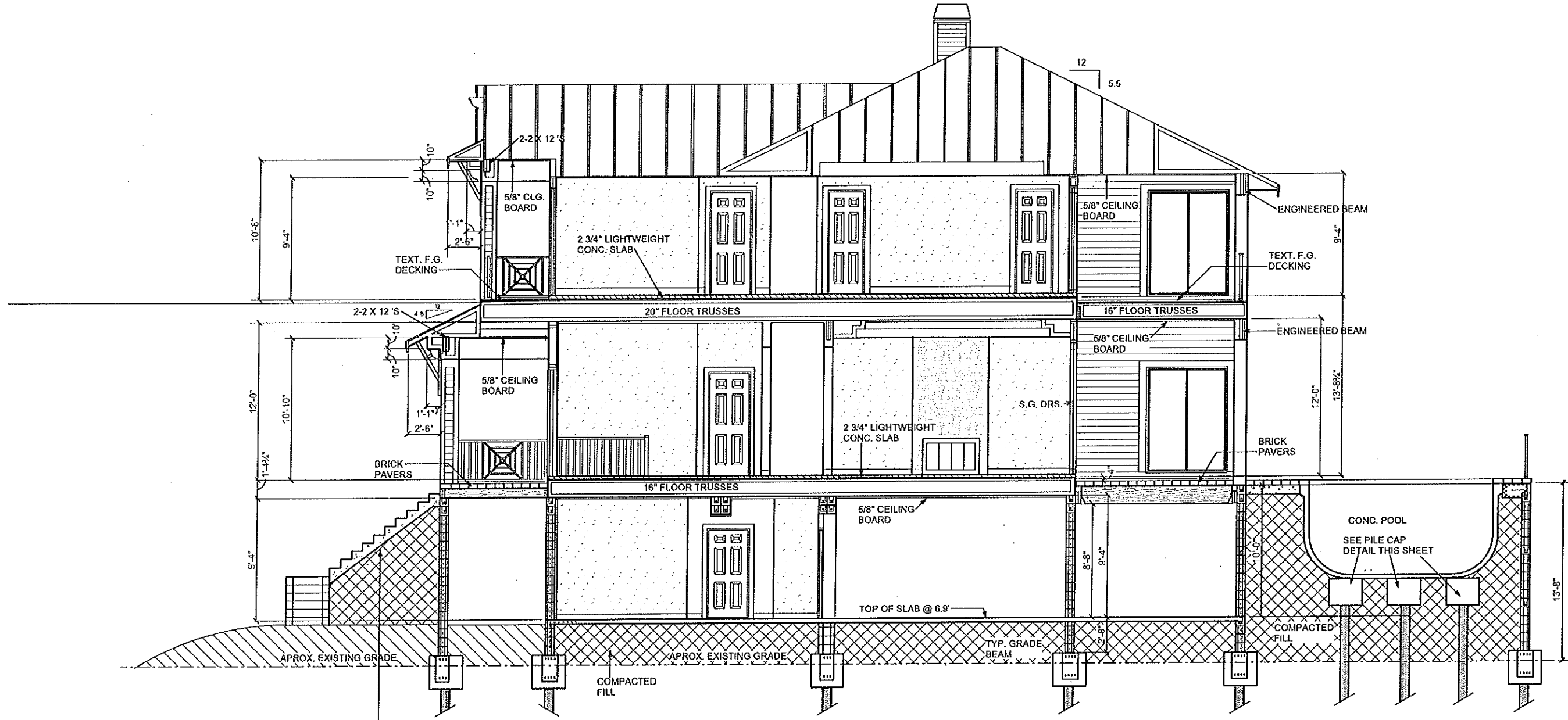
PLAN DATE
11-08-18
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.

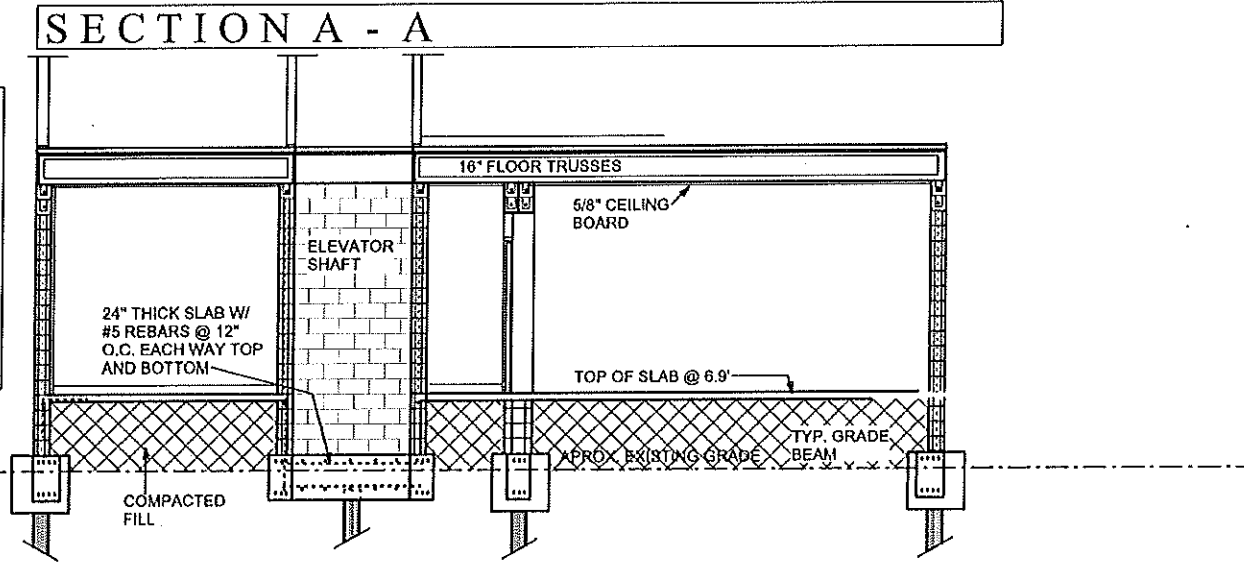
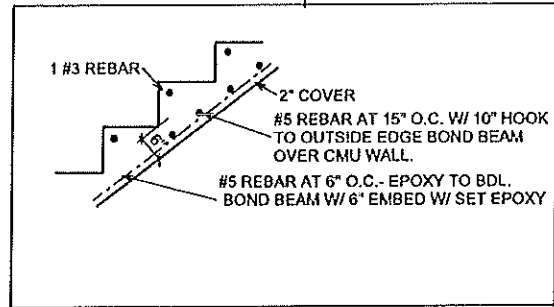


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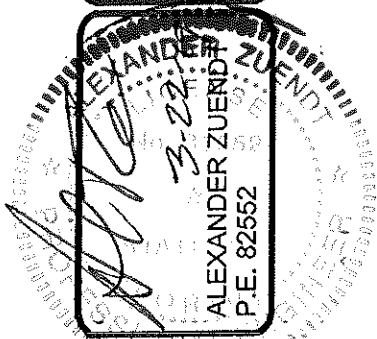




SECTION A - A



ZUENDT ENGINEERING  
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DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

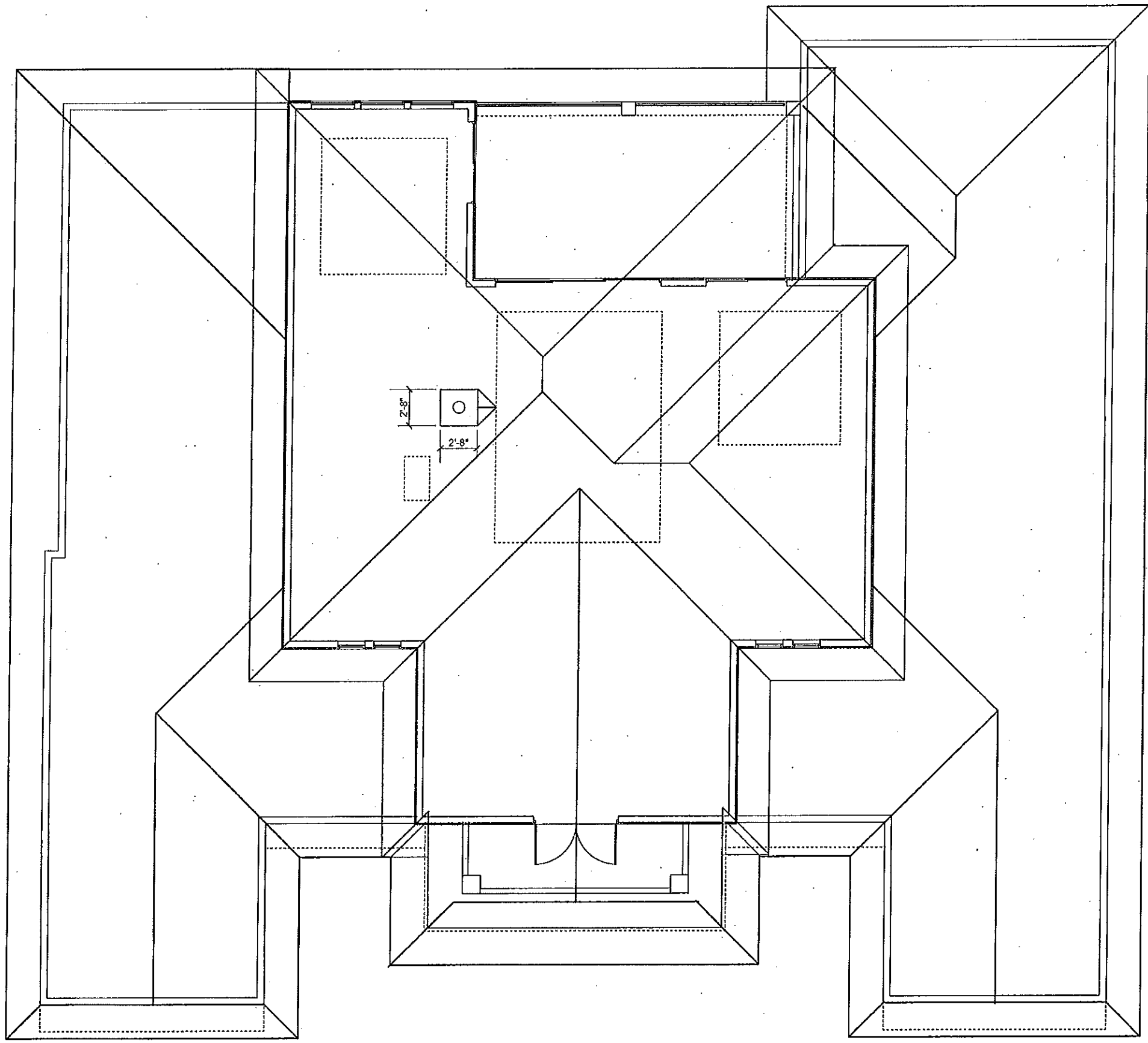
PLAN DATE
11-08-18, 03-18-19
11-14-18
11-29-18
1-03-19

SCALE 1/8" = 1'-0"

SECTION DETAILS

DEEB FAMILY HOMES, LTD.  
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5



ROOF PLAN SCALE: 1/8" = 1'-0"

**6**

**DEEB FAMILY  
HOMES, LTD.**  
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727-376-6831

PLAN DATE
11-08-18
03-18-19
11-14-18
11-29-18
1-03-19

**DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.**

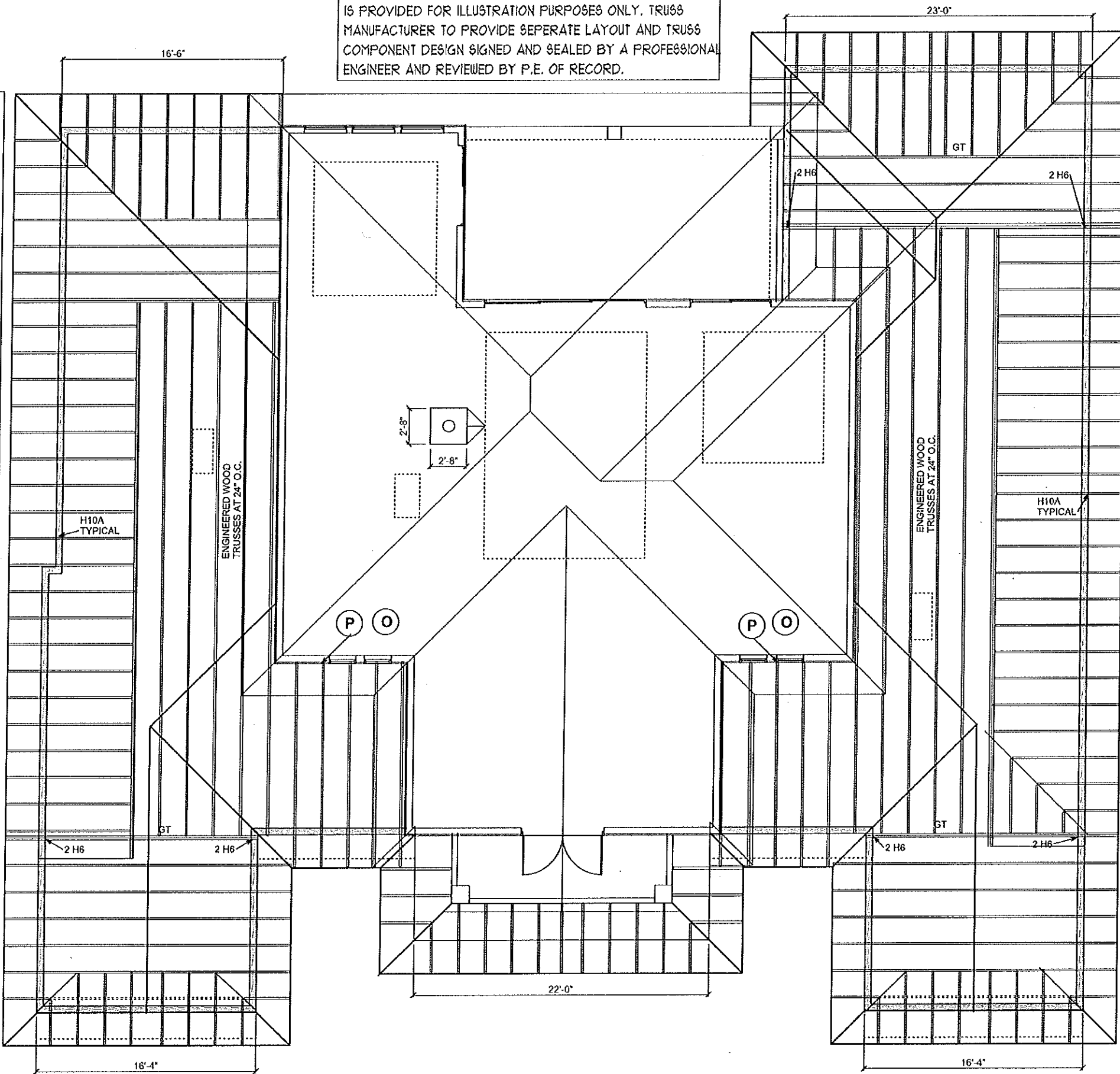
NOT PART OF P.E.  
REVIEW



**IMPORTANT NOTE:**

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

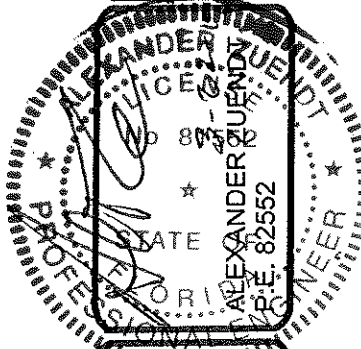
- Connection Notes**
- A. 5 Stud corner column with 3 CS16 to 2<sup>nd</sup> floor 5.25" x 5.25" Versa Lam column below
  - B. 5 stud corner column with 3 CS16 to floor girder truss below
  - C. 5 Stud corner column with 4 CS14 to beam below
  - D. 3 Ply 1.75" x 12" LVL Header beam
    - a. 3 jacks, 2 King studs each end
    - b. 2 CS16 each face, each stud pack to LVL Header
    - c. 2 CS14 each face, each stud pack to beam below
  - E. 3 Stud corner with 5.25" sq versa lam column. Versa lam column beneath roof girder truss
    - a. VGT with concealed flange to HTTS - GT to versa lam
    - b. HTTS to HTTS versa lam column to LVL beam below with 5.25" x 7" versa lam 2<sup>nd</sup> floor with 2 HTTS to cmu
  - F. 4 Stud corner with 5.25" sq versa lam column. Versa lam column beneath side to side roof girder truss, stud pack beneath front to rear girder
    - a. Side to side triple girder:
      - i. VGT with concealed flange to HTTS - GT to versa lam
      - ii. HTTS to HTTS versa lam column to 5.25" x 7" versa lam column 2<sup>nd</sup> floor with 2 HTTS to cmu
    - b. Front to rear girder
      - i. LGT2 girder to stud pack
      - ii. HTTS stud pack to 5.25" versa lam column 2<sup>nd</sup> floor with HTTS to cmu
  - G. 5 stud corner column with 3 CS16 to 5 stud corner column below with HTTS to cmu
  - H. 5 Stud corner column with 3 CS16 to beam below
  - I. 5 stud corner column with 3 CS16 to 5.25" column below with HTTS to cmu
  - J. 3 stud column with LGT2 to GT and 2 CS16 to 3 stud column below with 2 CS16 to LVL beam
  - K. 6x6 PT column with 2 CS16 each beam to each column (4 per column) with HTTS to HTTS on 5.25" columns below and HTTS to cmu
  - L. 5 Stud corner column with MSTC60 to cmu
  - M. 5.25" versa lam column with 2 LGT2 to column and HTTS to cmu below
  - N. 3 Ply 1.75" x 12" LVL upset header beam
    - a. 2 LGT2 GT to LVL header
    - b. 3 jacks, 2 king studs each end
    - c. 2 CS16 each face, each stud pack to LVL Header
    - d. HTTS to cmu below each stud pack
  - O. LUS26 bottom chord roof truss to wall, provide 2x6 top chord blocking between trusses for roof sheathing attachment with (2) 4" x 3.5" sds screws at each stud crossing and 3 10d toe nails to truss and 10d nails at 3' o.c sheathing attachment to ledger
  - P. 2x6 cont. sheathing ledger with (2) 4" x 3.5" sds screws at each stud crossing and 10d nails at 3' o.c sheathing attachment to ledger
  - Q. MGT3 with (2) 5/8" ATR, 12" embed, Epoxy
  - R. 3 pt bearing 2 ply 1.75" x 16" LVL beam
    - a. At elevator and stair column - 5.25" sq versa lam columns with (2) HTS16 to beam and HTTS to cmu
    - b. At far right column - 5.25" x 7" versa lam column per item E above
  - S. 2 ply 1.75" x 16" LVL header beams at openings
    - a. 2 jacks, 1 king stud packs
    - b. HTS16 stud pack to header
    - c. CS16 to beam below
  - T. 3 Ply 1.75" x 24" LVL header beam
    - a. 5.25" x 7" versa lam jack column each end
    - b. 2 CS14 each face, each column to LVL Header
    - c. HTTS each column to cmu
  - U. 5.25" x 7" versa lam column
    - a. 2 CS14 each face, each column to LVL Header
    - b. HTTS each column to cmu
  - V. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beams
    - b. HTTS each column to cmu
  - W. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam below
    - b. 2 CS14 each face, each column to roof girder truss above
  - X.



SCALE 1/8" = 1'-0"

FIRST FLOOR ROOF TRUSSES

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 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
**JOB # 6228**



**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.

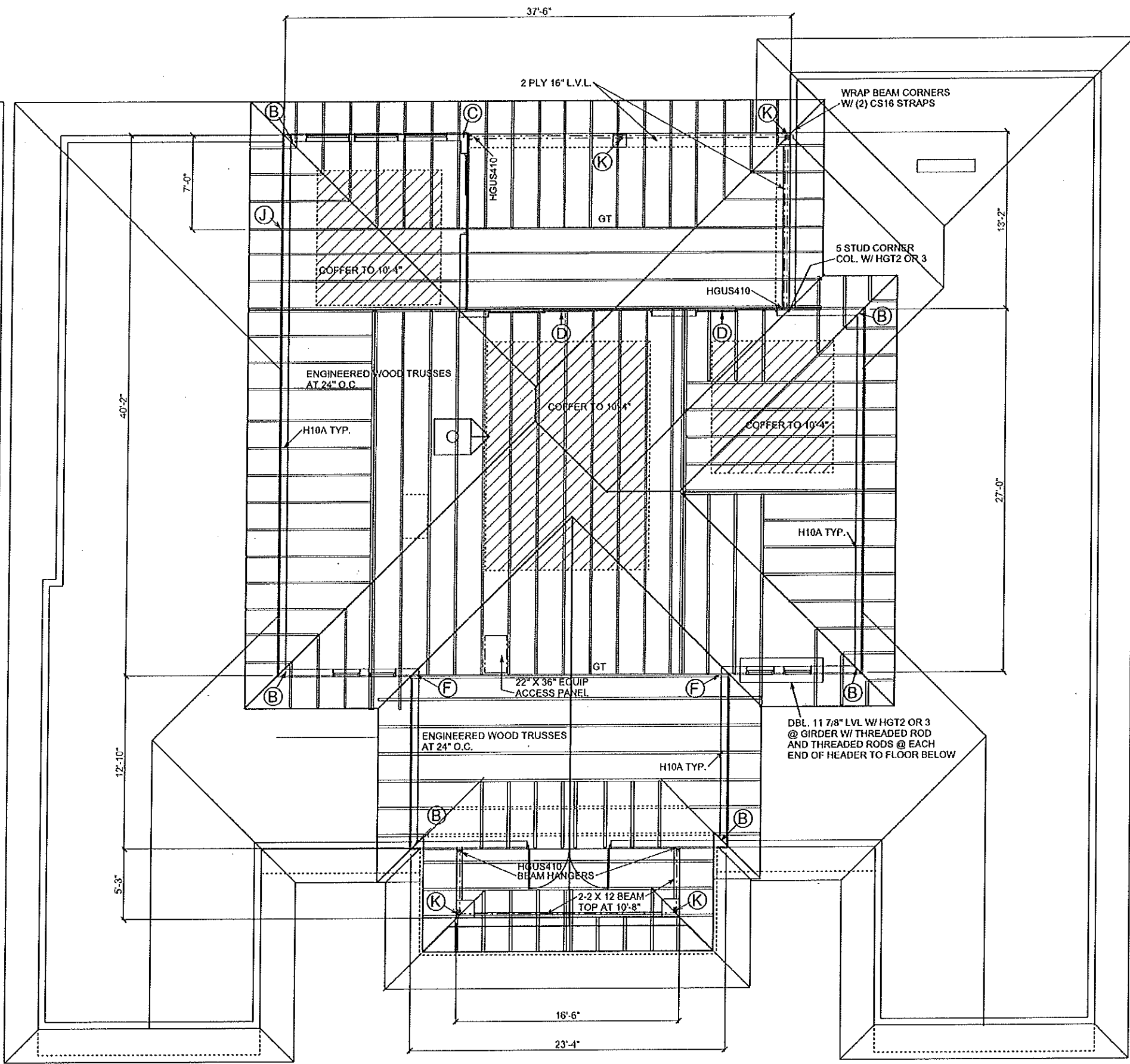
PLAN DATE	DATE
11-08-18	03-18-19
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11-29-18	
1-03-19	

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
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 727-376-6831

**6A**

- Connection Notes**
- A. 5 Stud corner column with 3 CS16 to 2<sup>nd</sup> floor 5.25" x 5.25" Versa Lam column below
  - B. 5 Stud corner column with 3 CS16 to floor girder truss below
  - C. 5 Stud corner column with 4 CS14 to beam below
  - D. 3 Ply 1.75" x 12" LVL header beam
    - a. 3 jacks, 2 King studs each end
    - b. 2 CS16 each face, each stud pack to LVL Header
    - c. 2 CS14 each face, each stud pack to beam below
  - E. 3 Stud corner with 5.25" sq versa lam column. Versa lam column beneath roof girder truss
    - a. VGT with concealed flange to HTTS - GT to versa lam
    - b. HTTS to HTTS versa lam column to LVL beam below with 5.25" x 7" versa lam 2<sup>nd</sup> floor with 2 HTTS to cmu
  - F. 4 Stud corner with 5.25" sq versa lam column. Versa lam column beneath side to side roof girder truss, stud pack beneath front to rear girder
    - a. Side to side triple girder:
      - i. VGT with concealed flange to HTTS - GT to versa lam
      - ii. HTTS to HTTS versa lam column to 5.25" x 7" versa lam column 2<sup>nd</sup> floor with 2 HTTS to cmu
    - b. Front to rear girder
      - i. LGT2 girder to stud pack
      - ii. HTTS stud pack to 5.25" versa lam column 2<sup>nd</sup> floor with HTTS to cmu
  - G. 5 stud corner column with 3 CS16 to 5 stud corner column below with HTTS to cmu
  - H. 5 Stud corner column with 3 CS16 to beam below
  - I. 5 stud corner column with 3 CS16 to 5.25" column below with HTTS to cmu
  - J. 3 stud column with LGT2 to GT and 2 CS16 to 3 stud column below with 2 CS16 to LVL beam
  - K. 6x6 PT column with 2 CS16 each beam to each column (4 per column) with HTTS to HTTS on 5.25" columns below and HTTS to cmu
  - L. 5 Stud corner column with MSTC/M60 to cmu
  - M. 5.25" versa lam column with 2 LGT2 to column and HTTS to cmu below
  - N. 3 Ply 1.75" x 12" LVL upsl header beam
    - a. 2 LGT2 GT to LVL header
    - b. 3 jacks, 2 king studs each end
    - c. 2 CS16 each face, each stud pack to LVL Header
    - d. HTTS to cmu below each stud pack
  - O. LUS26 bottom chord roof truss to wall, provide 2x6 top chord blocking between trusses for roof sheathing attachment with (2) 3/4" x 3.5" sds screws at each stud crossing and 3 10d toe nails to truss end 10d nails at 3" o.c sheathing attachment to ledger
  - P. 2x6 cont. sheathing ledger with (2) 3/4" x 3.5" sds screws at each stud crossing and 10d nails at 3" o.c sheathing attachment to ledger
  - Q. MGT3 with (2) 5/8" ATR, 12" embed, Epoxy
  - R. 3 pt bearing 2 ply 1.75"x16" LVL beam
    - a. At elevator and stair column - 5.25"sq versa lam columns with (2) HTS16 to beam and HTTS to cmu
    - b. At far right column - 5.25"x7" versa lam column per item E above
  - S. 2 ply 1.75"x16" LVL header beams at openings
    - a. 2 jacks, 1 king stud packs
    - b. HTS16 stud pack to header
    - c. CS16 to beam below
  - T. 3 Ply 1.75"x24" LVL header beam
    - a. 5.25"x7" versa lam jack column each end
    - b. 2 CS14 each face, each column to LVL Header
    - c. HTTS each column to cmu
  - U. 5.25" x 7" versa lam column
    - a. 2 CS14 each face, each column to LVL Header
    - b. HTTS each column to cmu
  - V. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam
    - b. HTTS each column to cmu
  - W. 5.25" sq versa lam column
    - a. 2 CS14 each face, each column to LVL Beam below
    - b. 2 CS14 each face, each column to roof girder truss above
  - X.

**IMPORTANT NOTE:**  
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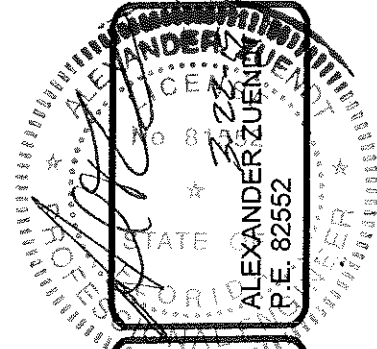
SECOND FLOOR ROOF TRUSSES SCALE 1/8" = 1'-0"



**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE	DATE
11-08-18	03-18-19
11-14-18	
11-29-18	
1-03-19	

**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.

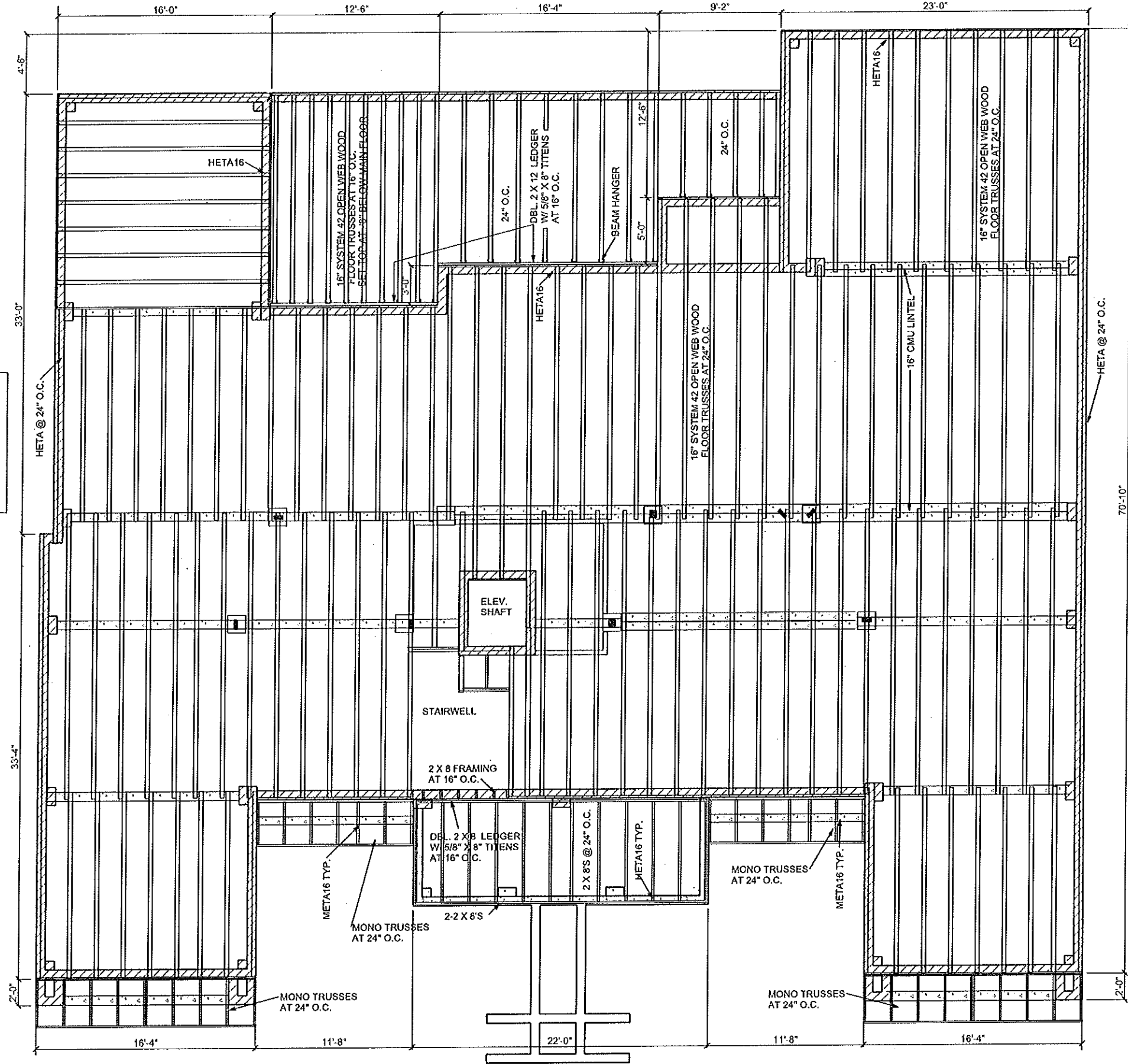


**ZUENDT ENGINEERING**  
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 CA32834  
 727-848-2921  
 JOB # 6228

**FLOOR TRUSS NOTES:**

- (1) TRUSS TO TRUSS AND TRUSS TO GIRDER CONNECTORS TO BE SPECIFIED BY THE TRUSS MFR'ER.
- (2) MINIMUM LIVE LOADS FROM FLOOR TRUSS DESIGN TO BE BASED ON FBC TABLE 1601.1 FOR ROOM AND AREA USAGE. FOR MIXED USE FLOOR, USE THE LARGEST VALUE OF THE MIN. LIVE LOADS.

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**FLOOR TRUSSES, FIRST FLOOR**

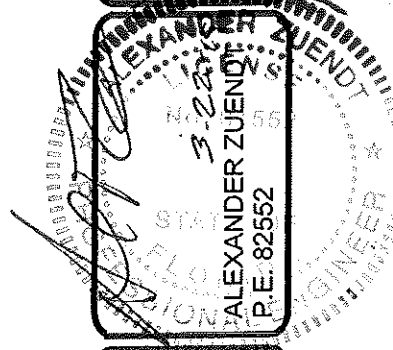
SCALE 1/8" = 1'-0"



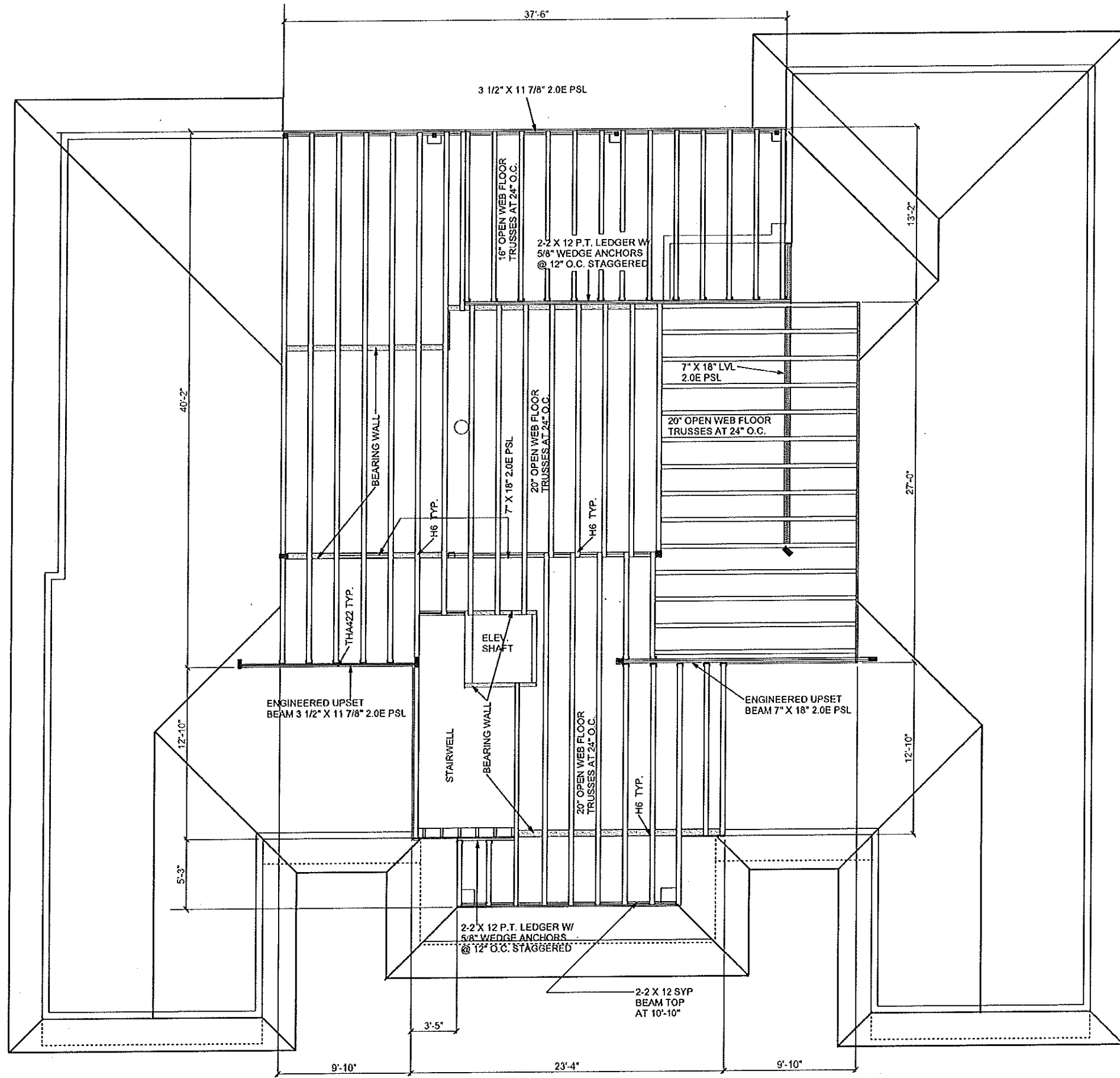
**DEEB FAMILY HOMES, LTD.**  
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**DEEB RESIDENCE**  
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 NEW PORT RICHEY, FL. 34652  
 CA332834  
 727-848-2921  
 JOB # 6228



**FLOOR TRUSSES SECOND FLOOR**

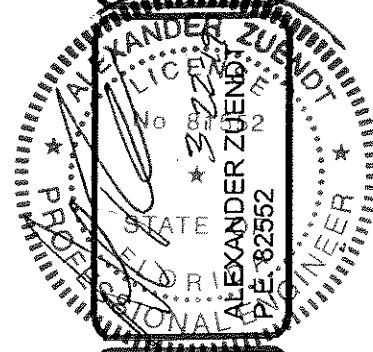
SCALE 1/8" = 1'-0"



**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE
11-08-18
11-14-18
11-29-18
11-03-19

**DEEB RESIDENCE**  
**348 SHORE DRIVE**  
**OLDSMAR, FL.**

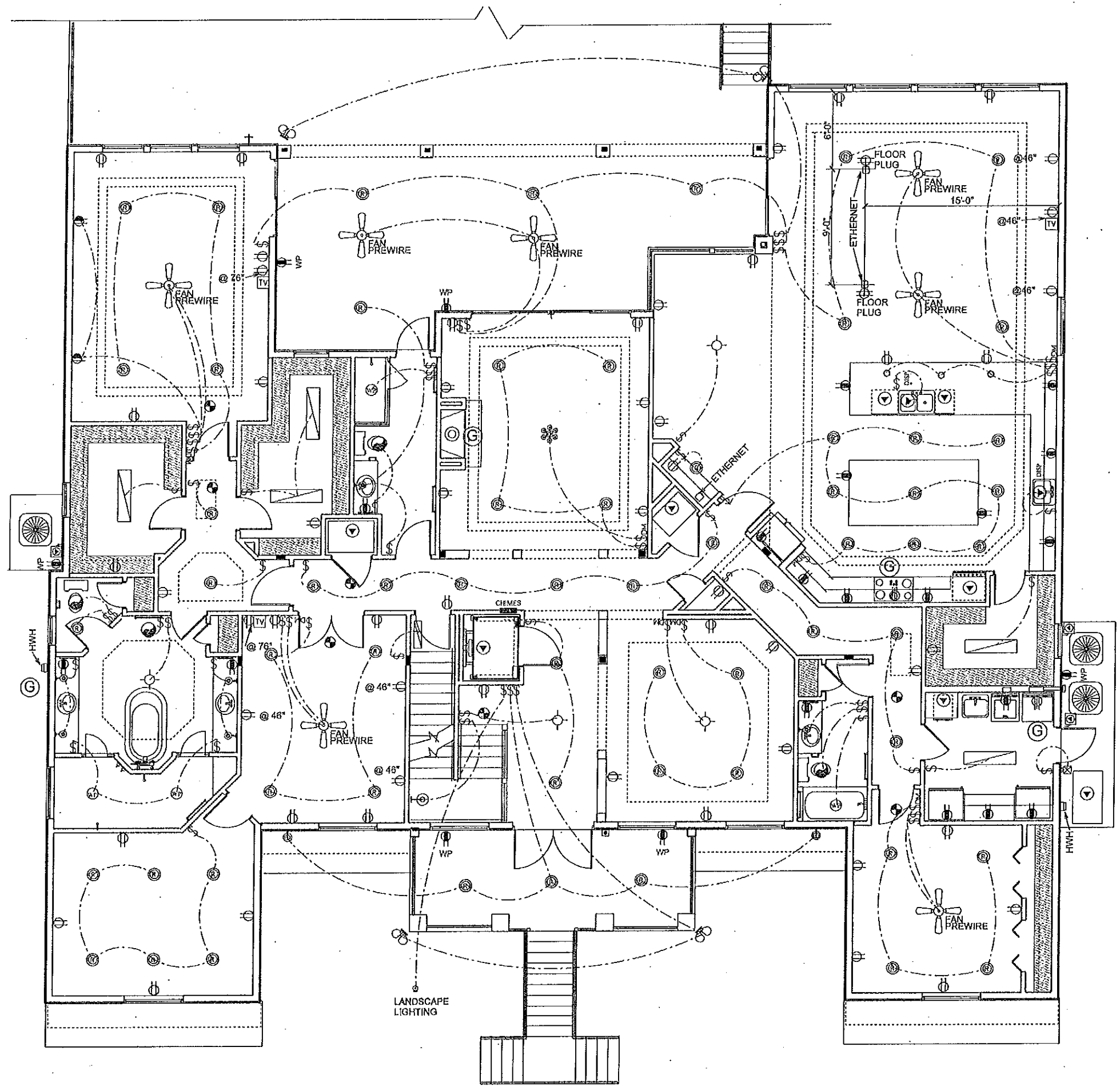


**ZUENDT ENGINEERING**  
 9405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
**JOB # 6228**

- ELECTRICAL LEGEND**
- ⊕ SINGLE POLE SWITCH
  - ⊕2 DOUBLE POLE SWITCH
  - ⊕3 THREE-WAY SWITCH
  - ⊕4 FOUR-WAY SWITCH
  - ⊕DM DIMMER SWITCH
  - ⊕ CEILING FIXTURE
  - ⊕ SCOURCE (WALL MOUNTED) FIXTURE
  - ⊕ 110 VOLT DUPLEX OUTLET
  - ⊕ 110 VOLT SPLIT SWITCHED OUTLET
  - ⊕ GFI GROUND FAULT INTERRUPT
  - ⊕ WP WATER PROOF W/ GROUND FAULT
  - ⊕ 220 VOLT OUTLET
  - ⊕ SPECIAL SERVICES OUTLET
  - ⊕ TV T.V. CABLE OUTLET
  - ⊕ TELEPHONE CABLE OUTLET
  - ⊕ RECESSED LIGHTING
  - ⊕ WATER PROOF RECESSED LIGHTING
  - ⊕ BATH FAN
  - ⊕ BATH FAN W/ LIGHT
  - ⊕ G GAS DROP
  - ⊕ SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
  - ⊕ FLOOD LIGHT
  - ⊕ FLUORESCENT LIGHTING
  - ⊕ TRACK LIGHTING
  - ⊕ CEILING FAN
  - ⊕ CHIMES DOOR BELL CHIMES
  - ⊕ DOOR BELL
  - ⊕ DISPOSAL
  - ⊕ DISCONNECT SWITCH
  - ⊕ PREWIRE SPEAKER
  - ⊕ JUNCTION BOX
  - ⊕ THERMOSTAT
  - ⊕ LOW VOLTAGE LIGHTING
  - ⊕ INTERCOM SYSTEM
  - ⊕ GARAGE DOOR PUSH BUTTON

- UNLESS OTHERWISE NOTED
- ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)
  - KITCHEN 42"
  - BATHROOM 42"
  - LAUNDRY 36" WASHER/24" DRYER WALL OUTLETS 45"
  - EXTERIOR WATERPROOF @ 12"
  - GARAGE GFI @ 45"
  - RANGE ZEDV @ 4"
  2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE
  3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

- ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.
- SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION R314
- PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC, SECTION 210-12
- ALL RECEPTICALS TO BE TAMPER PROOF PER SECT. 406.11



FIRST FLOOR ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

7	DEEB FAMILY HOMES, LTD. 9400 RIVER CROSSING BLD. NEW PORT RICHEY, FL. 34655 727-376-6831	PLAN DATE 11-08-18; 03-18-19 11-14-18 11-29-18; 11-03-19	DEEB RESIDENCE 348 SHORE DRIVE OLDSMAR, FL.	NOT PART OF P.E. REVIEW
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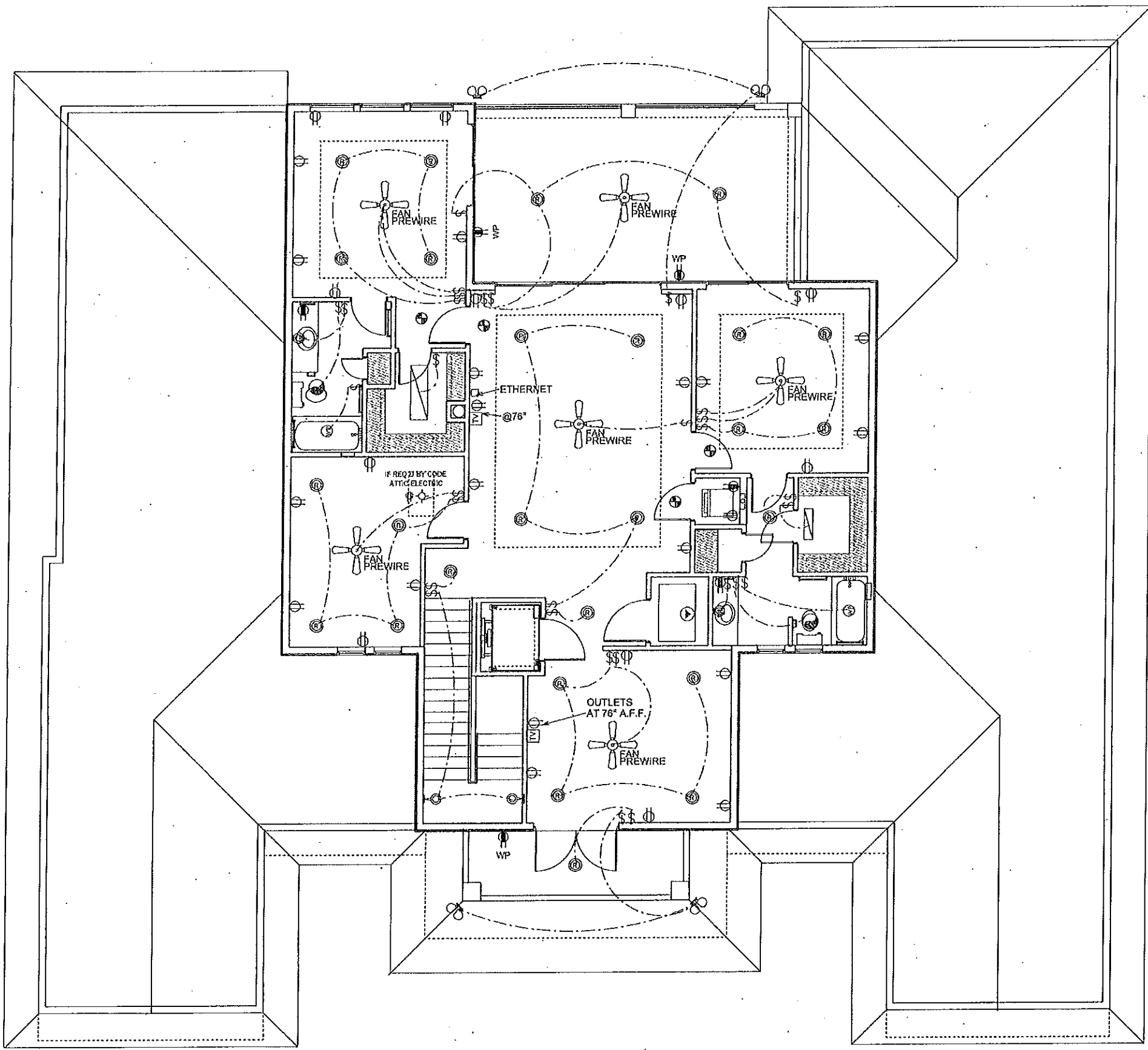
**ELECTRICAL LEGEND**

- \$ SINGLE POLE SWITCH
- \$2 DOUBLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$4 FOUR-WAY SWITCH
- \$DM DIMMER SWITCH
- CEILING FIXTURE
- SCOURCE (WALL MOUNTED) FIXTURE
- 110 VOLT DUPLEX OUTLET
- 110 VOLT SPLIT SWITCHED OUTLET
- GROUND FAULT INTERRUPT
- WP WATER PROOF W/ GROUND FAULT
- 220 VOLT OUTLET
- SPECIAL SERVICES OUTLET
- TV T.V. CABLE OUTLET
- TELEPHONE CABLE OUTLET
- RECESSED LIGHTING
- WATER PROOF RECESSED LIGHTING
- BATH FAN
- BATH FAN W/LIGHT

- SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
- FLOOD LIGHT
- FLUORESCENT LIGHTING
- TRACK LIGHTING
- CEILING FAN
- CHIMES
- DISP
- DISCONNECT SWITCH
- PREWIRE SPEAKER
- JUNCTION BOX
- THERMOSTAT
- LOW VOLTAGE LIGHTING
- INTERCOM SYSTEM
- GARAGE DOOR PUSH BUTTON

UNLESS OTHERWISE NOTED  
 1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)  
 42"  
 BATHROOM  
 KITCHEN  
 LAUNDRY  
 EXTERIOR  
 GARAGE  
 RANGE  
 36" WASHER/ 24" DRYER/ WALL OUTLETS 45"  
 WATERPROOF @ 12"  
 GFI @ 45"  
 220V @ 4"  
 2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE  
 3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.  
 5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION R314  
 6. PROVIDE AFCI (ARC FAULT INTERRUPTERS ) IN ALL BEDROOMS PER NEC. SECTION 210-12  
 7. ALL RECEPICALS TO BE TAMPER PROOF PER SECT. 406.11



SECOND FLOOR ELECTRICAL SCALE 1/8" = 1'-0"

**7A**

DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL 34655  
 727-576-6831

PLAN DATE
11-08-18: 03-18-19
11-14-18
11-29-18
1-03-19

DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

NOT PART OF P.E. REVIEW



**ELECTRICAL LEGEND**

- |      |                                |   |                         |
|------|--------------------------------|---|-------------------------|
| \$   | SINGLE POLE SWITCH             | ☼ | SMOKE DETECTOR          |
| \$2  | DOUBLE POLE SWITCH             | ☼ | CARBON DIOXIDE DETECTOR |
| \$3  | THREE-WAY SWITCH               | ☼ | FLOOD LIGHT             |
| \$4  | FOUR-WAY SWITCH                | ☼ | FLUORESCENT LIGHTING    |
| \$DM | DIMMER SWITCH                  | ☼ | TRACK LIGHTING          |
| ☼    | CEILING FIXTURE                | ☼ | CEILING FAN             |
| ☼    | SCOURGE (WALL MOUNTED) FIXTURE | ☼ | DOOR BELL CHIMES        |
| ☼    | 110 VOLT DUPLEX OUTLET         | ☼ | DOOR BELL               |
| ☼    | 110 VOLT SPLIT SWITCHED OUTLET | ☼ | DISPOSAL                |
| ☼    | GROUND FAULT INTERRUPT         | ☼ | DISCONNECT SWITCH       |
| ☼ WP | WATER PROOF W/ GROUND FAULT    | ☼ | PREWIRE SPEAKER         |
| ☼    | 220 VOLT OUTLET                | ☼ | JUNCTION BOX            |
| ☼    | SPECIAL SERVICES OUTLET        | ☼ | THERMOSTAT              |
| ☼ TV | T.V. CABLE OUTLET              | ☼ | LOW VOLTAGE LIGHTING    |
| ☼    | TELEPHONE CABLE OUTLET         | ☼ | INTERCOM SYSTEM         |
| ☼    | RECESSED LIGHTING              | ☼ | GARAGE DOOR PUSH BUTTON |
| ☼    | WATER PROOF RECESSED LIGHTING  |   |                         |
| ☼    | BATH FAN                       |   |                         |
| ☼    | BATH FAN W/ LIGHT              |   |                         |

**NOTES:**

UNLESS OTHERWISE NOTED  
 1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. ( GENERAL )

KITCHEN 42"  
 BATHROOM 42"  
 LAUNDRY 38" WASHER/ 24" DRYER/ WALL OUTLETS 45"  
 EXTERIOR WATERPROOF @ 12"  
 GARAGE GFI @ 45"  
 RANGE 220V @ 4"

2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE

3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.

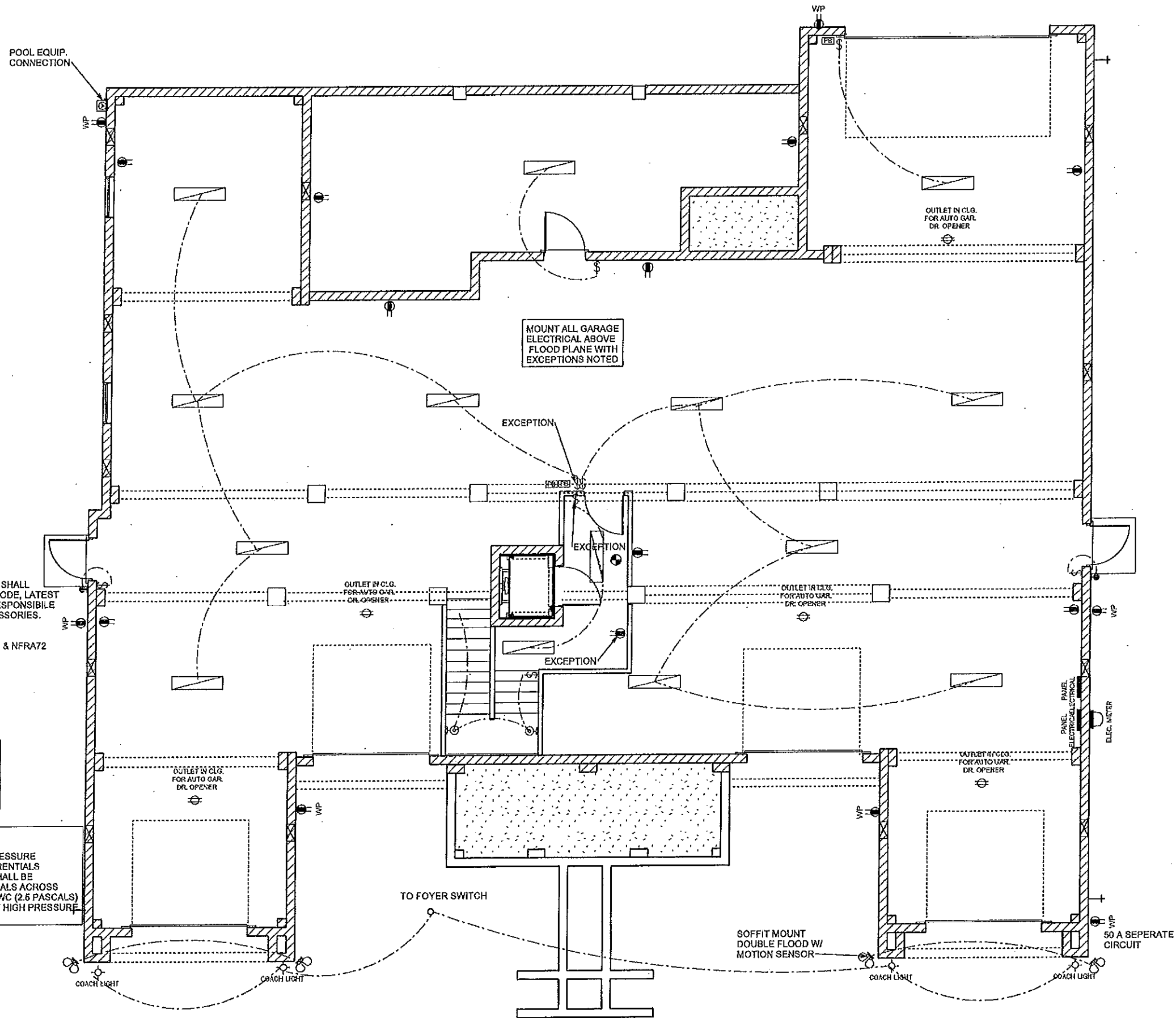
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, R314, UL217 NFPA72 AND SECTION 907.2.11.1 & NFRA72

6. PROVIDE AFCI ( ARC FAULT INTERRUPTERS ) IN ALL AREAS PER NEC, SECTION 210-12

7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT 406.11

NOTE:  
 PER SECTION 501.2 MECH CODE 2004- THE AIR REMOVED BY MECHANICAL EXHAUST SYSTEM SHALL BE DISCHARGED OUTDOORS AT A POINT WHERE IT WILL NOT CAUSE A NUISANCE AND FROM WHICH IT CANNOT AGAIN BE READILY DRAWN IN BY A VENTILATING SYSTEM. AIR SHALL NOT BE EXHAUSTED INTO AN ATTIC OR CRAWL SPACE.

NOTE:  
 PER SECT 601.4 BALANCED RETURN AIR. PROVISIONS SHALL BE MADE TO AVOID UNBALANCED AIR FLOWS AND PRESSURE DIFFERENTIALS CAUSED BY RESTRICTED RETURN AIR. PRESSURE DIFFERENTIALS ACROSS CLOSED DOORS WHERE RETURNS ARE CENTRALLY LOCATED SHALL BE LIMITED TO 0.01 INCH WC (2.5 PASCALS) OR LESS. PRESSURE DIFFERENTIALS ACROSS FIREWALLS IN CEILING SPACE PLENUMS SHALL BE LIMITED TO 0.01 INCH WC (2.5 PASCALS) BY PROVIDING AIR DUCT PATHWAYS OR AIR TRANSFER PATHWAYS FROM HIGH PRESSURE ZONES TO THE LOW ZONES



GROUND FLOOR ELECTRICAL

SCALE 1/8" = 1'-0"

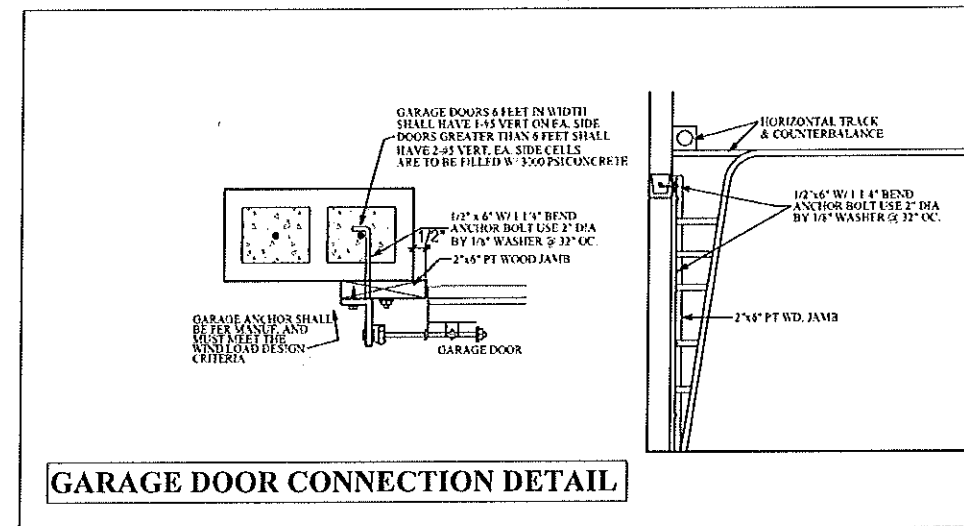
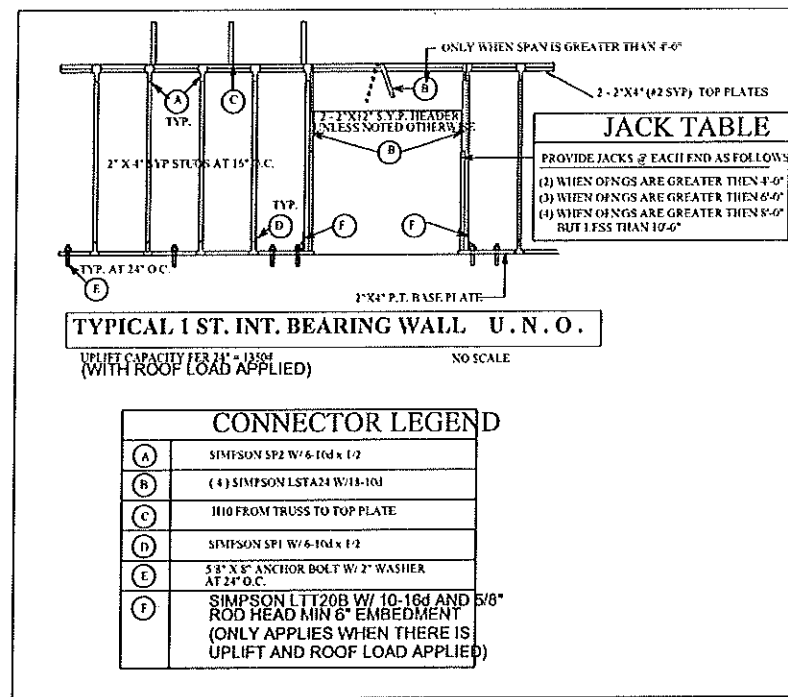
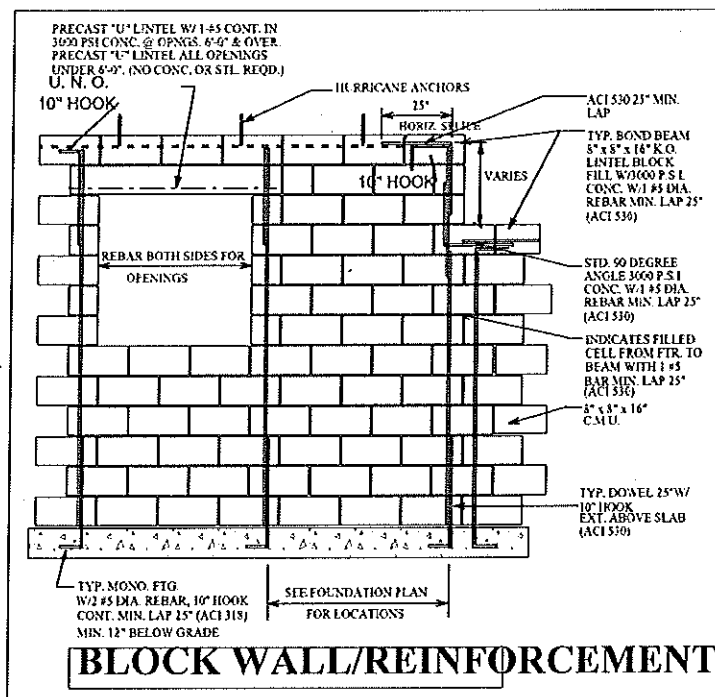
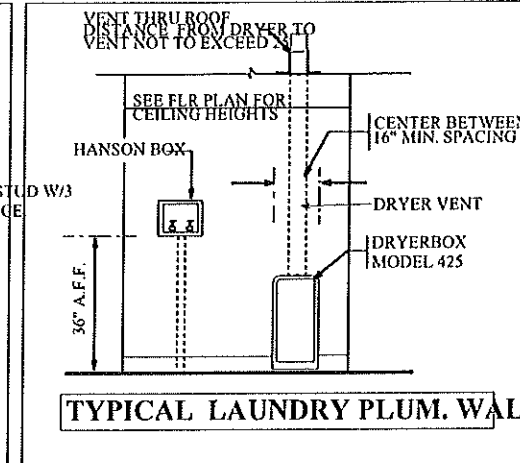
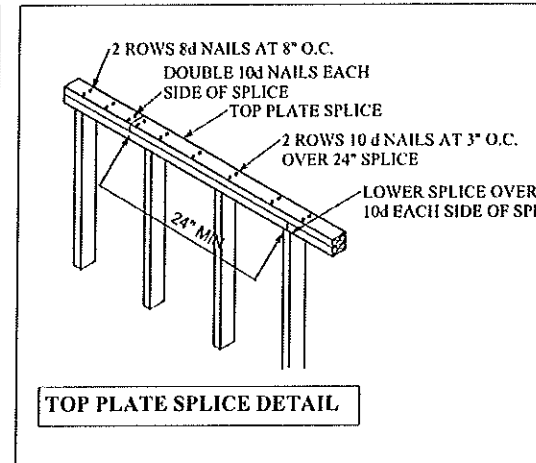
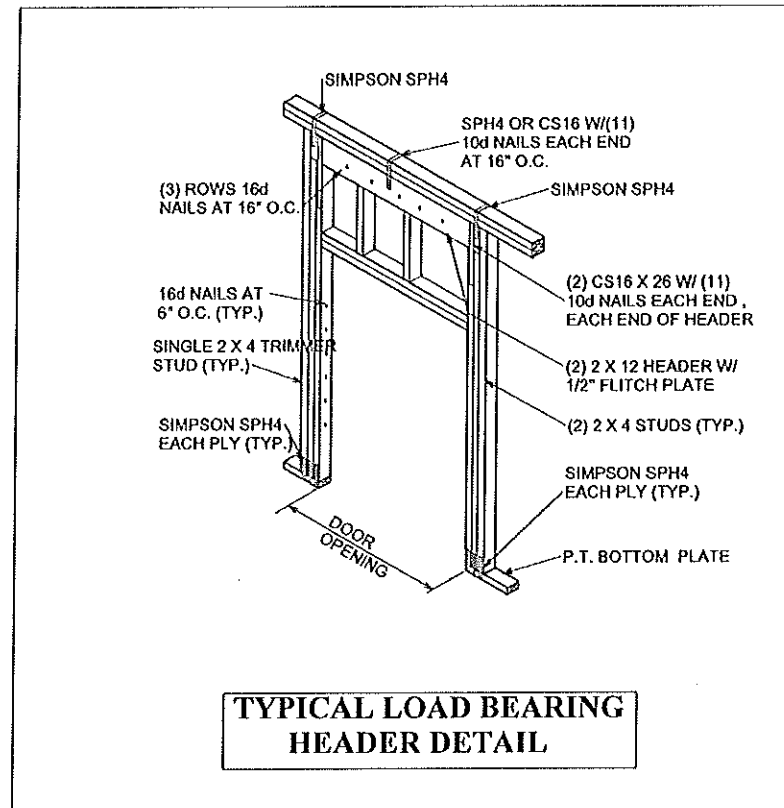
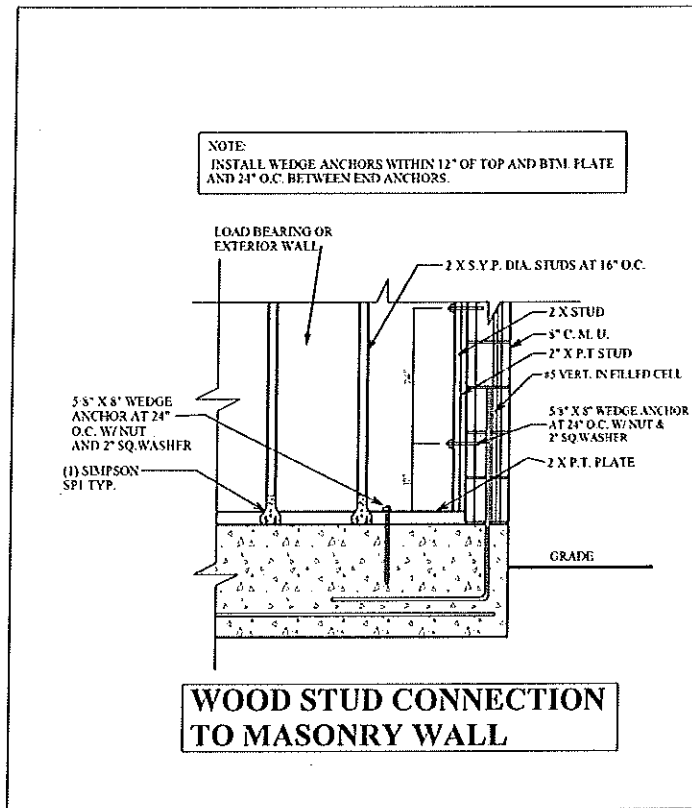
NOT PART OF P.E. REVIEW

DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE
11-08-18, 03-18-19
11-14-18
11-29-18
1-03-19

DEEB FAMILY  
 HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

**7B**



**CONSTRUCTION DETAILS**  
**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

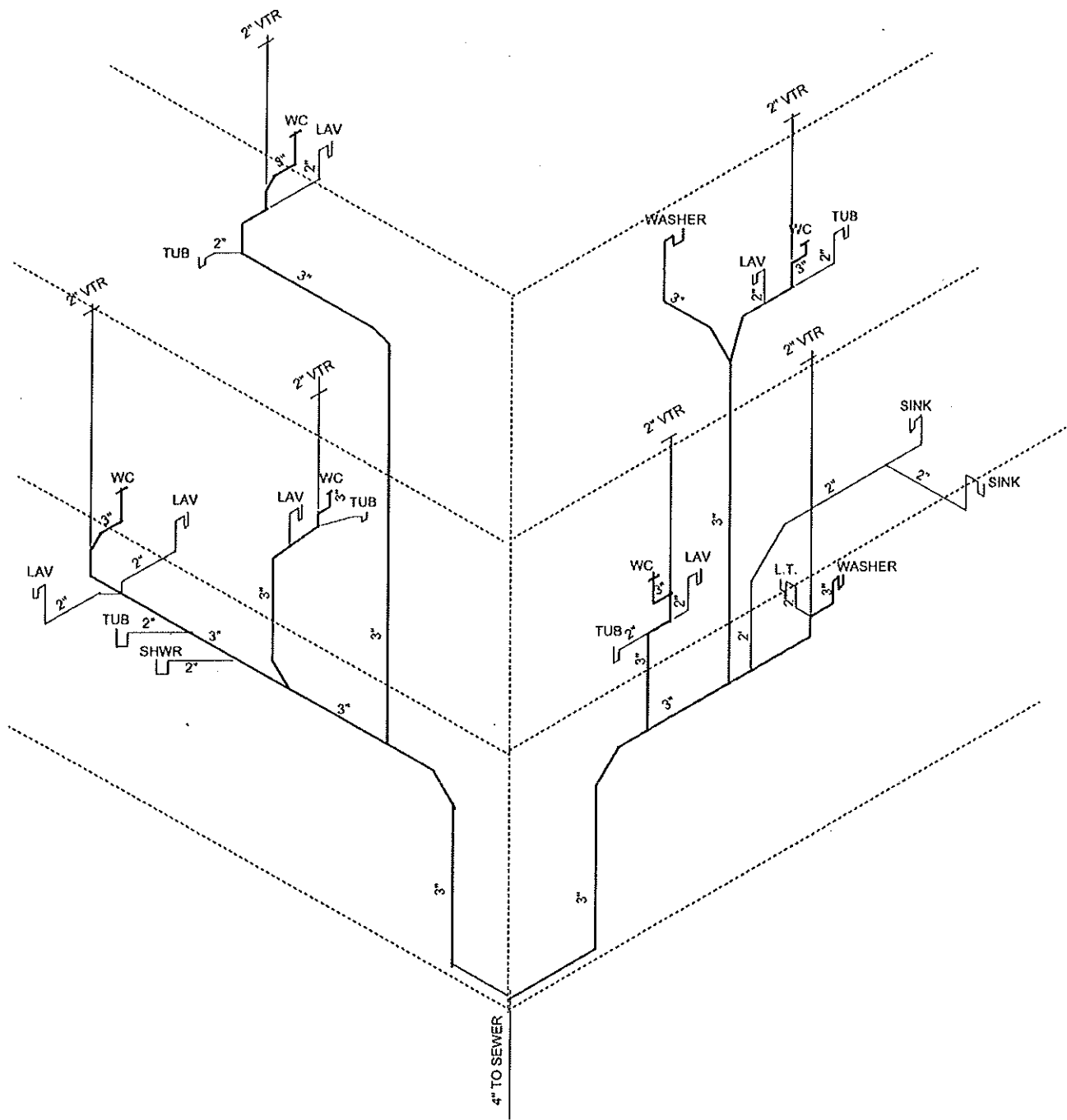
**DEEB RESIDENCE**  
 348 SHORE DRIVE  
 OLDSMAR, FL.

**ALEXANDER ZUENDT ENGINEERING**  
 1000 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 727-848-2834  
 727-848-2921  
 P.E. # 22562  
 # 6228

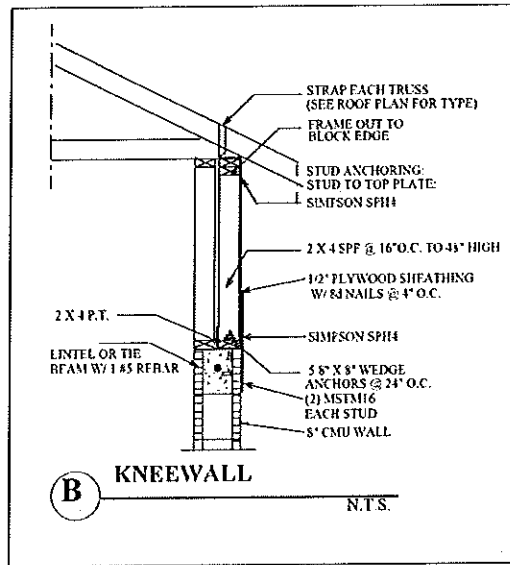
PROFESSIONAL ENGINEER  
 STATE OF FLORIDA  
 LICENSE NO. 22562  
 ALEXANDER ZUENDT  
 03-22-15

PLAN DATE  
 11-08-18: 03-18-19  
 11-14-18  
 11-29-18  
 1-03-19

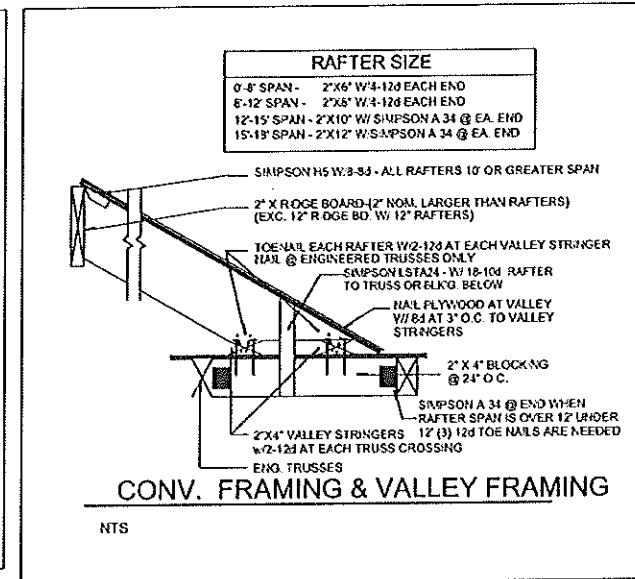
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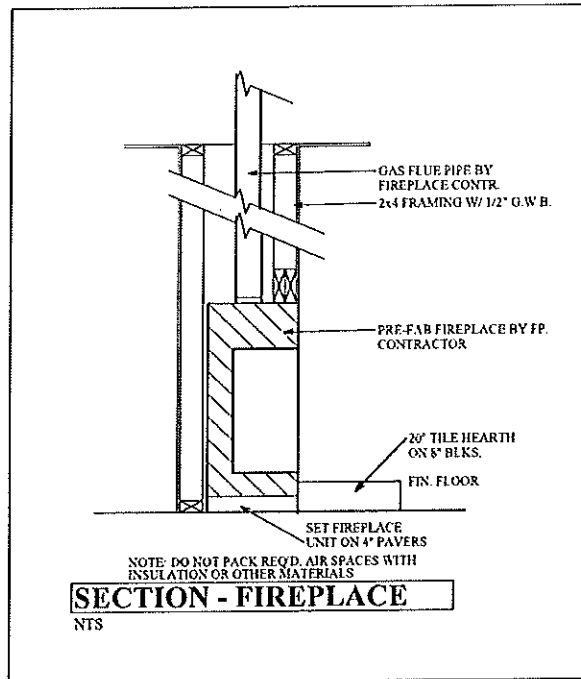
PLUMBING RISERS



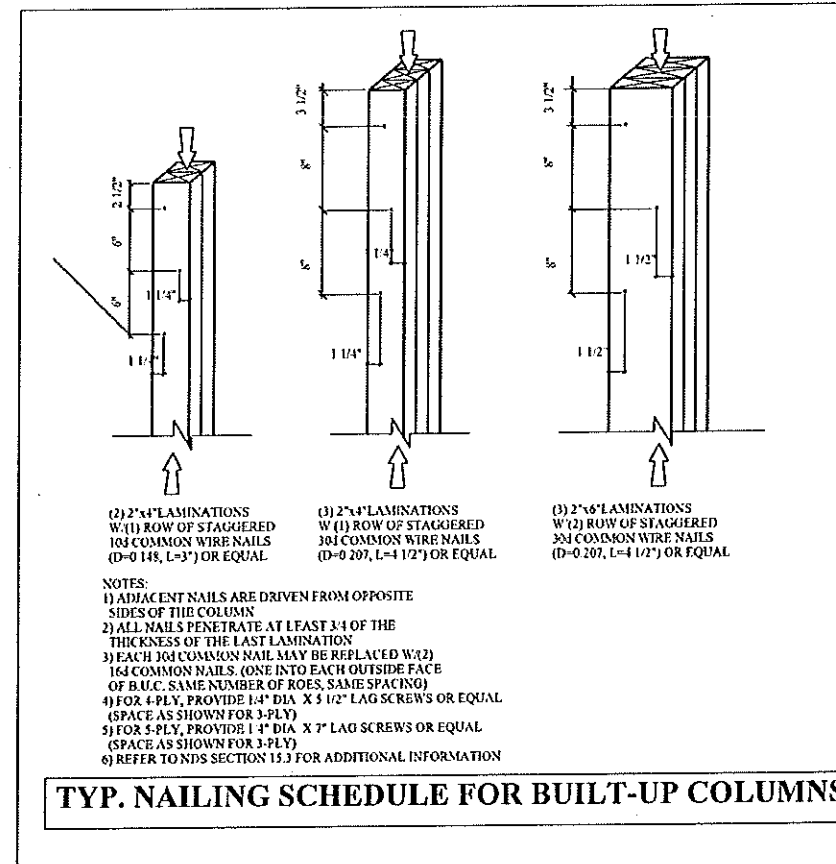
**B** KNEEWALL N.T.S.



CONV. FRAMING & VALLEY FRAMING N.T.S.



SECTION - FIREPLACE N.T.S.



TYP. NAILING SCHEDULE FOR BUILT-UP COLUMNS

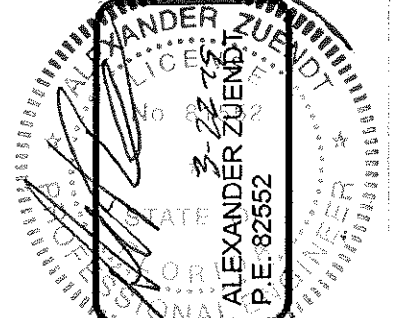
CONST. DETAILS

9

DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-576-6831

PLAN DATE	11-08-18	103-18-19
	11-14-18	
	11-29-18	
	1-03-19	

DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.



ZUENDT ENGINEERING  
5405 WATER ST.  
NEW PORT RICHEY, FL. 34652  
CA32834  
727-848-2921  
JOB # 6228

ENGINEERED WOOD TRUSSES  
 @ 24" O.C.  
 INSTALL ROOFING PER ROOF  
 IMPROVERS INSTRUCTIONS.  
 ICYNENE  
 INSULATION  
 SIMPSON H10A  
 2" X 8 SPRUCE SUB FASCIA  
 W/ 3/4" X 6 MURATEC OVER  
 3/4" X 10 MURATEC.  
 PLYWOOD SOFFIT  
 2'-0"

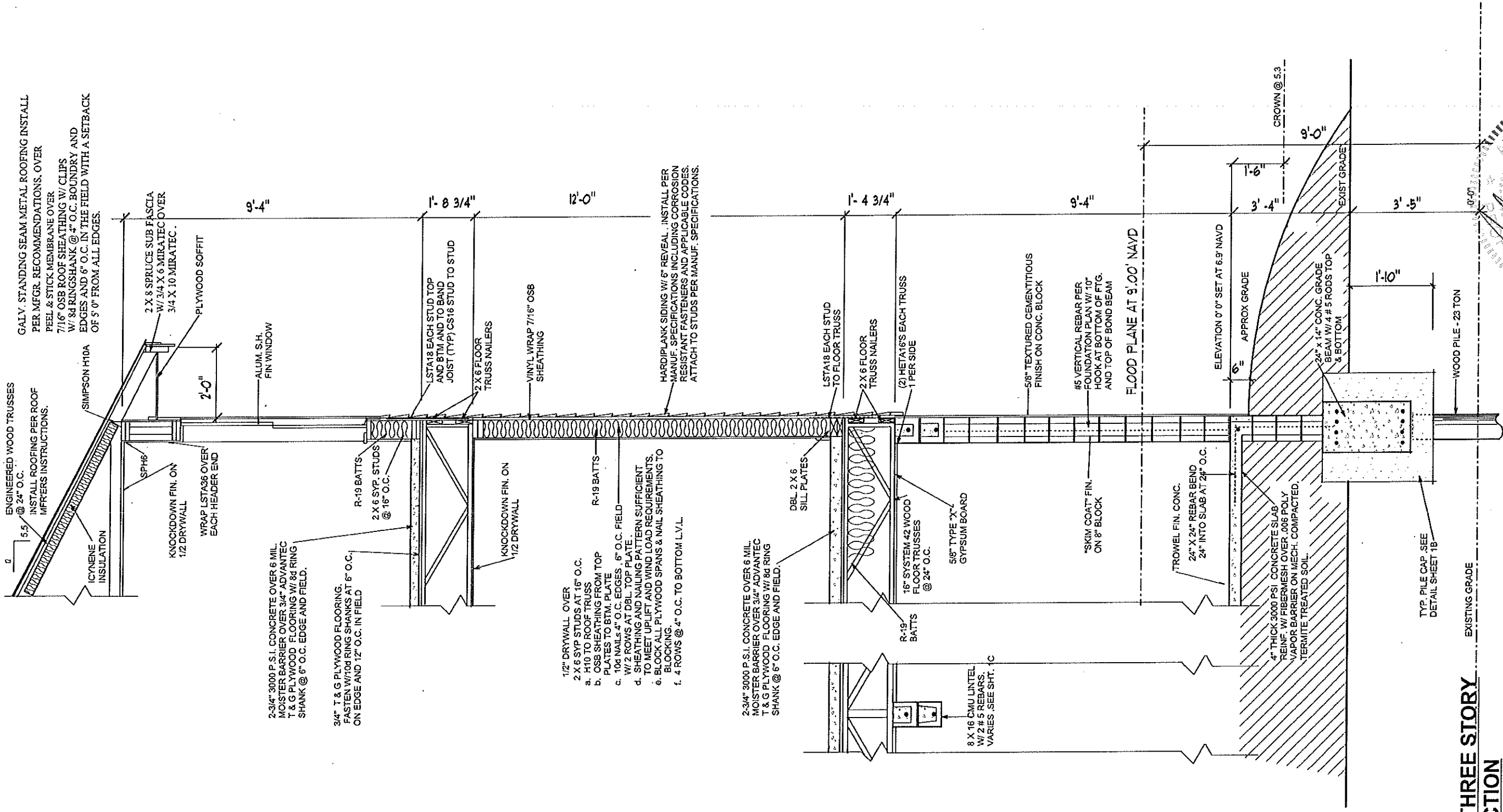
2-3/4" 3000 P.S.I. CONCRETE OVER 6 MIL.  
 MOISTURE BARRIER OVER 3/4" ADVANTEC  
 T & G PLYWOOD FLOORING W/ 8d RING  
 SHANK @ 6" O.C. EDGE AND FIELD.

3/4" T & G PLYWOOD FLOORING.  
 FASTEN W/ 8d RING SHANKS AT 6" O.C.  
 ON EDGE AND 12" O.C. IN FIELD

- 1/2" DRYWALL OVER
- 2 X 6 SYP STUDS AT 16" O.C.
- a. H10 TO ROOF TRUSS
- b. OSB SHEATHING FROM TOP PLATES TO BTM. PLATE
- c. 10d NAILS @ 4" O.C. EDGES, 6" O.C. FIELD
- d. SHEATHING AND NAILING PATTERN SUFFICIENT TO MEET UPLIFT AND WIND LOAD REQUIREMENTS.
- e. BLOCK ALL PLYWOOD SPANS & NAIL SHEATHING TO BLOCKING.
- f. 4 ROWS @ 4" O.C. TO BOTTOM L.V.L.

2-3/4" 3000 P.S.I. CONCRETE OVER 6 MIL.  
 MOISTURE BARRIER OVER 3/4" ADVANTEC  
 T & G PLYWOOD FLOORING W/ 8d RING  
 SHANK @ 6" O.C. EDGE AND FIELD.

8 X 16 CMU LINTEL  
 W/ 2 # 5 REBARS.  
 VARIES. SEE SHT. 10 C



**TYPICAL THREE STORY  
 WALL SECTION**

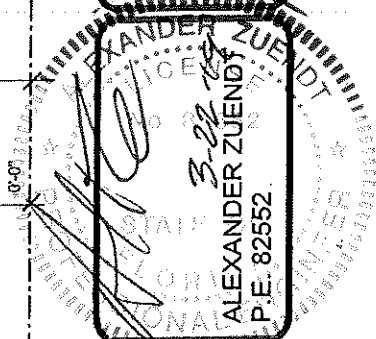
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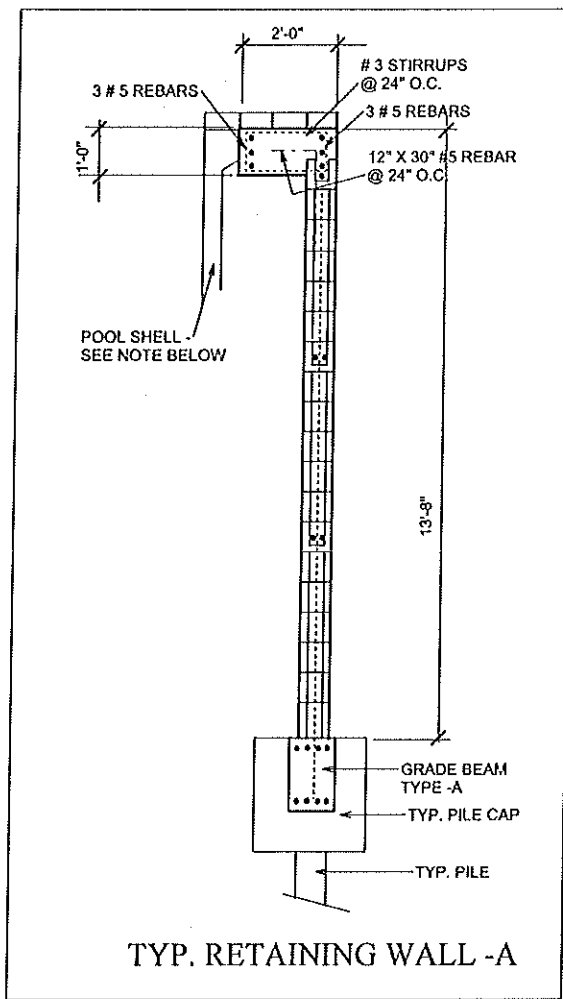
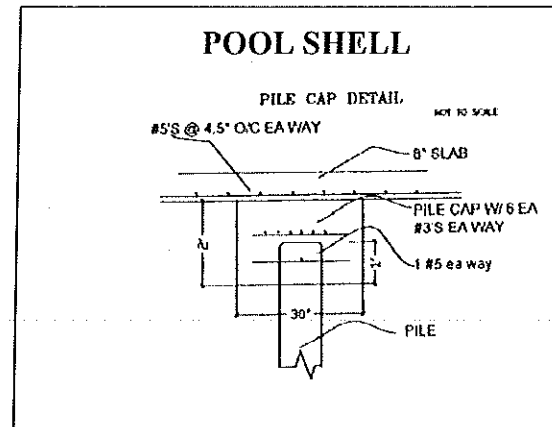
**DEEB FAMILY  
 HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE
11-08-18 103-18-19
11-14-18
11-29-18
1-03-19

**DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.**

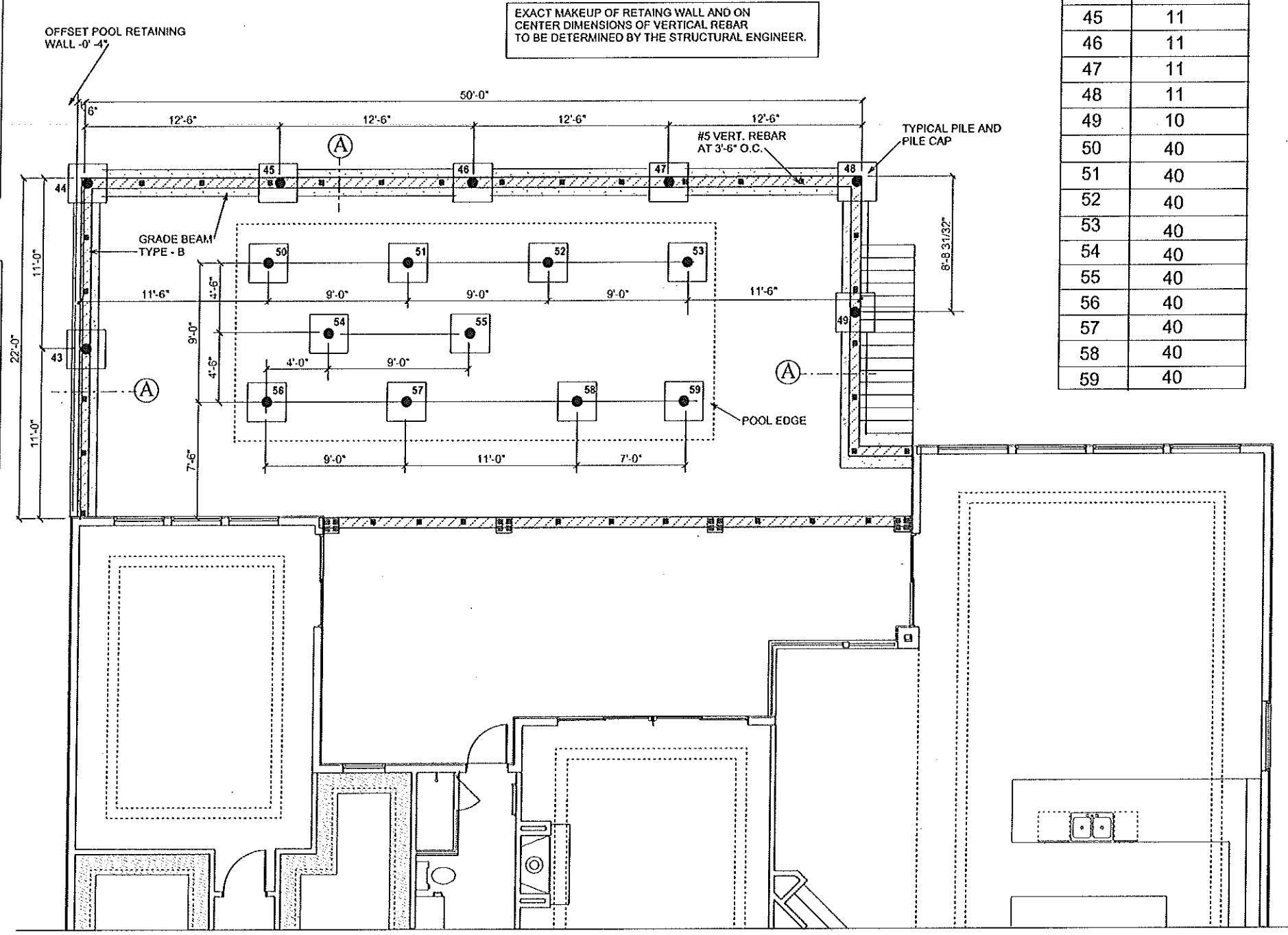
**ZUENDT ENGINEERING**  
 5405 WATER ST.  
 NEW PORT RICHEY, FL. 34652  
 CA32834  
 727-848-2921  
 JOB # 6228





**POOL SHELL NOTES:**

1. Pool Shell bottom to be 8" thick w/ reinforcing in shell to be #5 @ 4.5" o/c.
2. Concrete Strength; 4,000 psi
3. Reinforcing Steel; Grade 40
4. Minimum steel cover in ground ; 1.5"
5. Cut off pile so that the top will be 12" above the bottom of the PILE CAP.



PILE #-	TOTAL KIPS
43	10
44	11
45	11
46	11
47	11
48	11
49	10
50	40
51	40
52	40
53	40
54	40
55	40
56	40
57	40
58	40
59	40

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**DEEB RESIDENCE**  
348 SHORE DRIVE  
OLDSMAR, FL.

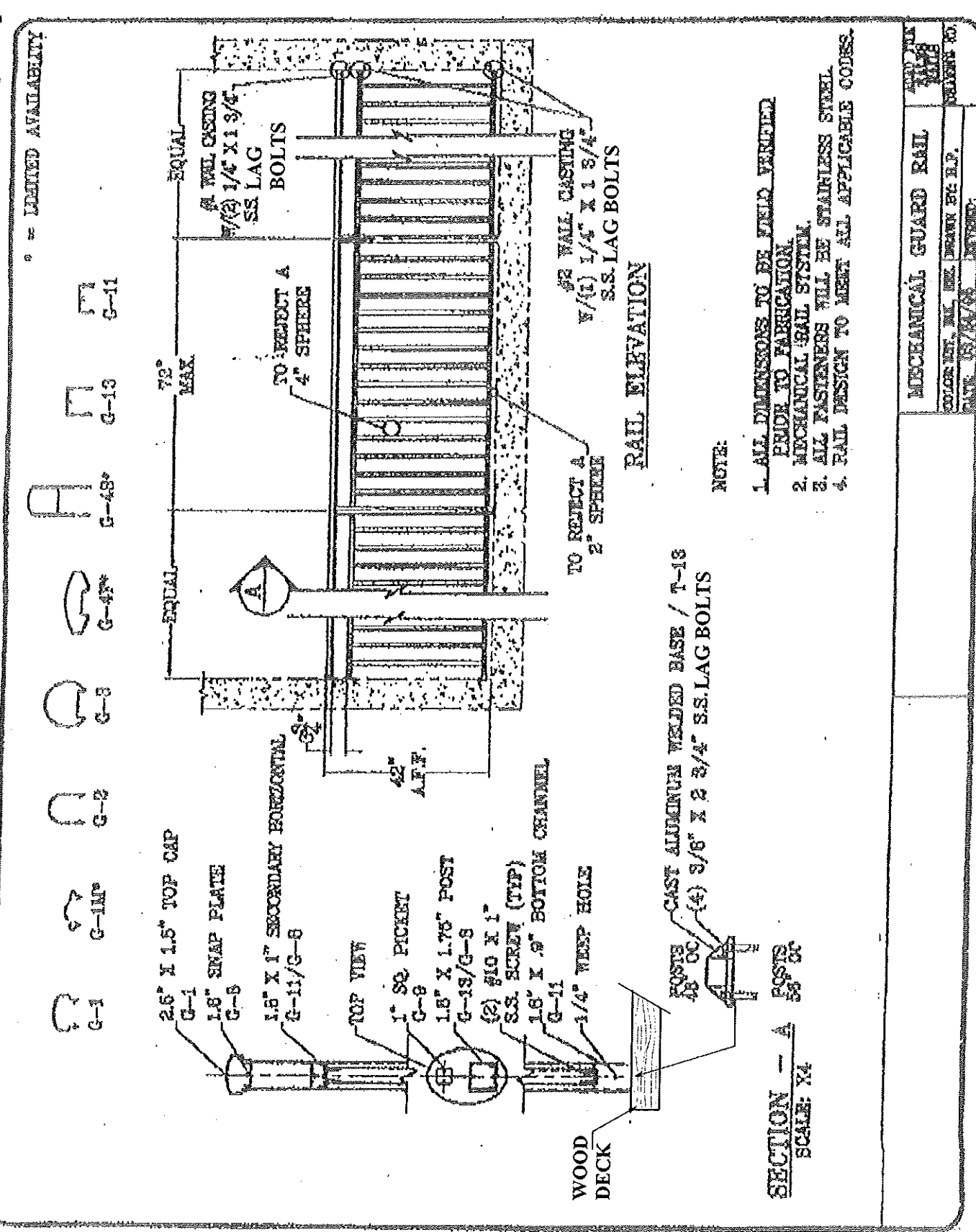
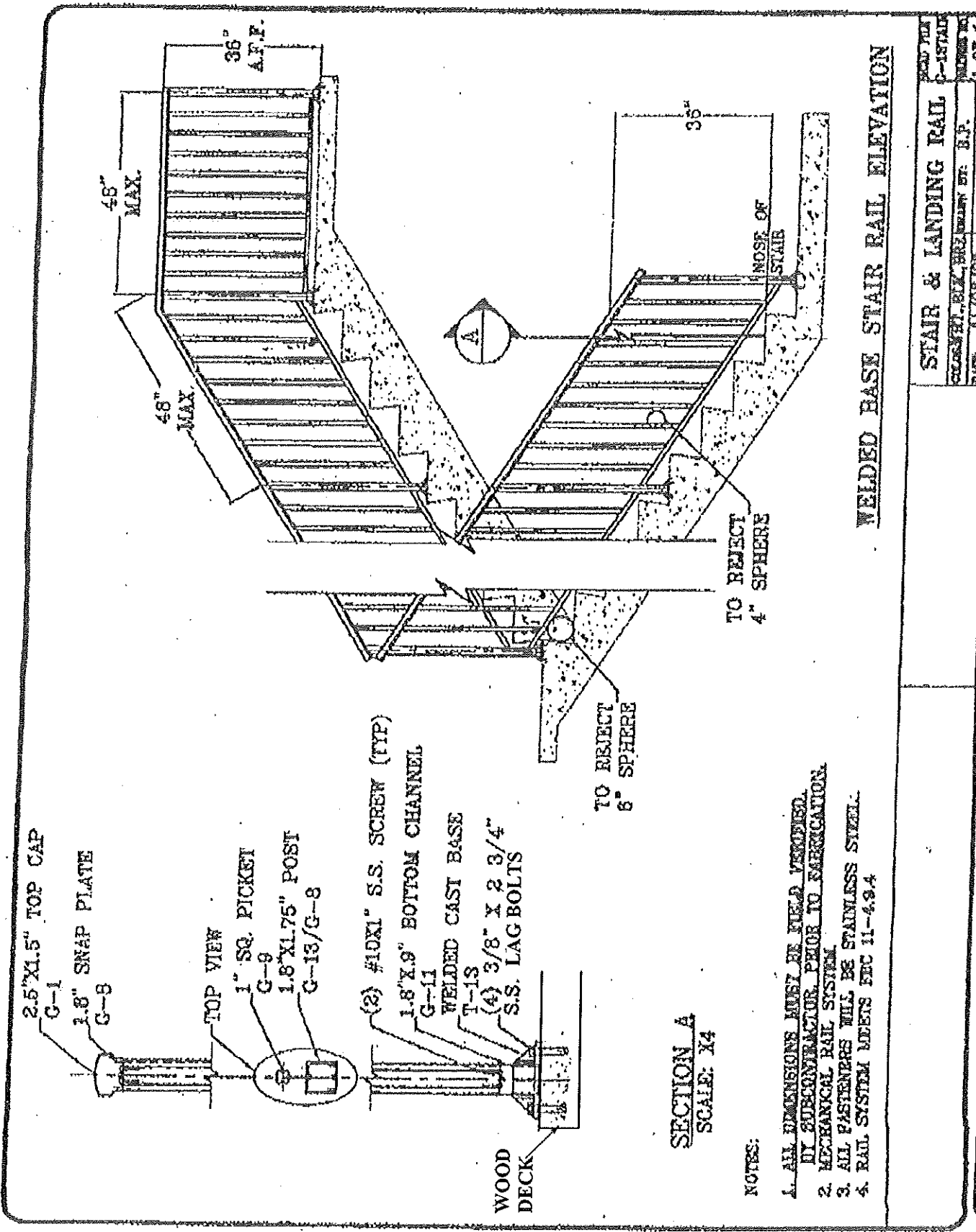
PLAN DATE

11-08-18	03-18-19
11-14-18	
11-29-18	
12-03-19	

**DEEB FAMILY HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

POOL WALL & PILING DETAILS SCALE 1/8" = 1'-0"

# 12



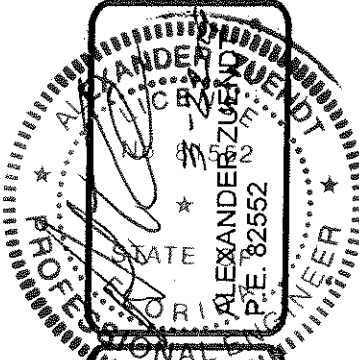
**RAILING ATTACHMENT DETAILS**

**13**

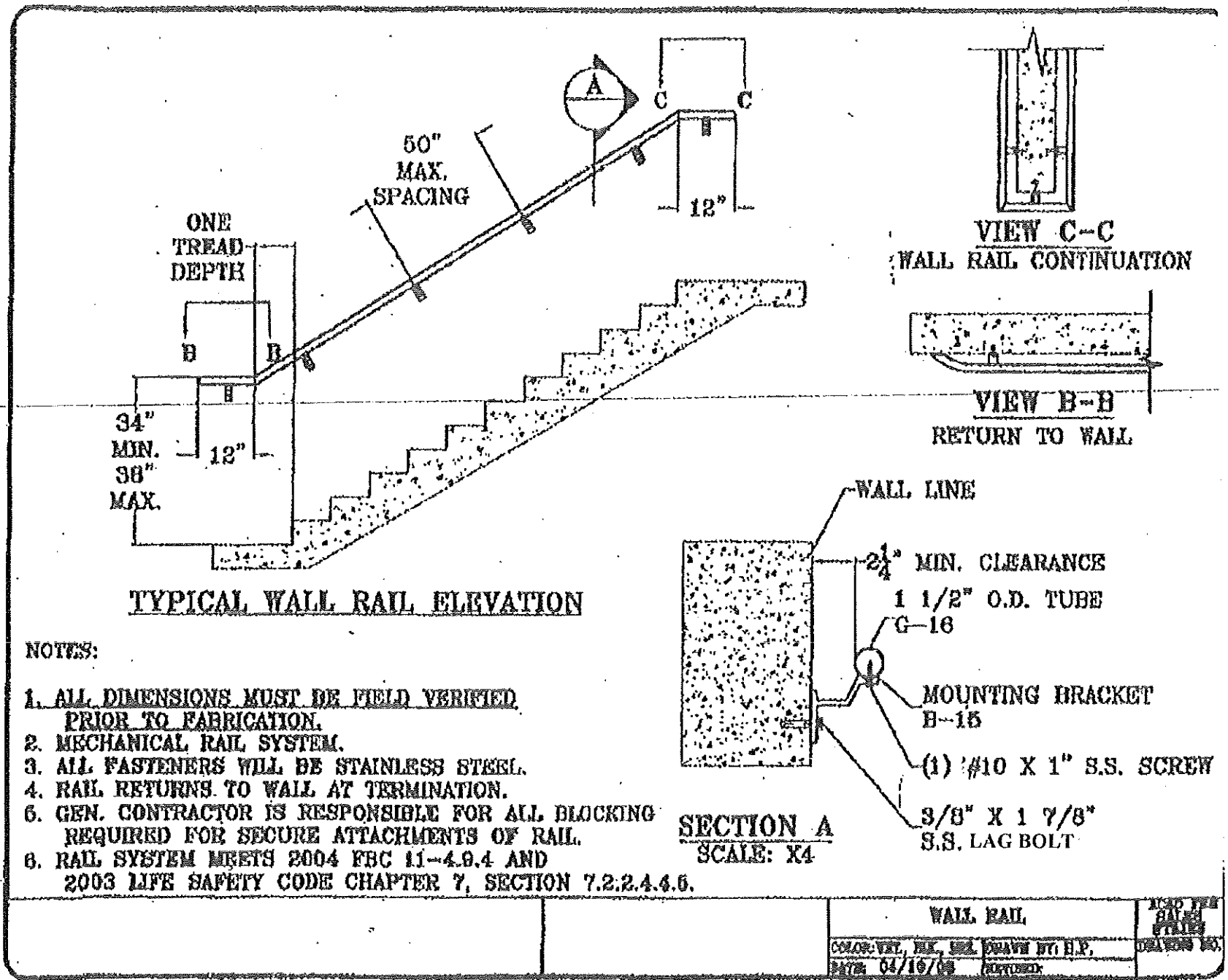
DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE
11-08-18 03-18-19
11-14-18
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DEEB RESIDENCE  
348 SHORE DRIVE  
OLDSMAR, FL.



ZUENDT ENGINEERING  
5405 WATER ST.  
NEW PORT RICHEY, FL. 34652  
CA32834  
727-848-2921  
JOB # 6228



**NOTES:**

1. ALL DIMENSIONS MUST BE FIELD VERIFIED PRIOR TO FABRICATION.
2. MECHANICAL RAIL SYSTEM.
3. ALL FASTENERS WILL BE STAINLESS STEEL.
4. RAIL RETURNS TO WALL AT TERMINATION.
6. GEN. CONTRACTOR IS RESPONSIBLE FOR ALL BLOCKING REQUIRED FOR SECURE ATTACHMENTS OF RAIL.
8. RAIL SYSTEM MEETS 2004 FBC 11-4.9.4 AND 2003 LIFE SAFETY CODE CHAPTER 7, SECTION 7.2.2.4.4.6.

<b>WALL RAIL</b>		<b>SCALE: X4</b>
COLOR: VET. B.K. INK. DRAWN BY: H.P.	DATE: 04/16/08	REVISION:

ZUENDT ENGINEERING  
 5405 WATER ST.  
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DEEB RESIDENCE  
 348 SHORE DRIVE  
 OLDSMAR, FL.

PLAN DATE	11-08-18	03-18-19
11-14-18	11-29-18	1-03-19

DEEB FAMILY  
 HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

**HAND RAIL CONNECTION DETAILS**