



City of Oldsmar

To protect the community and enhance the quality of life through customer oriented public service

100 State Street West ~ Oldsmar, FL 34677-3655 ~ (813) 749-1100 ~ Fax (813) 855-2730

CONSTRUCTION PLAN REVIEW COMMENTS

Re: 348 Shore Dr E.
Permit Number: 201900388

Date: April 3, 2019

1. Provide original signed and sealed Geotechnical report.

Response: (2) sealed sets provided

2. Swimming pool will require separate permit submittal.

Response: Understood.

3. NOTE: Preliminary Flood Insurance Rate Maps show this structure in a flood zone BFE VE14 and AE13 (Coastal A) NAVD.

Response: Both Flood zones shown on revised Site Plan, provided (2) sealed sets included in comments response pack.

Response as to Plan: Indicate 14' BFE on sheets 4, 5 & 10.

4. Provide survey showing delineation of existing VE flood zone.

Response: Both flood zones shown on revised Survey, provided (2) sealed sets included in comments response pack.

5. Provide note that all Electrical and Mechanical Systems shall be located above Design Flood Elevation per FBC R322.1.6 EXCEPTION: 1. One Three-way GFI protected switch for lights in allowed enclosed space. 2. One GFI protected switch for all other lights in garage and storage area under the structure. 3. One GFI receptacle in garage.

Response: Notes indicating above statement and exceptions noted on sheet 7B.

6. R322.2.2 Enclosed areas below design flood elevation. Enclosed areas, including crawl spaces, that are below the design flood elevation shall: Be used solely for parking of vehicles, building access or storage. The interior portion of such enclosed areas shall not be partitioned or finished into separate rooms except for stairwells, ramps, elevators, and a storage area no larger than 1 00 square feet with one dimension not to exceed 6 feet.

Response: Plan complies with rule including the stairwell and elevator entry room on sheet 1C.

7. Provide slab and lowest living floor elevation in united NAVD

Response: NAVD elevations noted on sheets 1B, 4, 5 & 10.

8. Provide details specifying insulation materials and R-Values for ceilings on prints to match energy forms. Per FBC EC R103.2, R103.2.1

Response: Insulation for floors, walls & ceilings noted on sheet 10.

9. Note: Energy forms show vented roof system prints call out Icynene.

Response: Changed plans to reflect a vented roof system, changed sheets 6 & 10.

10. Exposure Category is D not B per FBC R301.2.1.4.3, also be sure to update Components and Cladding Pressures chart.

Response: Changed sheet S2 to reflect zone D and update components & cladding pressure chart.

11. Provide guard rails on equipment platform right side elevation per FBC R312

Response: Show railings on sheets 2, 4, 4B & 4C.

12. Provide/show egress windows in guest per FBC R310

Response: Changed notation of window on sheet 2.

13. Provide protection against termites per FBC R318

Response: See note on sheet 10.

14. Provide/ Show attic access on lower roof per FBC R807

Response: Attic access shown on sheets 2, 2A & 6.

15. Provide complete project specific FL Product Approvals List for all components and claddings including but not limited to all exterior doors, sliding glass doors, windows, soffit, roof underlayment, garage doors, etc. Use complete numbers including decimal points do not use revision number, Example: FL 7347.12 not 7347-R3.

Response: Updated Product approval Spec sheet, included in comment pack.

16. Specify buckets/connectors at ledgers to floor trusses Per FBC R301.2.1 and R502 and 502.11

Response: Connectors noted on sheet 6C.

17. Specify connectors at CMU interior lintels to floor trusses Per FBC R301.2.1 and R502 and 502.11

Response: Connectors noted on sheet 6C.

You may submit the additional documents and information at your earliest convenience.

Sincerely,

Michael Howsare
Plans Examiner
City of Oldsmar
813-749-1126 M W F 7:30am-11:30am
PBuilding@myoldsmar.com

Public Works Comments

PERMIT#201900388 – 348 SHORE DR E

Tim Jacobson's Comments:

- Show storm pipe inverts upstream and downstream.

Response: Culvert inverts upstream and downstream shown on revised Site Plan.

- Storm pipe M.E.S. does not work.

Response: See revised driveway culvert inverts.

- Fill can only be brought in for drainage. Please provide existing and proposed grades side by side.

Response: Existing and proposed elevation are shown.

- You cannot use property line for your drainage line. All drainage will need to flow on the property.

Response: See side swales revised Site Plan.

- Provide more detail on how you will build up the property line for parking.

Response: See revised plan for more detail on driveway grading.

- Provide silt fence on plan.

Response: Silt Fence has been added.

Thanks you in advance, please call with any questions or concerns.

Sincerely, Duane Kortas

Quality Control Manager
Deeb Family Homes
9400 River Crossing Blvd.
New Port Richey, FL 34655

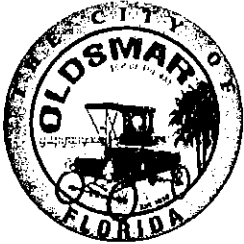
duane@deebfamilyhomes.com

(727) 389-3601 - Cell

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CONSTRUCTION PLAN RE-REVIEW SUBMITAL POLICY

Your plans have been reviewed and have deficiencies that will need to be corrected before the project can be permitted. Please address all of the issues noted on the attached Plan Review Comment sheet and submit your project for another review.

All plans which require more than two (2) reviews for an item may result in additional plan review fees.

All plans submitted for re-review should be accompanied by one copy of a signed (not sealed) letter from the designer of record (architect or engineer) addressing each individual item on the discrepancy list indicating:

- 1) The discrepancy to be corrected.
- 2) How the item was corrected.
- 3) All locations on the plan set that applied to the correction.

SAMPLE LETTER

1. Correct building exposure category to exposure C.
Response: Building category corrected on sheet A-4.
2. Spec egress windows on ground floor.
Response: Ground floor egress windows specified on sheet A-6.
3. Energy form conditioned area does not match conditioned area on plans.
Response: Energy form corrected and re-printed.

In lieu of a letter, the above items may be written on the plan review comment sheet.

Ensure all corrections/revisions are actually on the plans, not just on the comment sheet. If a page is re-printed, the new page shall be inserted into the plan package and the originally reviewed page removed and submitted (loose) with the plan package.

All removed pages from the previously reviewed set of plans (the one with the plan reviewer's initial in the lower right corner of the title block) have been returned with the plan package. Failure to do this will require a full review of the entire plan, in lieu of only a re-review of the previously submitted plans.

Please be advised that the Planning & Redevelopment, Public Works, and Fire Departments may also have comments concerning your building permit application. These comments will be sent to you by Building Division Staff. Resubmitted plans should address all the comments.

PERMIT#201900388 -- 348 SHORE DR E

Dennis, Logan <LDennis@myoldsmar.com>

Wed 4/10/2019 7:44 AM

To: Duane Kortas <duane@DEEBFAMILYHOMES.COM>;

Cc: PlanReDev <PlanReDev@myoldsmar.com>; Taggart, Rene <RTaggart@myoldsmar.com>;

Please see comments from Public works below.

My comments are as follows:

- Show storm pipe inverts upstream and downstream.
- Storm pipe M.E.S does not work.
- Fill can only be brought in for drainage. Please provide existing and proposed grades side by side.
- You can not use the property line for your drainage line. All drainage will need to flow on the property.
- Provide more detail on how you will build up the property line for parking.
- Provide silt fence on plan.

Tim Jacobson

Logan Dennis
City of Oldsmar
Permitting & Licensing Clerk
Planning and Redevelopment
100 State Street W
Oldsmar, FL 34677
(813)-749-1124

Schedule inspections, check permit status and results, or to make payments online for outstanding permit fees use our *New Contractor Portal* [click here](#).

Ozona

Engineering, Inc.

P.O. Box 432

Ozona, Florida 34660-432

Phone: 727-785-3939

Fax: 727-785-3434

May 14, 2019

Tim Jacobson
City of Oldsmar
Building Department

RE: Permit #201900388 - 348 Shore Drive E
Response to Comments Received 04/11/19

Tim Jacobson Comments:


- Culvert inverts upstream and downstream shown on revised Site Plan.
- See revised driveway culvert inverts.
- Existing and proposed elevation are now shown.
- See side swales on revised Site Plan.
- See revised plan for more detail on driveway grading.
- Silt fence has been added.

Michael Howsare Comments:

- 3.. Both flood zones shown on revised Site Plan.
4. Both flood zones shown on revised Survey.

I trust this address the Site Plan comments. Feel free to contact me to discuss.

Sincerely,



Gary A. Boucher, P.E.

Cc Duane Kortas, Deeb Family Homes

MEMO

To: **DEEB FAMILY HOMES**

From **ROBBIAN DESIGN**

Pages: 1 OF 1

Subject **348 SHORE DRIVE**

Date: 5/15/19

Listed below is my response to the construction plan review comments for permit # 201900388

- ✓ 1. Provide signed and sealed Geotech report RESPONSE – Builder to supply
- ✓ 2. Swimming pool requires separate permit. RESPONSE-Builder to submit
- ✓ 3. Flood insurance maps indicate BFE 14'. RESPONSE- Indicate 14' BFE on sheets 4 , 5 and 10
- ✓ 4. Provide survey showing delineation of existing VE flood zone RESPONSE- Builder to provide.
- ✓ 5. Note that all electrical and mechanical to be located above the flood plane with exceptions RESPONSE – Notes indicating above statement and exceptions noted on sheet 7b
- ✓ 6. Enclosed areas below flood elevation shall not be partitioned or finished into separate rooms. RESPONSE- Plan complies with rule including the stairwell and elevator entry room on sheet 1C
- ✓ 7. Provide slab and lowest living floor elevation in united NAVD values. RESPONSE- NAVD elevations noted on sheets 1B , 4 , 5 & 10
- ✓ 8. Provide insulation materials and R values to match energy forms. RESPONSE- Insulation for floors , walls and ceilings noted on sheet 10
- ✓ 9. Energy forms indicate vented roof system. RESPONSE – Change plans to reflect a vented roof system .Change sheets 6 and 10
- ✓ 10. Home is in a category D wind zone not B as indicated on plans .RESPONSE Change sheet S2 to reflect zone D and update components and cladding pressure chart.
- ✓ 11. Provide guard rails on equipment platform . RESPONSE- Show railings on sheets 2, 4, 4B and 4C
- ✓ 12. Indicate egress window in guest room RESPONSE- Change notation of window on sheet 2
- ✓ 13. Provide termite protection .RESPONSE – See note on sheet 10
- ✓ 14. Show lower roof attic access. RESPONSE – Attic access shown on sheets 2,2A & 6A
- ✓ 15. Provide complete product approval list. RESPONSE -Builder to provide ✖
- ✓ 16. Specify ledger connectors to floor trusses. RESPONSE – Connectors noted on sheet 6C
- ✓ 17. Specify connectors at CMU interior lintels.RESPONSE Connectors noted on sheet 6C



ZUENDT ENGINEERING

CIVIL & STRUCTURAL ENGINEERING
5405 Water Street - New Port Richey, FL 34652
Ph. 727-848-2921 - CA 32834

May 16, 2019

City of Oldsmar
Through
Deeb Family Homes
By Hand Delivery

Re: Review Response, Our Job #6228
348 Shore Drive, Oldsmar
Permit #201900388

Gentlemen:

- ✓ 1. *Provide signed and sealed Geotech report RESPONSE - Builder to supply*
- ✓ 2. *Swimming pool requires separate permit. RESPONSE-Builder to submit*
- ✓ 3. *Flood insurance maps indicate BFE 14'. RESPONSE- Indicate 14' BFE on sheets 4,5 and 10*
- ✓ 4. *Provide survey showing delineation of existing VE flood zone. RESPONSE- Builder to provide.*
- ✓ 5. *Note that all electrical and mechanical to be located above the flood plane with exceptions . RESPONSE - Notes indicating above statement and exceptions noted on sheet 7b*
- ✓ 6. *Enclosed areas below flood elevation shall not be partitioned or finished into separate rooms. RESPONSE- Plan complies with rule including the stairwell and elevator entry room on sheet 1C*
- ✓ 7. *Provide slab and lowest living floor elevation in united NAVD values. RESPONSE- NAVD elevations noted on sheets 1B, 4, 5 & 10*
- ✓ 8. *Provide insulation materials and R values to match energy forms. RESPONSE- Insulation for floors walls and ceilings noted on sheet 10*
- ✓ 9. *Energy forms indicate vented roof system. RESPONSE - Change plans to reflect a vented roof system. Change sheets 6 and 10*
- ✓ 10. *Home is in a category D wind zone not B as indicated on plans. RESPONSE Change sheet S2 to reflect zone D and update components and cladding pressure chart.*
- ✓ 11. *Provide guard rails on equipment platform. RESPONSE- Show railings on sheets 2, 4, 4B and 4C*
- ✓ 12. *Indicate egress window in guest room. RESPONSE- Change notation of window on sheet 2*
- ✓ 13. *Provide termite protection. RESPONSE - See note on sheet 10*
- ✓ 14. *Show lower roof attic access. RESPONSE - Attic access shown on sheets 2, 2A & 6A*
15. *Provide complete product approval list. RESPONSE -Builder to provide*



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5405 Water Street - New Port Richey, FL 34652
Ph. 727-848-2921 - CA 32834

- ✓ 16. *Specify ledger connectors to floor trusses.* RESPONSE - Connectors noted on sheet 6C
- ✓ 17. *Specify connectors at CMU interior lintels.* RESPONSE Connectors noted on sheet 6C

In addition I certify that I have reviewed the truss drawings by Delegated Engineer Joaquin Velez. These included 168 Truss Design Drawings and were identified by MiTek Job #413220.

I find that these truss design drawings are consistent with the Building Plans, as amended above and that the structural plan is prepared to receive the loads shown of the truss plans.

Respectfully submitted,

Alexander Zuendt
P.E. 81552