

NOTES

- 1) NO SOILS INFORMATION PROVIDED. PRESUMED ALLOWABLE SOIL BEARING CAPACITY IS 2000 P.S.F.
- 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
- 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
- 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 5) REFER TO STRUCTURAL ENGINEER NOTES.

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB ON GRADE SHALL COMPLY WITH FBC SECT. 1911.2 (EXCEPTION 1)

DRIVEWAY SPEC:
 DRIVEWAY NOT IN RIGHT OF WAY TO BE BRICK PAVERS.
 DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT

- TERMITE SPECIFICATIONS**
 INSTALL "BORACARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS
- (A) 32" X 32" 16" D CONC. PAD E/(3) #5 REBAR @ E-W. RECESS PAD 8" TO ALLOW FOR PAVERS
 - (B) 56" X 32" 16" D CONC. PAD W/ #5 REBAR @ 6" O/C E-W. RECESS PAD 8" TO ALLOW FOR PAVERS
 - (C) RECESSED 16" X 16" CONC. FTG. W/(2) #5 BARS CONT. BETWEEN COLUMN PADS

FOUNDATION PLAN - B

SCALE 1/8" = 1'-0" A.E.C.S # 17032

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DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL. 34655

PLAN DATE	
1. 05-01-2017	
2. 05-15-2017	

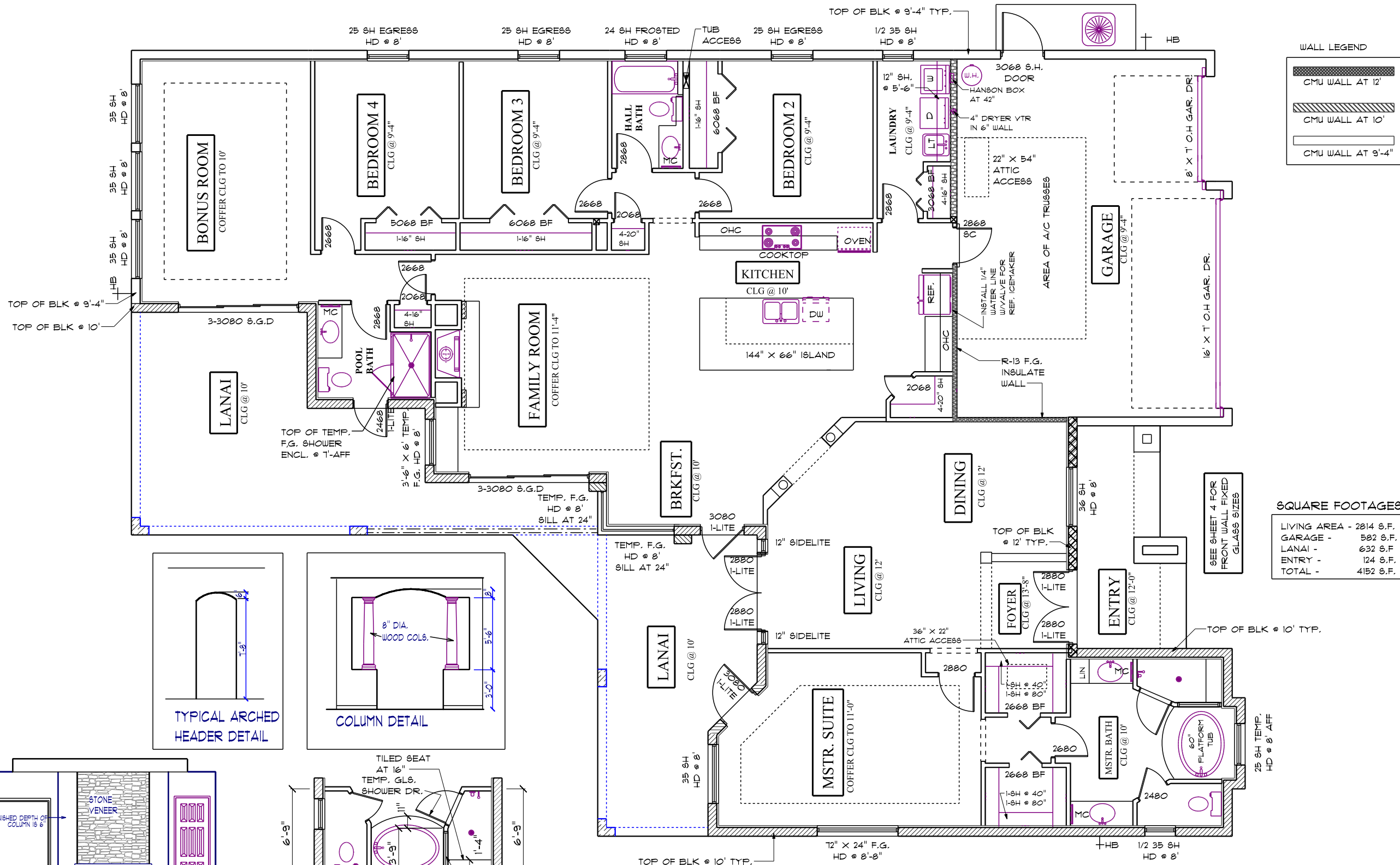
LOT 10 NAVAREZ AVE. SAFETY HARBOR, FL

1. PRELIMINARY PLAN
2. STRUCTURAL ENGINEERING

ALLEN ENGINEERING & CONSTRUCTION SERVICES
 RICH ALLEN PROFESSIONAL ENGINEER
 P.E. #56920 C.A. #9542
 8809 SKYMASTER DRIVE
 NEW PORT RICHEY, FL 34654
 727-842-6100
 richallenpec@gmail.com

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE WIND LOADS, EXPOSURE D AND IT IS IN COMPLIANCE WITH SECTION 301 OF THE 2014 FLORIDA RESIDENTIAL BUILDING CODE.
 SEALED FOR THE STRUCTURE ONLY.
 SIGNED
 RICHARD E. ALLEN P.E. #56920

NOTE: GARAGE SHALL HAVE MINIMUM FIRE SEPARATIONS FOR WALLS, DOORS AND CEILINGS PER FBC R302. GARAGE DOOR TO BE SELF CLOSING PER FBC R302.5.1

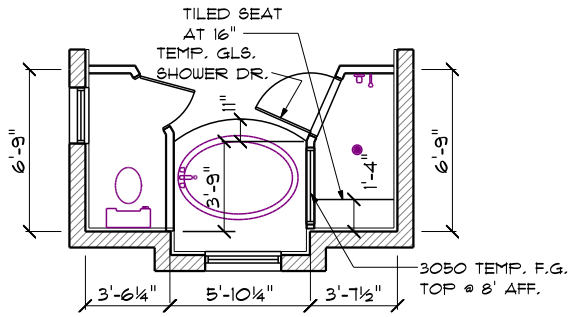
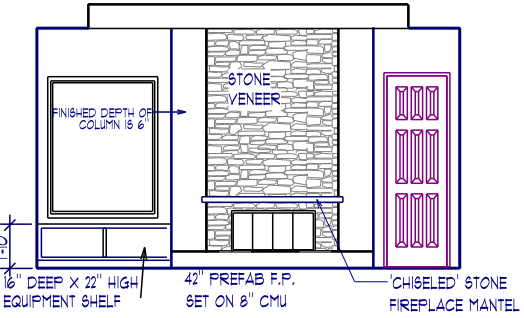
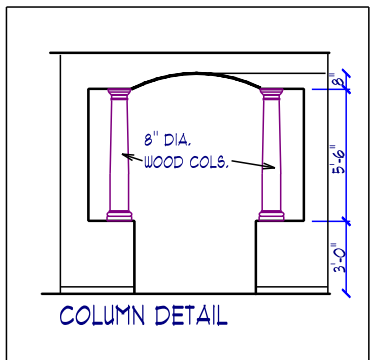
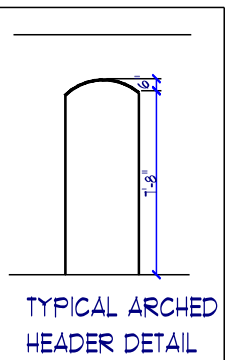


WALL LEGEND

[Pattern]	CMU WALL AT 12'
[Pattern]	CMU WALL AT 10'
[Pattern]	CMU WALL AT 9'-4"

SQUARE FOOTAGES

LIVING AREA -	2814 S.F.
GARAGE -	582 S.F.
LANAI -	632 S.F.
ENTRY -	124 S.F.
TOTAL -	4152 S.F.



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SCALE 1/8" = 1'-0"

FLOOR PLAN NOTES

LOT 10 NAVAREZ AVE.
SAFETY HARBOR, FL

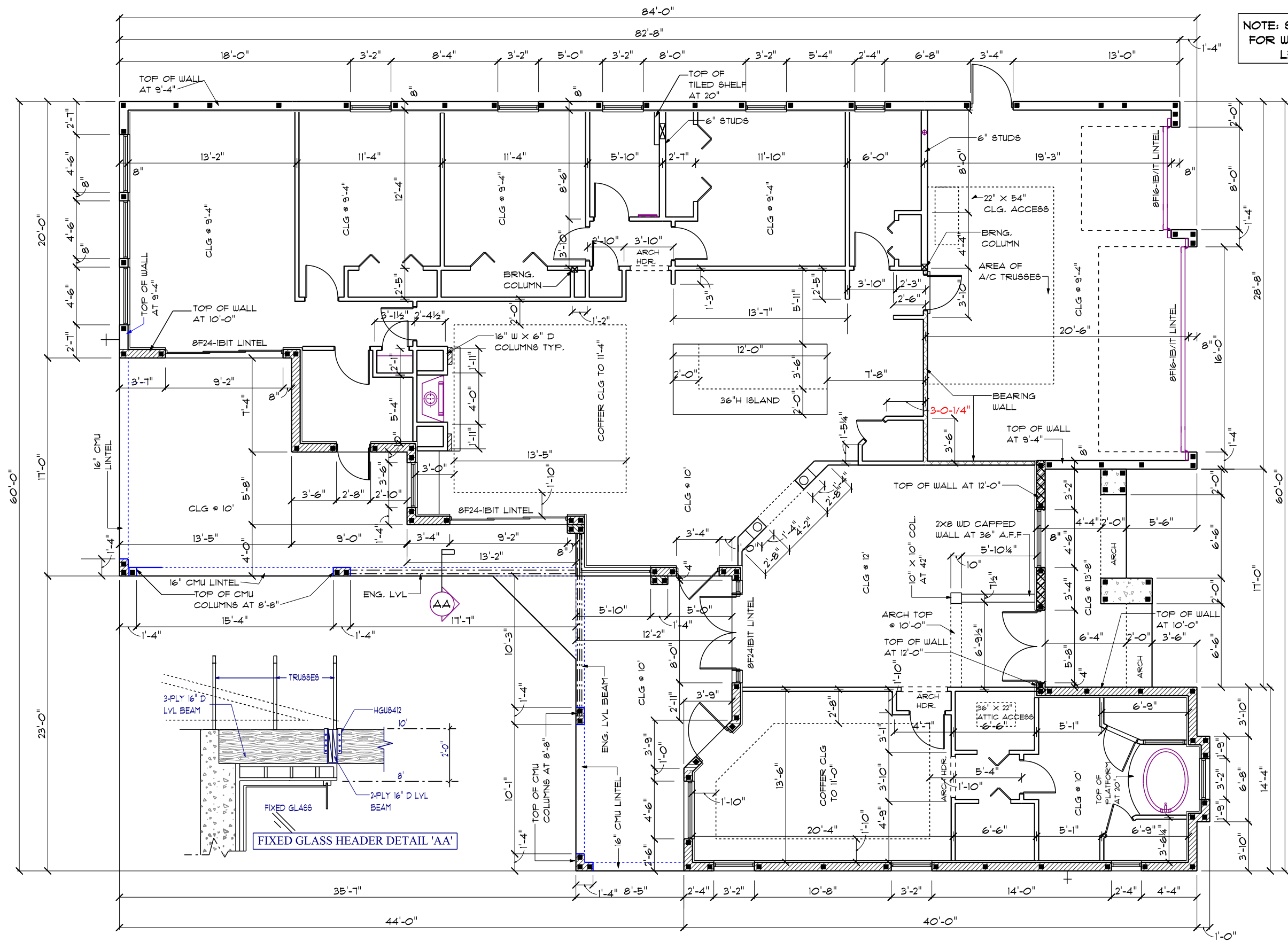
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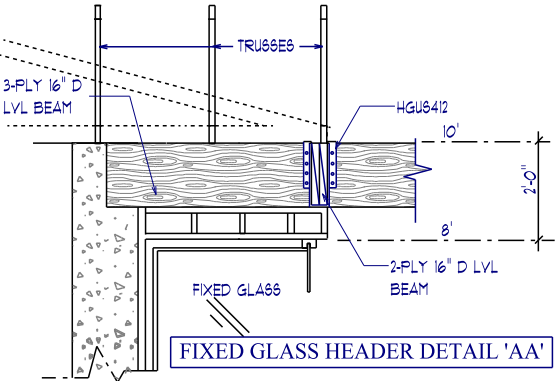
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2



NOTE: SEE SHEET 2 FOR WALL HEIGHT LEGEND



DIMENSION PLAN

SCALE 1/8" = 1'-0" A.E.C.S # 17032

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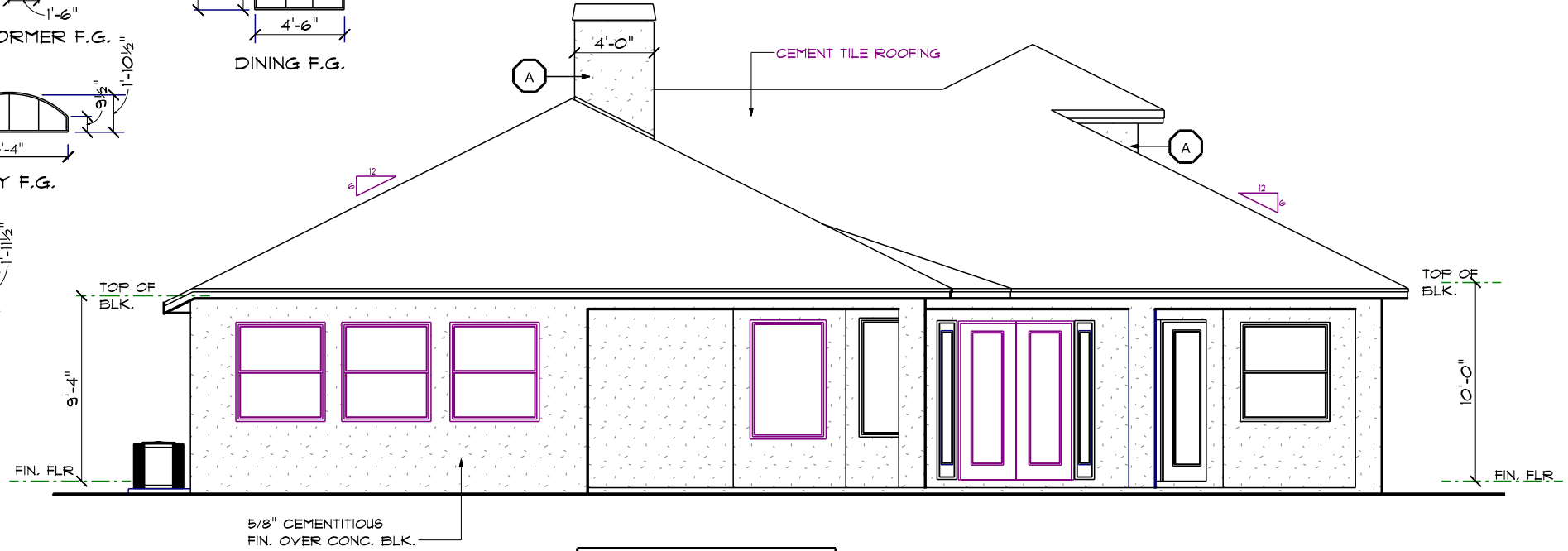
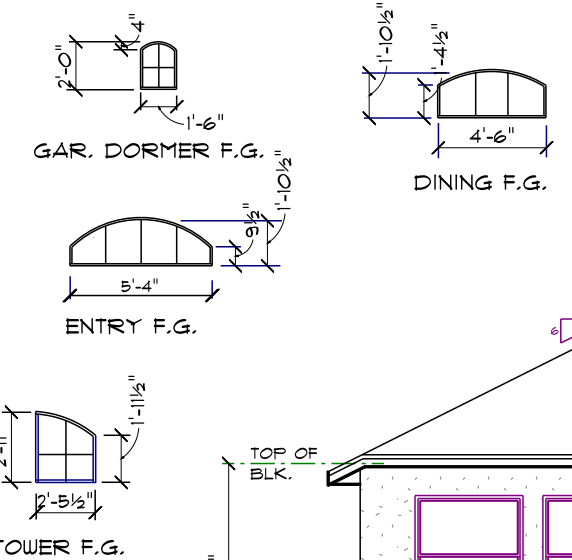
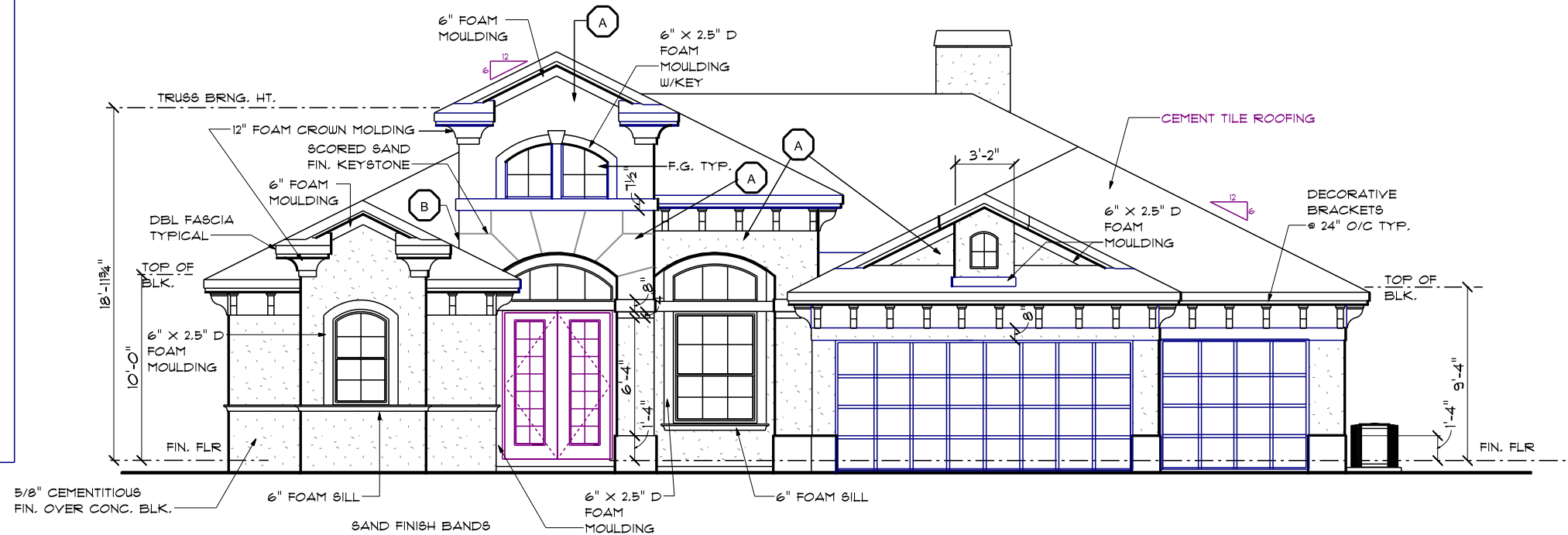
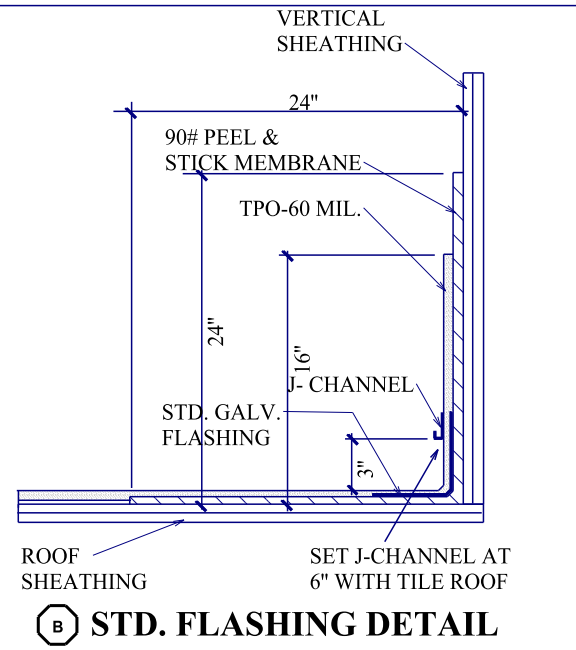
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LOT 10 NAVAREZ AVE. SAFETY HARBOR, FL
 1. PRELIMINARY PLAN
 2. STRUCTURAL ENGINEERING

HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES IN COMPLIANCE WITH SECTION 901 OF THE 2014 FLORIDA RESIDENTIAL BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.
 SIGNED
 RICHARD E. ALLEN P.E. #56920
 richallenpe@gmail.com

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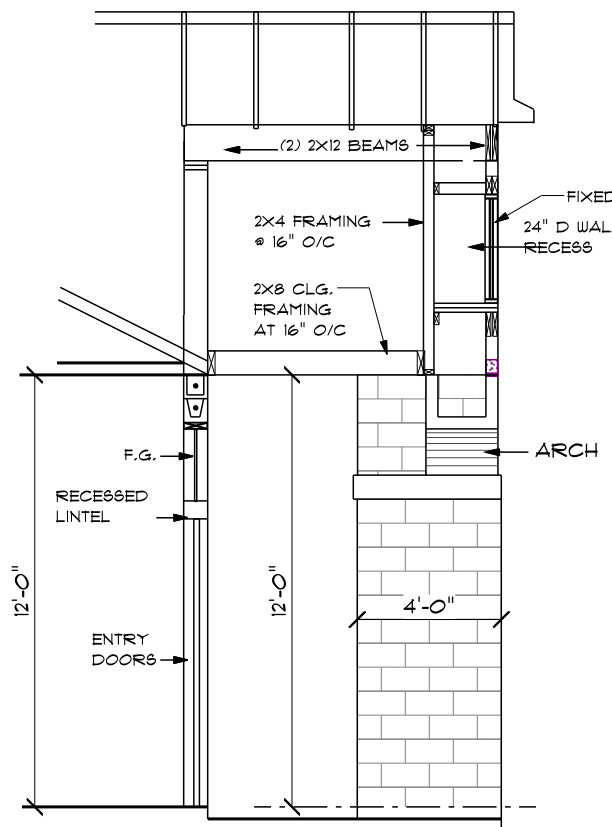
EXTERIOR ELEVATIONS - B

LOT 10 NAVAREZ AVE.
SAFETY HARBOR, FL

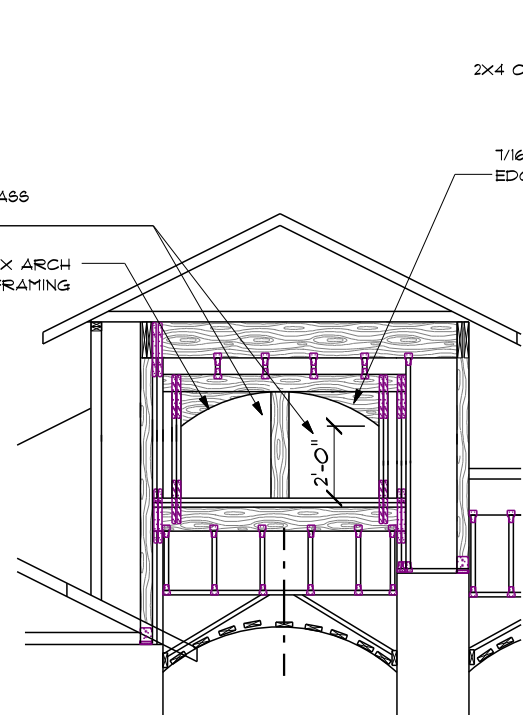
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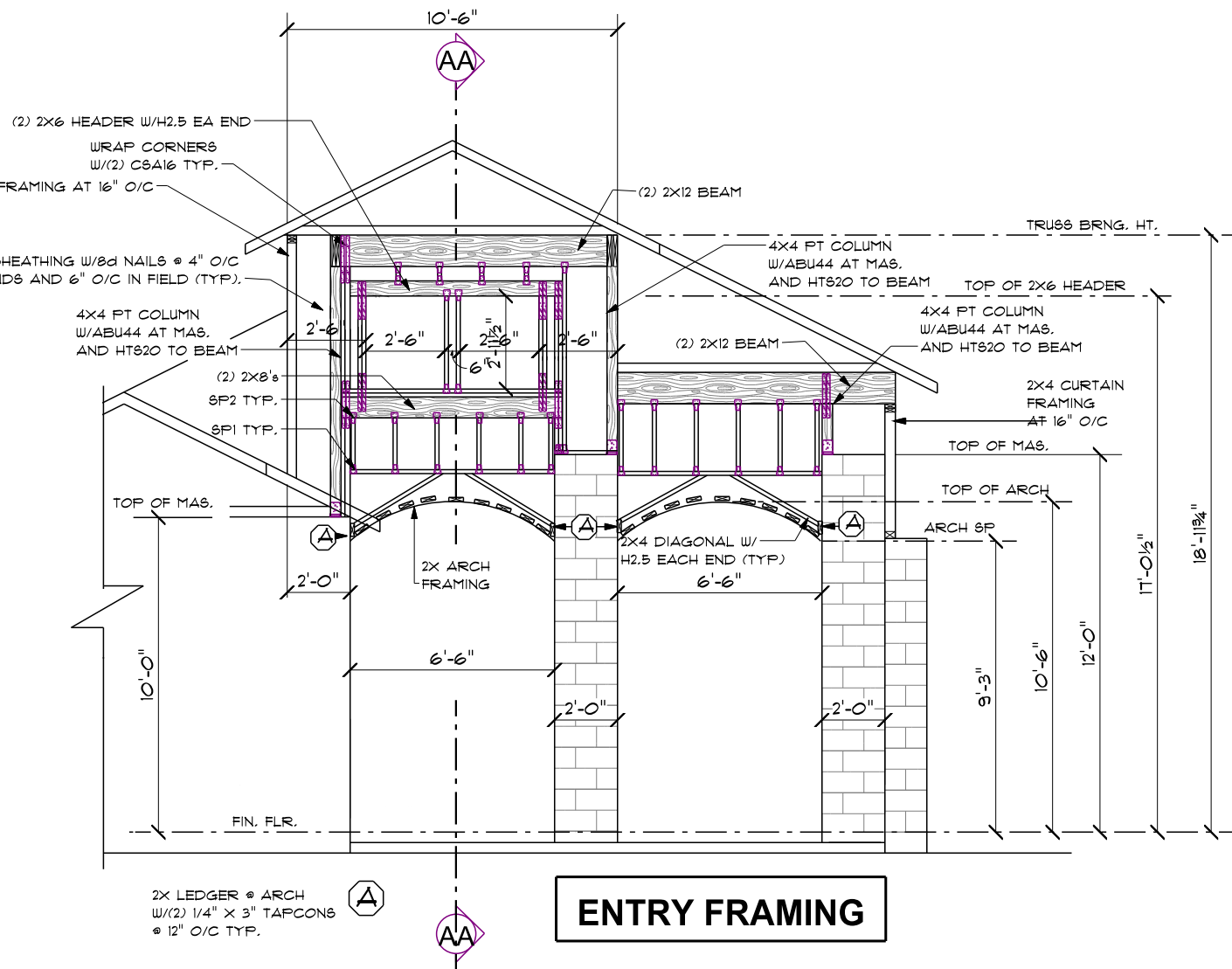
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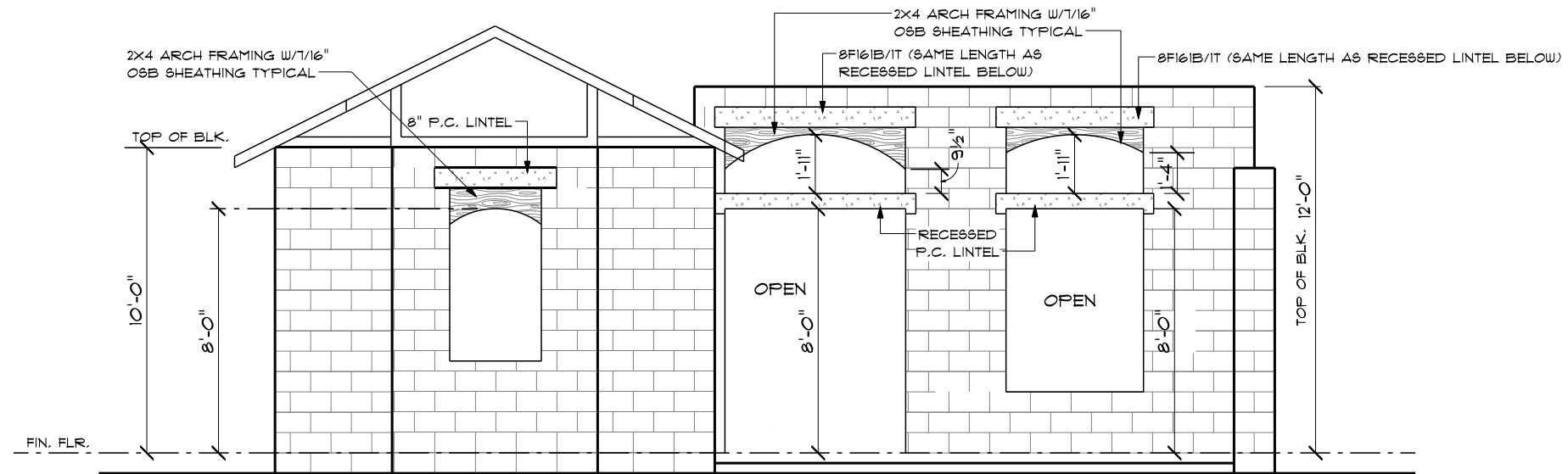
ENTRY SECTION 'A-A'



ARCH DETAIL AT RECESS



ENTRY FRAMING



FRONT WALL CONST. ELEV.

NAILING SCHEDULE

- SP1: 4-10d TO PLATE
6-10d TO STUD
- H10: 8-8d X 1 1/2" TO TRUSS & TOP PLATE
- H2: 5-8d
- META16: 6-16d
- C816: 20-10d
- HTS20: 20-10d
- MSTAM36: 4-1 3/4" X 1 3/4" TAPCONS

NOTE: ALL NON STRUCTURAL LUMBER IS TO BE SOUTHERN PINE FIR U.N.O.

ENTRY TOWER DETAILS

SCALE 3/16" = 1'-0" A.E.C.S # 17032

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PLAN DATE
1-05-01-2017
2-05-15-2017

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I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 145 MPH ULTIMATE WIND LOADS, EXPOSURE D AND IT IS IN COMPLIANCE WITH SECTION 901 OF THE 2012 FLORIDA RESIDENTIAL BUILDING CODE. THIS DESIGN IS SEALED FOR THE STRUCTURE ONLY.

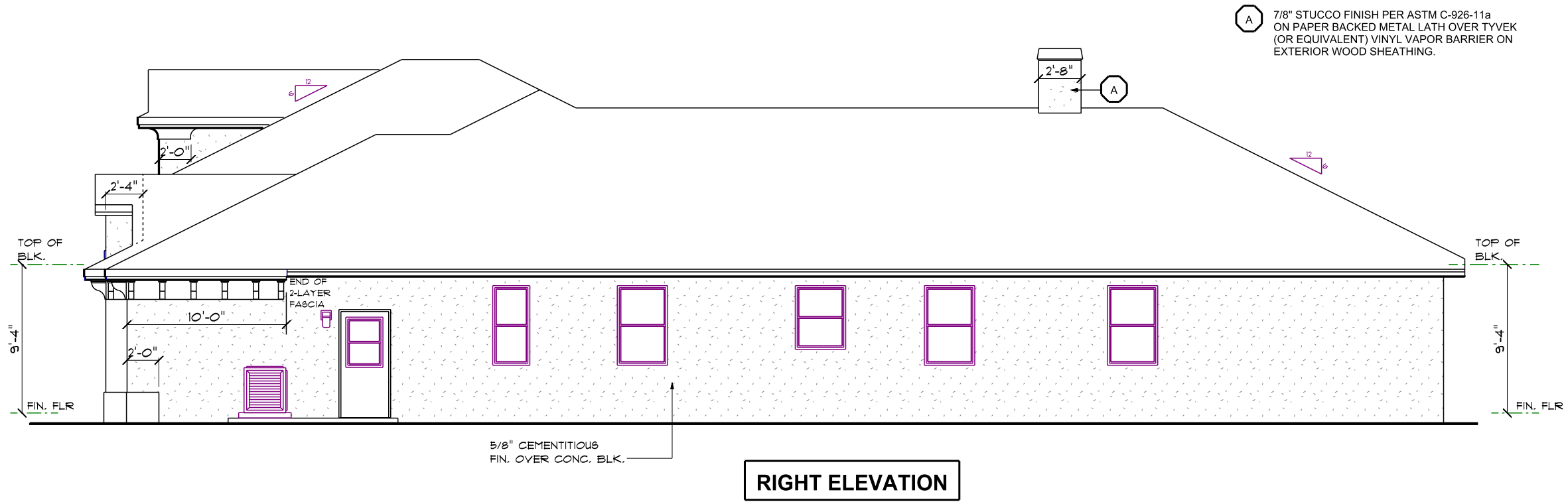
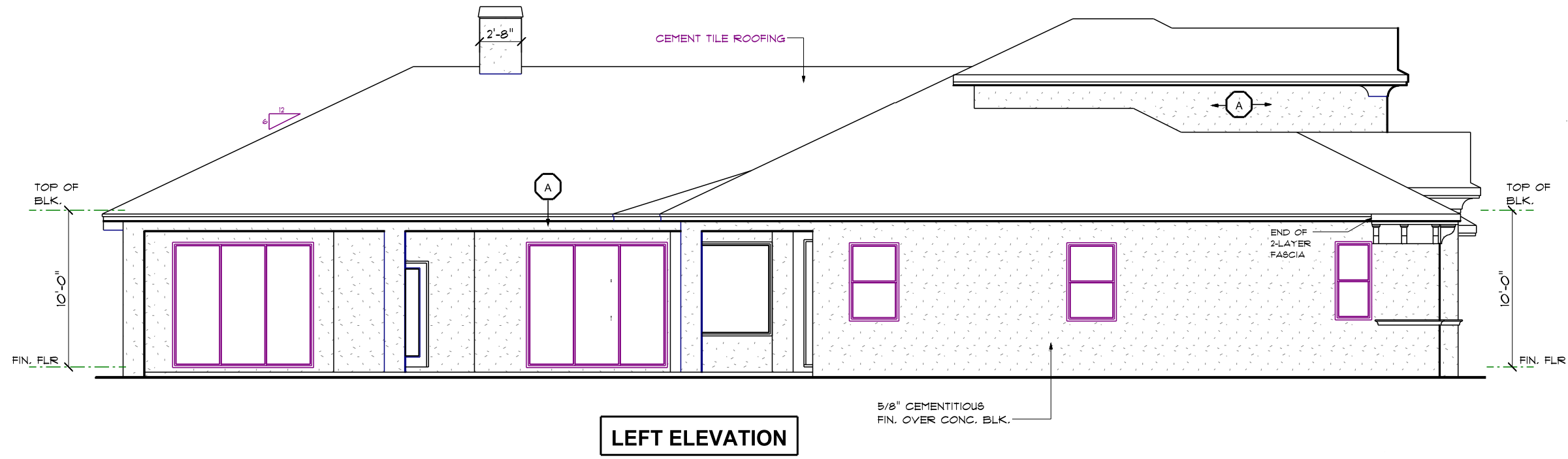
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EXTERIOR ELEVATIONS

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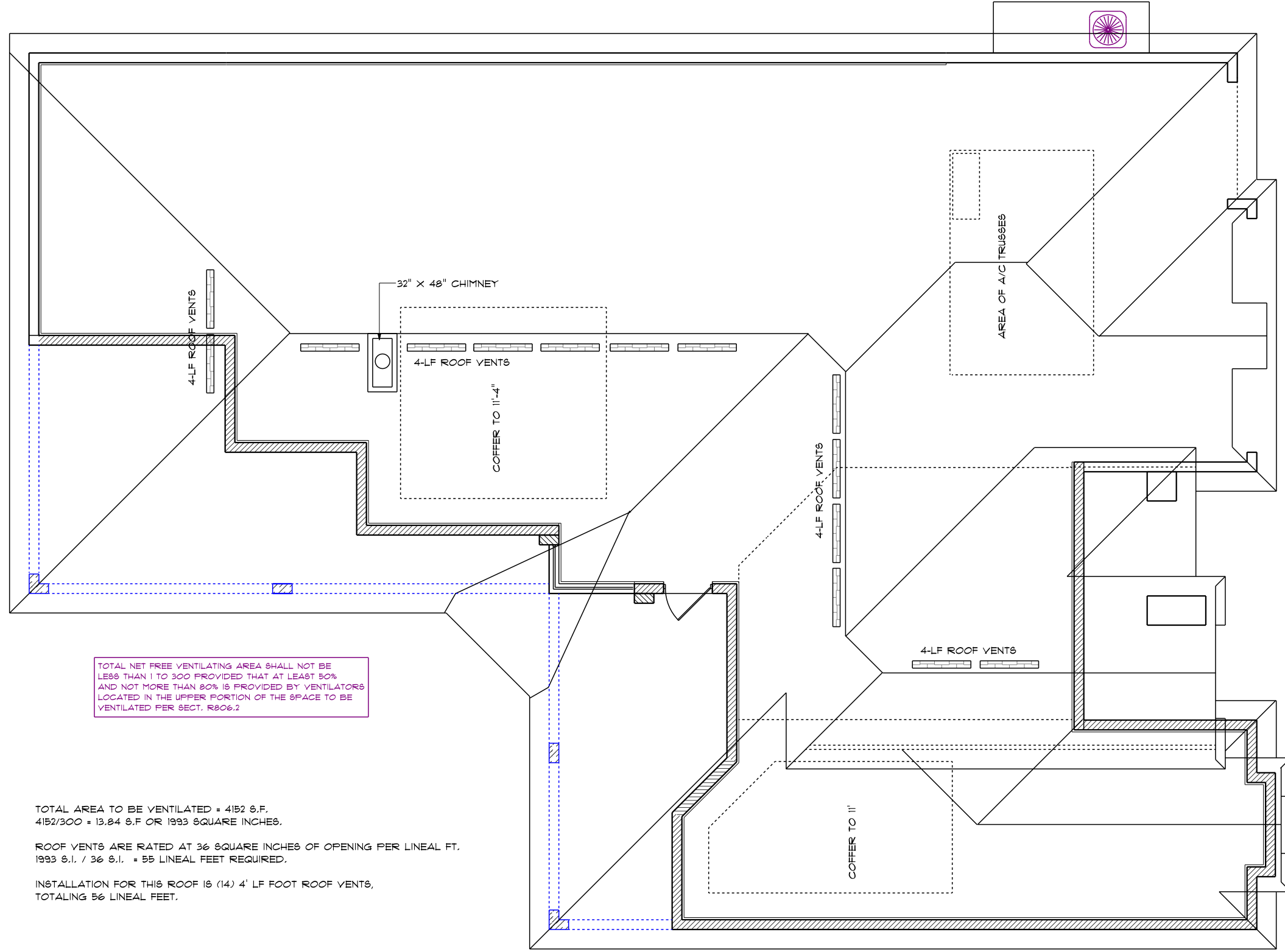
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TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

TOTAL AREA TO BE VENTILATED = 4152 S.F.
 $4152/300 = 13.84$ S.F OR 1993 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
 $1993 \text{ S.I.} / 36 \text{ S.I.} = 55$ LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS (14) 4' LF FOOT ROOF VENTS,
 TOTALING 56 LINEAL FEET.

ROOF PLAN - B

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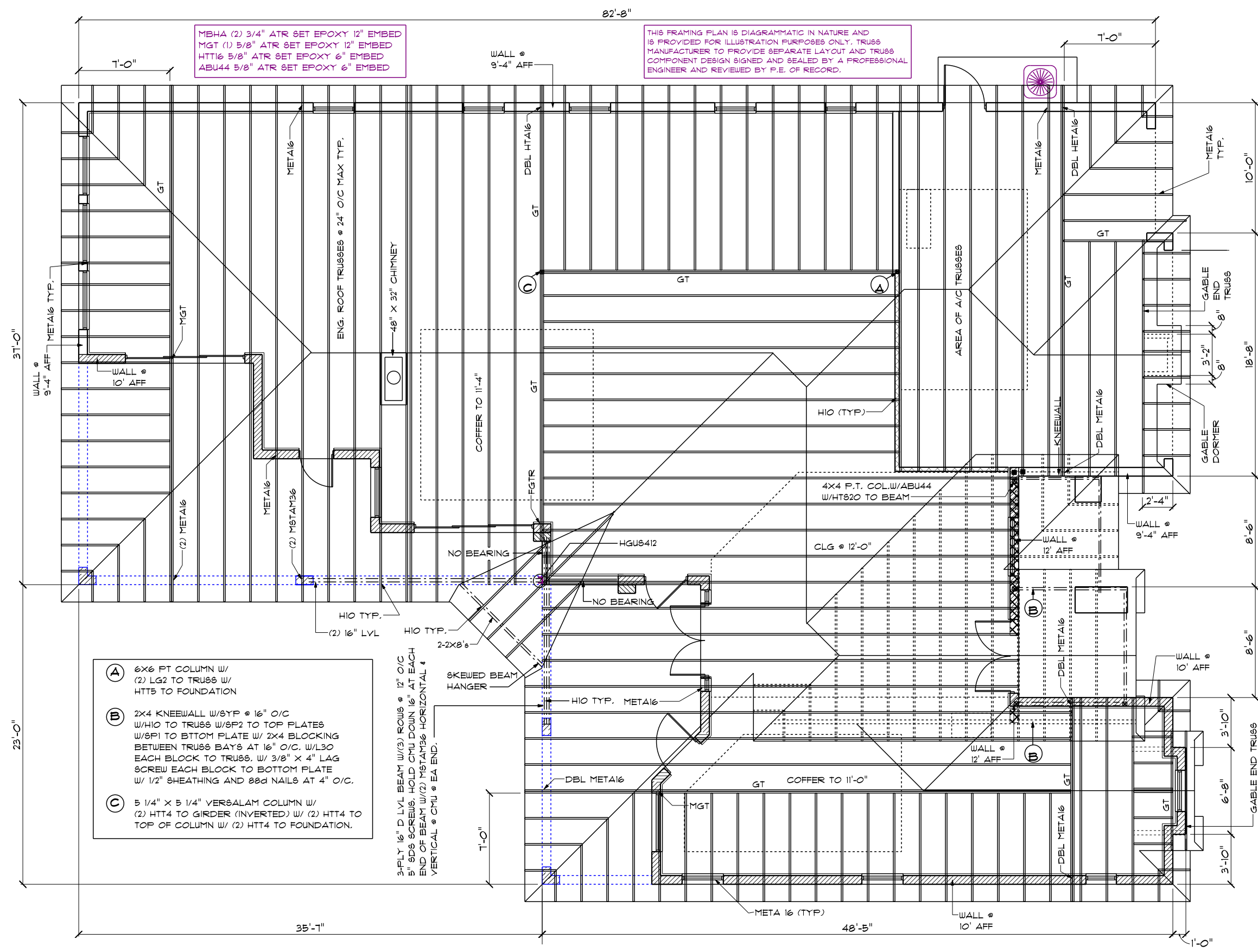
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MBHA (2) 3/4" ATR SET EPOXY 12" EMBED
MGT (1) 5/8" ATR SET EPOXY 12" EMBED
HTT16 5/8" ATR SET EPOXY 6" EMBED
ABU44 5/8" ATR SET EPOXY 6" EMBED

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

- (A) 6X6 PT COLUMN W/
(2) LG2 TO TRUSS W/
HTT5 TO FOUNDATION
- (B) 2X4 KNEEWALL W/SYP @ 16" O/C
W/HIO TO TRUSS W/SFP2 TO TOP PLATES
W/SFP1 TO BOTTOM PLATE W/ 2X4 BLOCKING
BETWEEN TRUSS BAYS AT 16" O/C. W/L30
EACH BLOCK TO TRUSS. W/ 3/8" X 4" LAG
SCREW EACH BLOCK TO BOTTOM PLATE
W/ 1/2" SHEATHING AND 88d NAILS AT 4" O/C.
- (C) 5 1/4" X 5 1/4" VERSALAM COLUMN W/
(2) HTT4 TO GIRDER (INVERTED) W/ (2) HTT4 TO
TOP OF COLUMN W/ (2) HTT4 TO FOUNDATION.

3-PLY 16" D LVL BEAM W/(3) ROWS @ 12" O/C
5" SDS SCREWS. HOLD CMU DOWN 16" AT EACH
END OF BEAM W/(2) MSTAM36 HORIZONTAL &
VERTICAL @ CMU @ EA END.

TRUSS PLAN - B

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6A

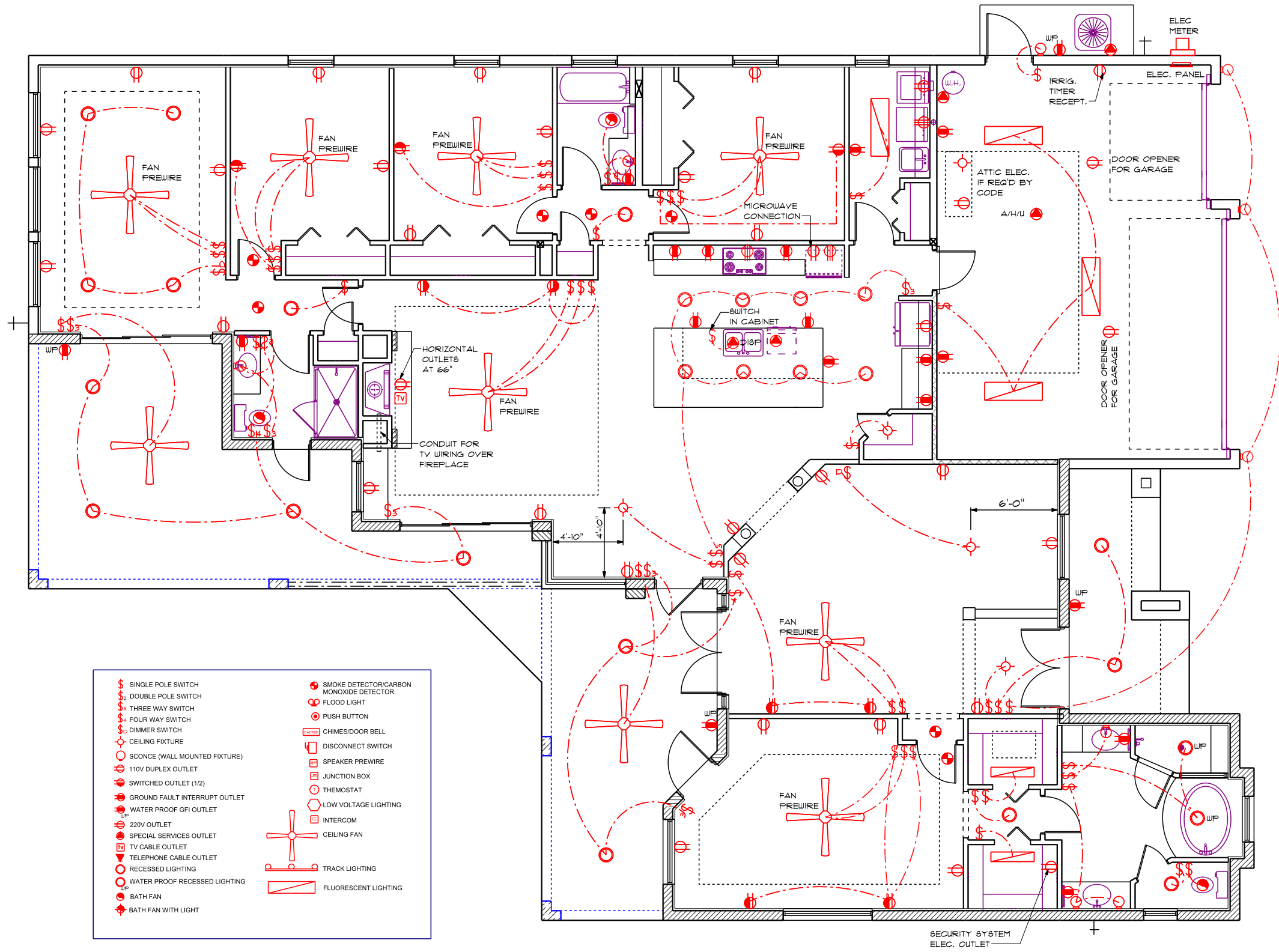
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- | | |
|--|---|
| <ul style="list-style-type: none"> 1 SINGLE POLE SWITCH 2 DOUBLE POLE SWITCH 3 THREE WAY SWITCH 4 FOUR WAY SWITCH 5 DIMMER SWITCH 6 CEILING FIXTURE 7 SCONCE (WALL MOUNTED FIXTURE) 8 110V DUPLEX OUTLET 9 SWITCHED OUTLET (1/2) 10 GROUND FAULT INTERRUPT OUTLET 11 WATER PROOF GFI OUTLET 12 220V OUTLET 13 SPECIAL SERVICES OUTLET 14 TV CABLE OUTLET 15 TELEPHONE CABLE OUTLET 16 RECESSED LIGHTING 17 WATER PROOF RECESSED LIGHTING 18 BATH FAN 19 BATH FAN WITH LIGHT | <ul style="list-style-type: none"> 20 SMOKE DETECTOR/CARBON MONOXIDE DETECTOR 21 FLOOD LIGHT 22 PUSH BUTTON 23 CHIMES/DOOR BELL 24 DISCONNECT SWITCH 25 SPEAKER PREWIRE 26 JUNCTION BOX 27 THERMOSTAT 28 LOW VOLTAGE LIGHTING 29 INTERCOM 30 CEILING FAN 31 TRACK LIGHTING 32 FLUORESCENT LIGHTING |
|--|---|

- UNLESS OTHERWISE NOTED:
- ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)
 - | | |
|-----------|---|
| KITCHEN: | 42" |
| BATHROOM: | 42" |
| LAUNDRY: | 36" WASHER/24" DRYER/
WALL OUTLETS @ 45"
WATERPROOF @ 12" |
| EXTERIOR: | GFI @ 45" |
| GARAGE: | GFI @ 45" |
| RANGE: | 220V @ 4" |
 - ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
 - ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
 - ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
 - SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2014 FLORIDA RESIDENTIAL CODE, SECTION 314, AND WITH UL 311 AND NFPA 72.
 - PROVIDE ARC FAULT INTERRUPTERS PER NEC. 210.12
 - ALL RECEPTACLES TO BE TAMPER PROOF PER NEC. SECT. 406.11

ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

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