

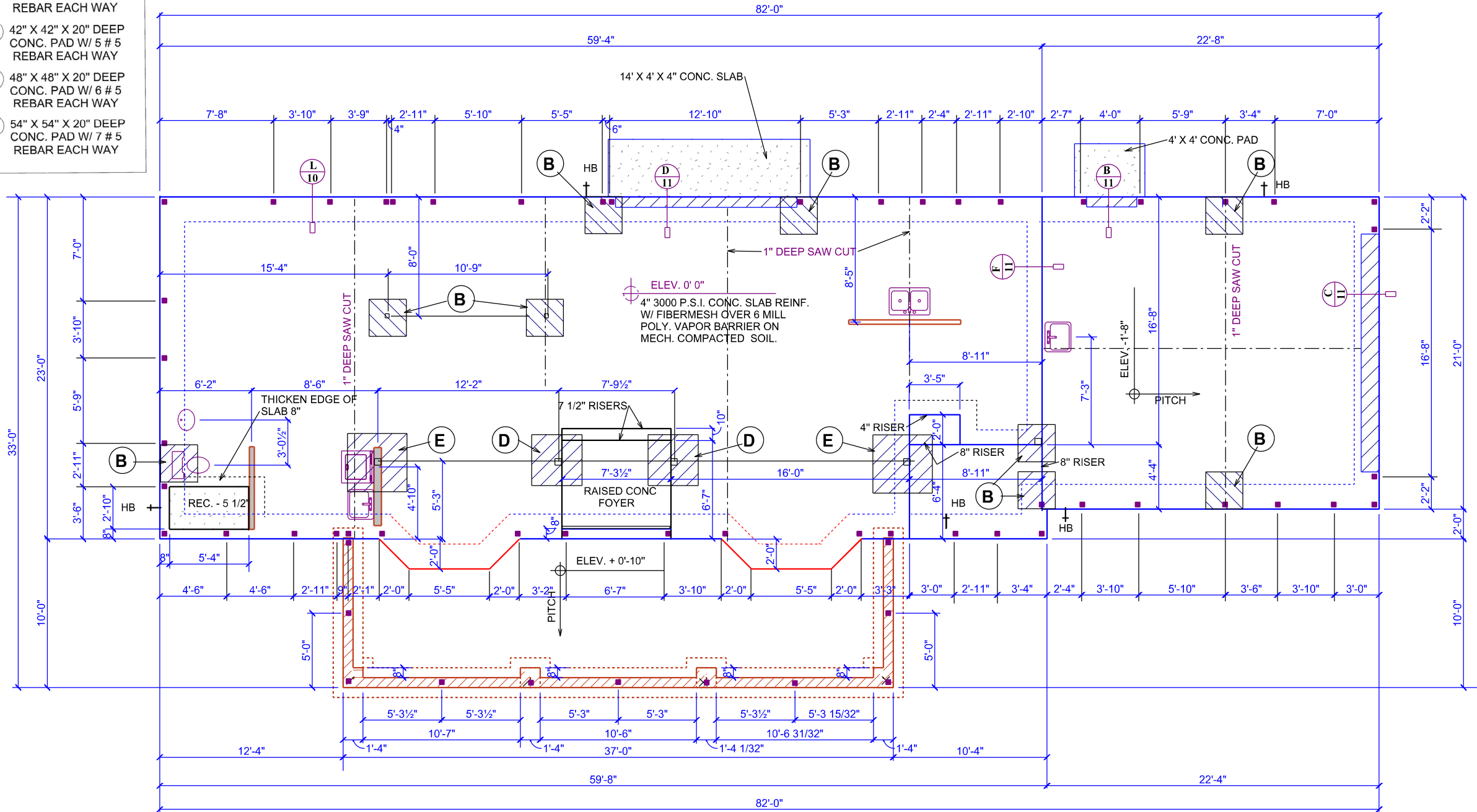
CONCRETE PADS

- A** 24" X 24" X 20" DEEP CONC. PAD W/ 3 # 5 REBAR EACH WAY
- B** 30" X 30" X 20" DEEP CONC. PAD W/ 4 # 5 REBAR EACH WAY
- C** 36" X 36" X 20" DEEP CONC. PAD W/ 4 # 5 REBAR EACH WAY
- D** 42" X 42" X 20" DEEP CONC. PAD W/ 5 # 5 REBAR EACH WAY
- E** 48" X 48" X 20" DEEP CONC. PAD W/ 6 # 5 REBAR EACH WAY
- F** 54" X 54" X 20" DEEP CONC. PAD W/ 7 # 5 REBAR EACH WAY

DRIVEWAY SPEC:
 DRIVEWAY NOT IN RIGHT OF WAY AND ALL SIDEWALKS TO BE 4" 3000PSI CONC. W/ FIBERMESH.
 DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT.

NOTE:
 ALL WALLS CONSTRUCTED WITH REINFORCED MASONRY/ CONCRETE CONTRIBUTE TO SHEAR AND ARE CONSIDERED SHEAR WALLS.

- NOTES**
- 1) THE FOUNDATION SYSTEM FOR THIS PLAN IS DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2,000 P.S.F. WITH NO SOILS REPORT OR INFORMATION PROVIDED.
 - 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
 - 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
 - 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
 - 5) REFER TO STRUCTURAL ENGINEER NOTES.



FOUNDATION PLAN

SCALE 1/8" = 1'-8"

A.E.C.S. 17036

1

DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLVD.
 NEW PORT RICHEY, FL. 34655
 727-376-6831

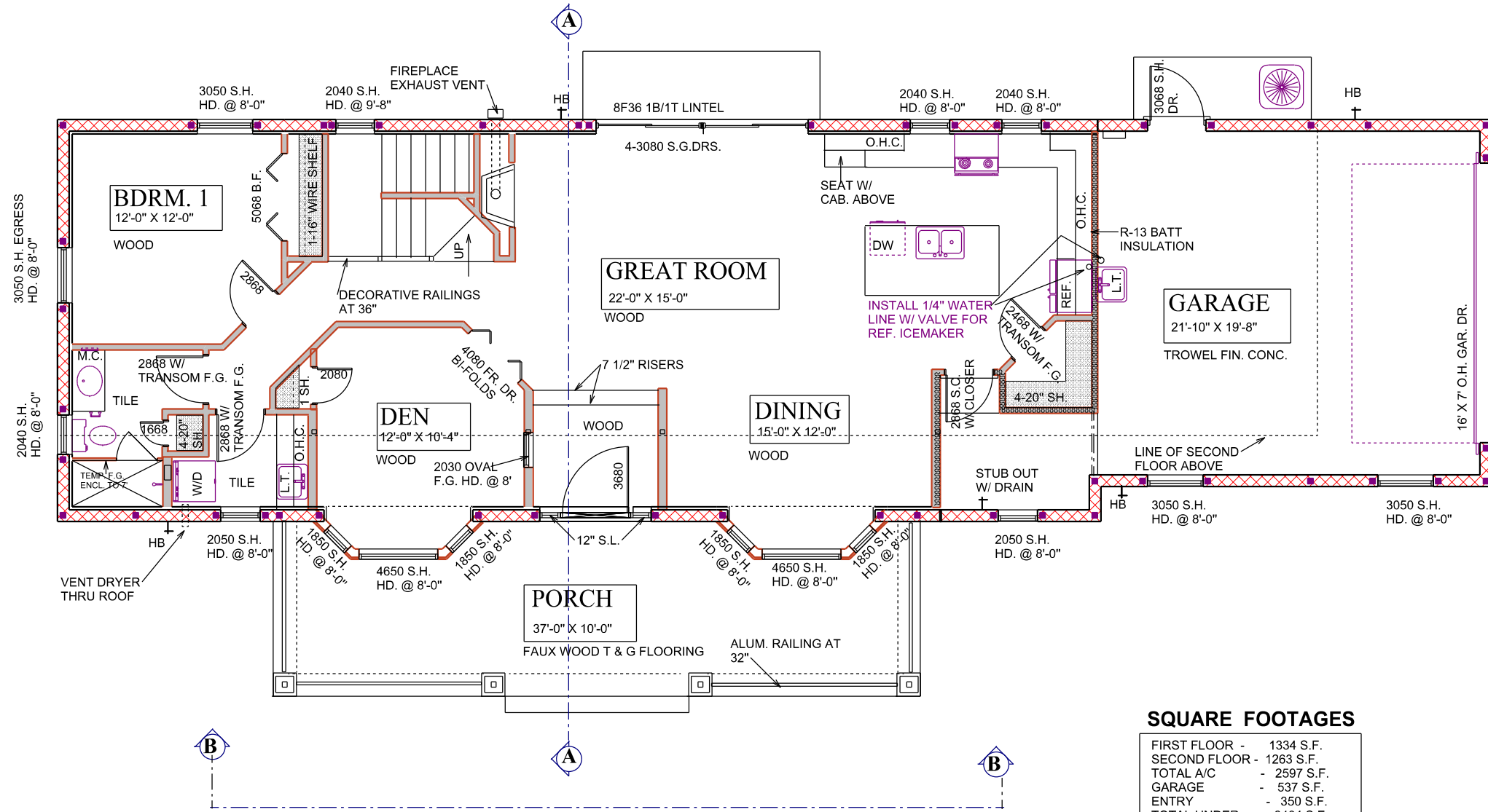
PLAN DATE
03-16-2017
05-01-2017
05-05-2017
05-17-2017
05-30-2017

BUMBARGER RESIDENCE
 401 8TH AVE. SO.
 SAFETY HARBOR, FL.

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH THE MINIMUM WIND LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2014 FLORIDA RESIDENTIAL BUILDING CODE. SEALED FOR STRUCTURE ONLY.

SIGNED: RICHARD E. ALLEN P.E. #66920

ALLEN ENGINEERING & CONSTRUCTION SERVICES
 RICH ALLEN PROFESSIONAL ENGINEER
 P.E. # 56920 C.A. # 9542
 8809 SKYMASTER DR.
 NEW PORT RICHEY, FL. 34654
 727-842-6100
 richallenpec@gmail.com



SQUARE FOOTAGES

FIRST FLOOR	-	1334 S.F.
SECOND FLOOR	-	1263 S.F.
TOTAL A/C	-	2597 S.F.
GARAGE	-	537 S.F.
ENTRY	-	350 S.F.
TOTAL UNDER	-	3484 S.F.

FLOOR PLAN NOTES

SCALE 1/8" = 1'-0"

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2

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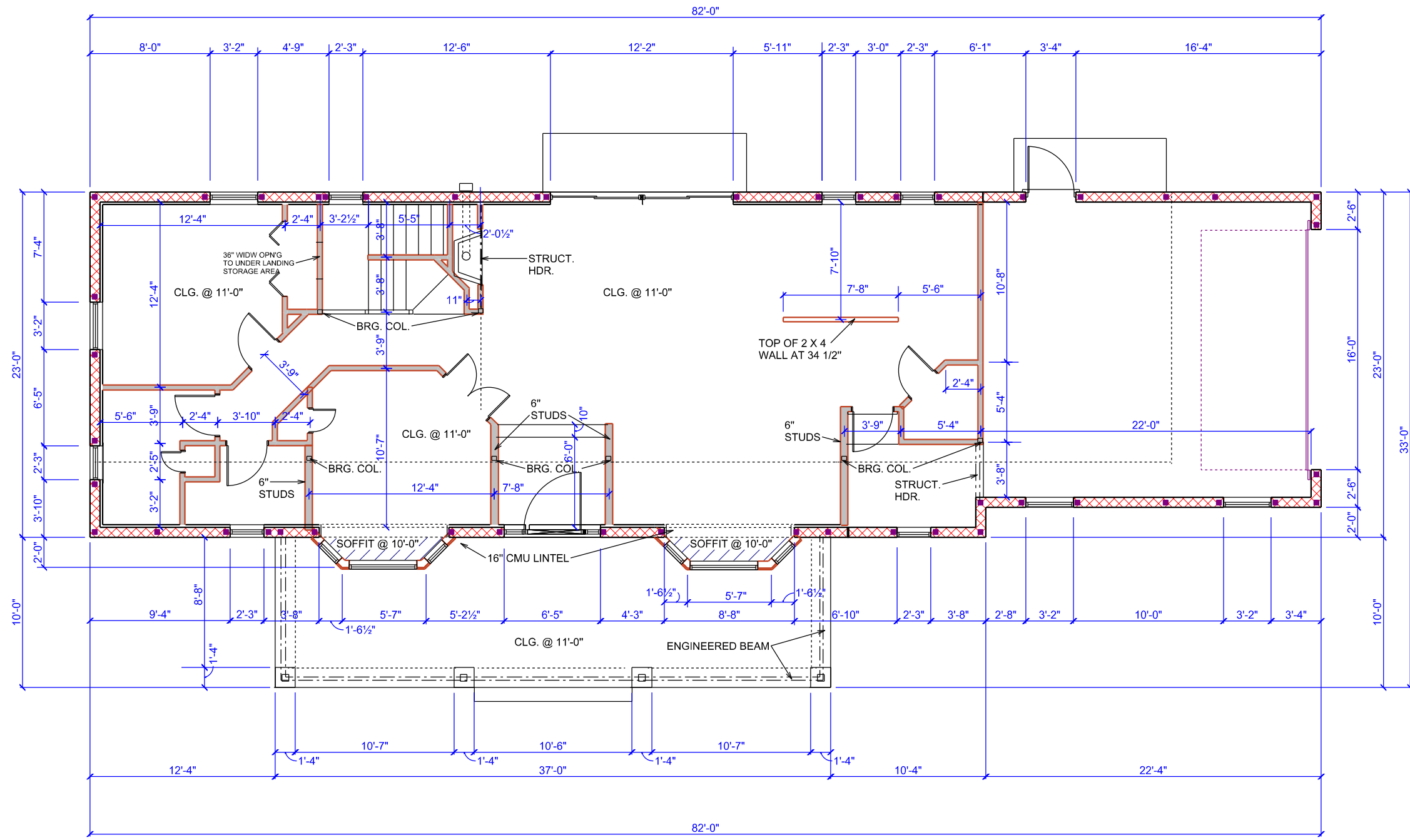
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FIRST FLOOR DIMENSIONS SCALE 1/8" = 1'-0"

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2A

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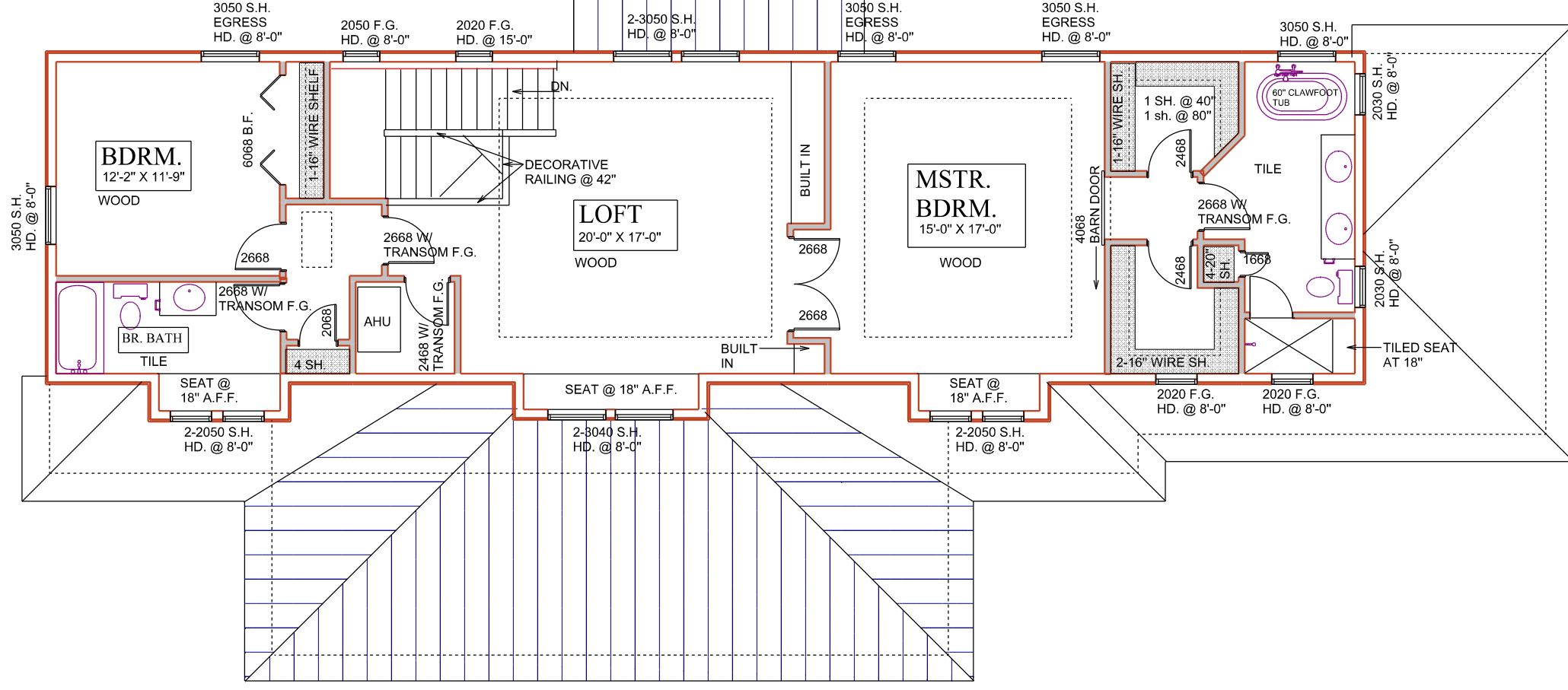
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SECOND FLOOR NOTES

SCALE 1/8" = 1'-8"

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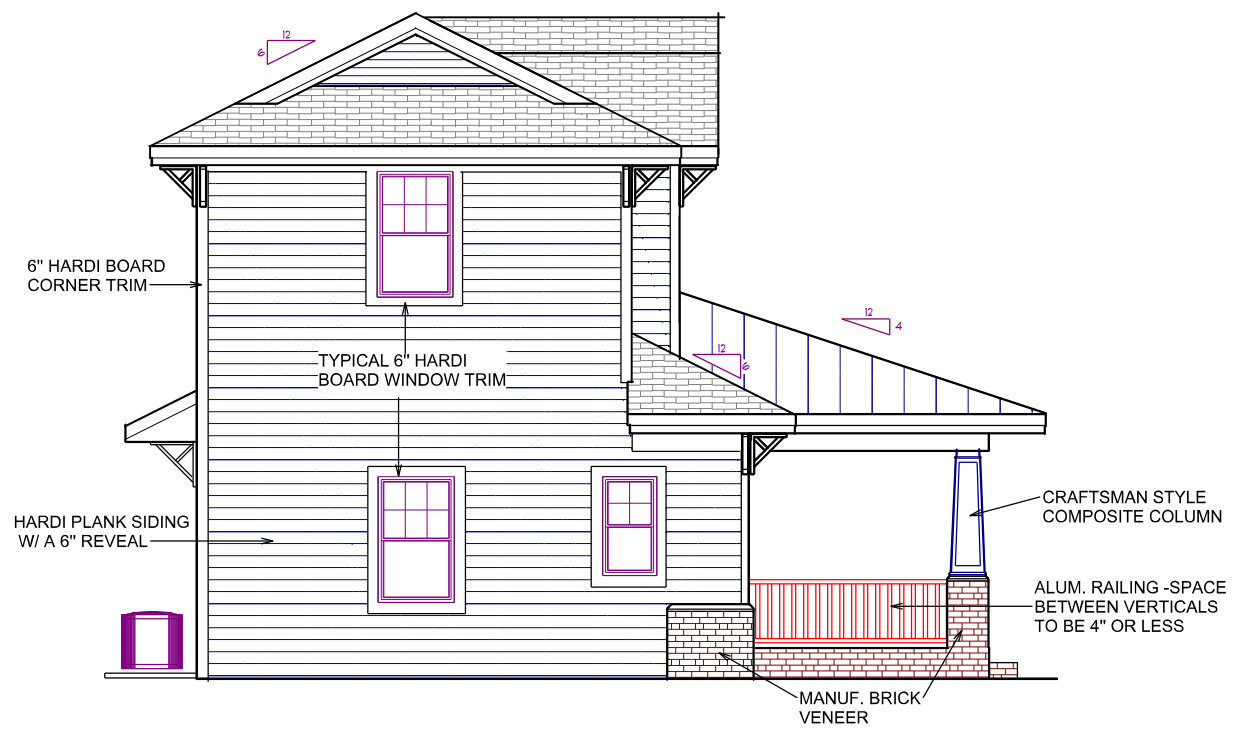
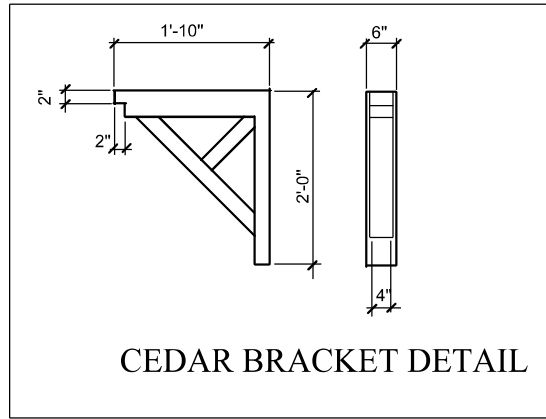
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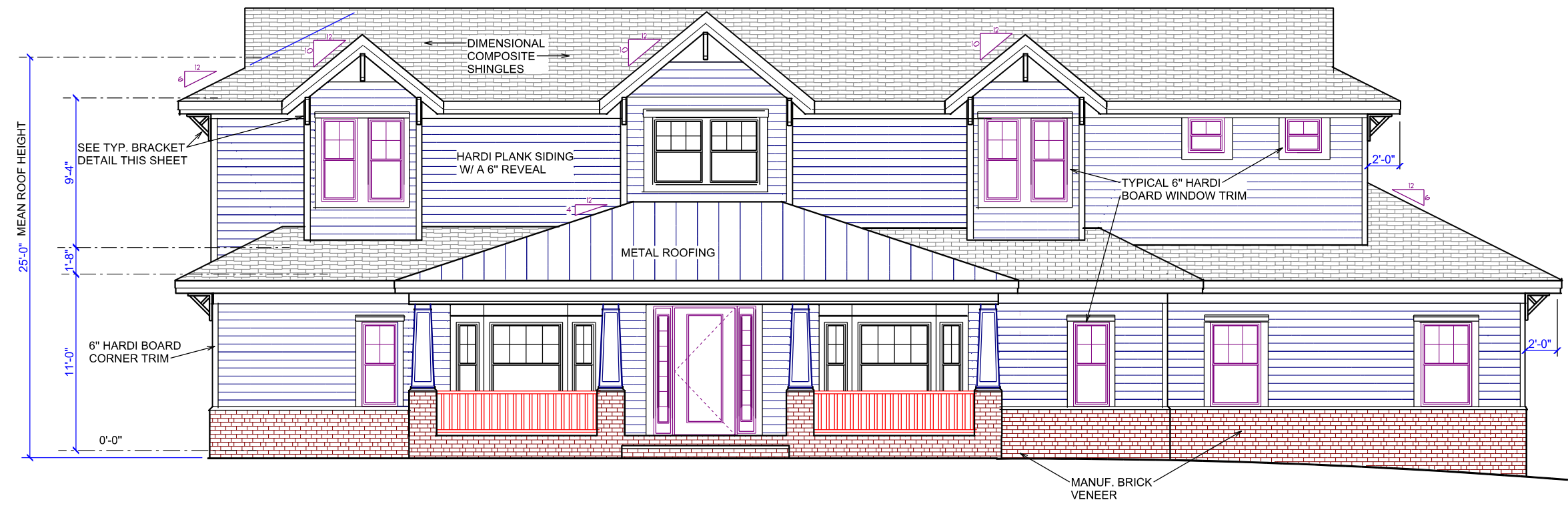
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LEFT SIDE ELEVATION



FRONT ELEVATION

A.E.C.S. 17036

SCALE 1/8" = 1'-0"

EXTERIOR ELEVATIONS

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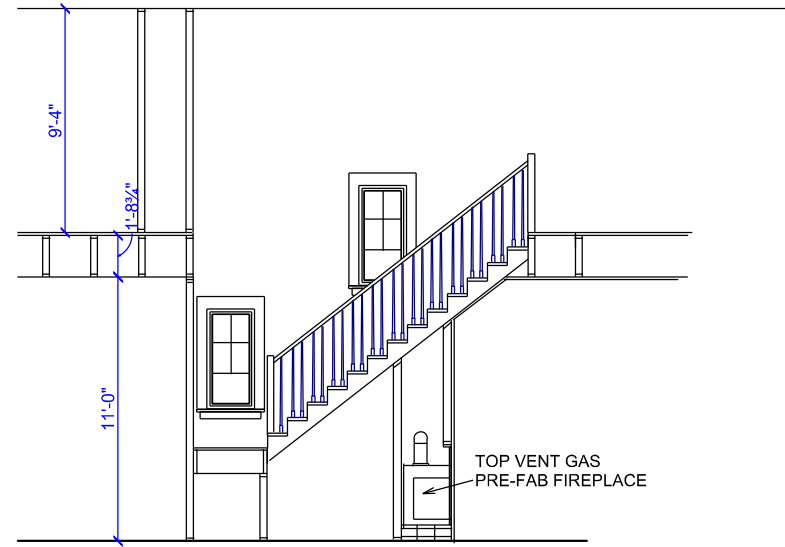
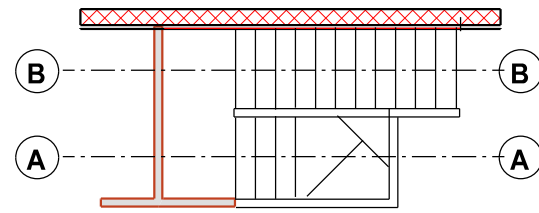
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 SAFETY HARBOR, FL.

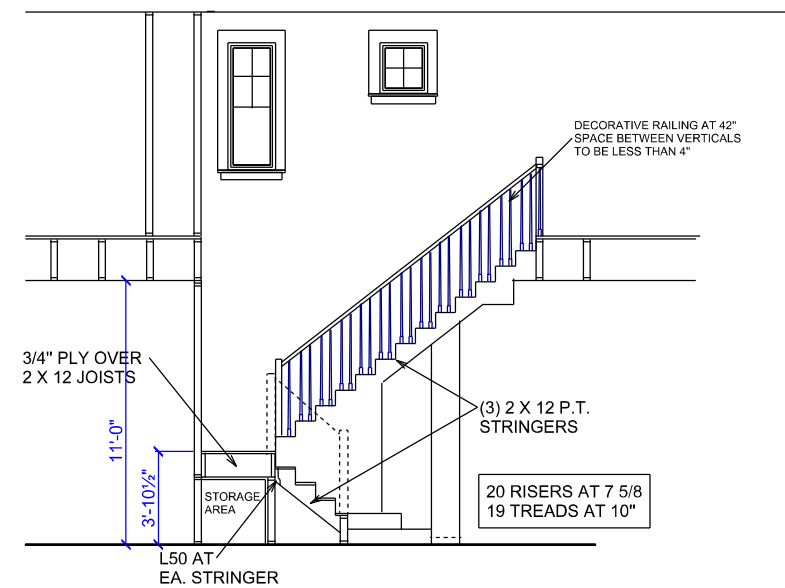
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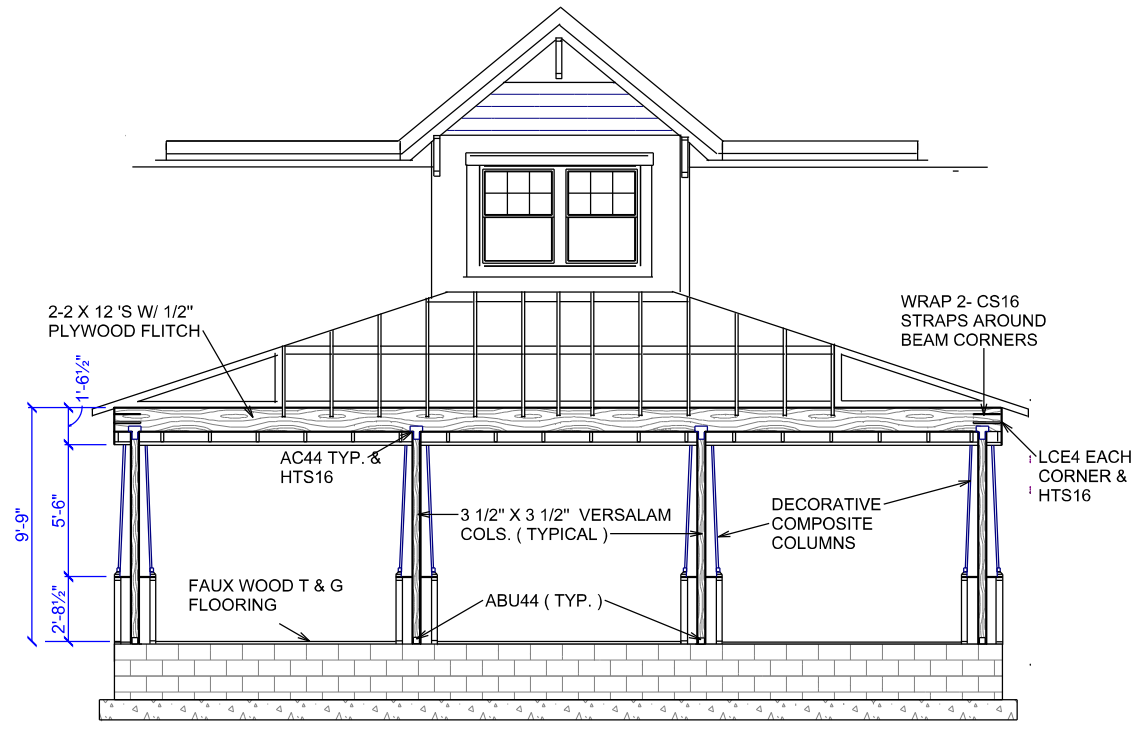
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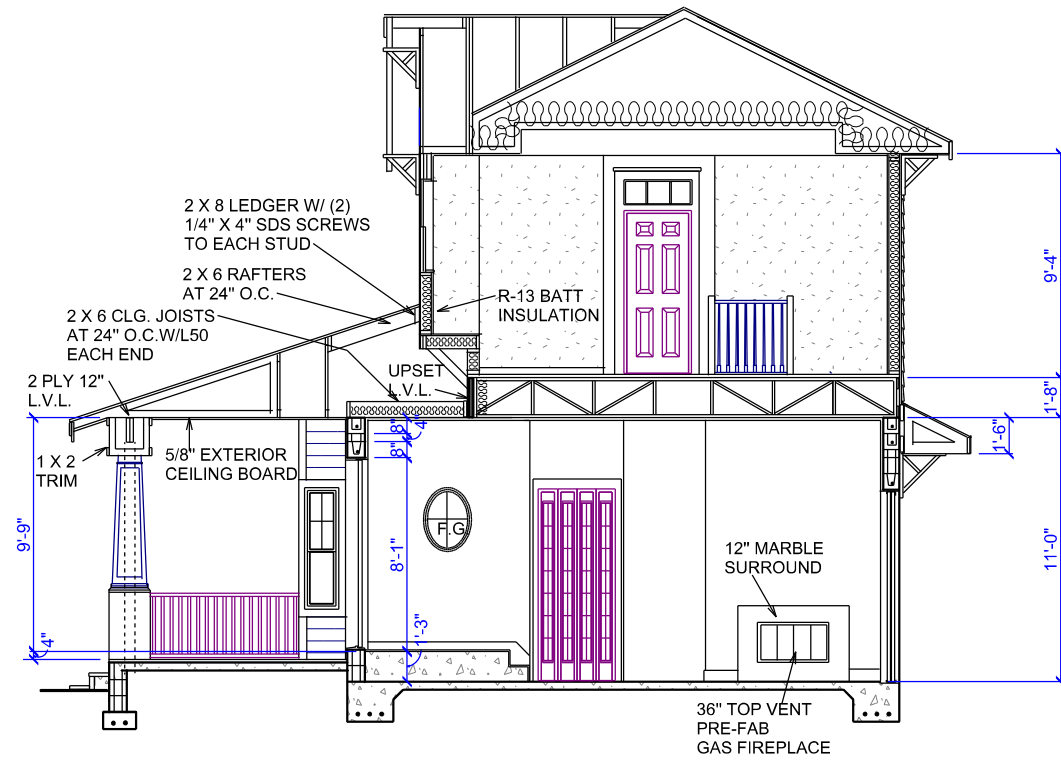
SECTION B - B



SECTION A - A



ELEVATION B - B



SECTION A - A

SCALE 1/8" = 1'-0"

SECTION DETAILS

A.E.C.S. 17036

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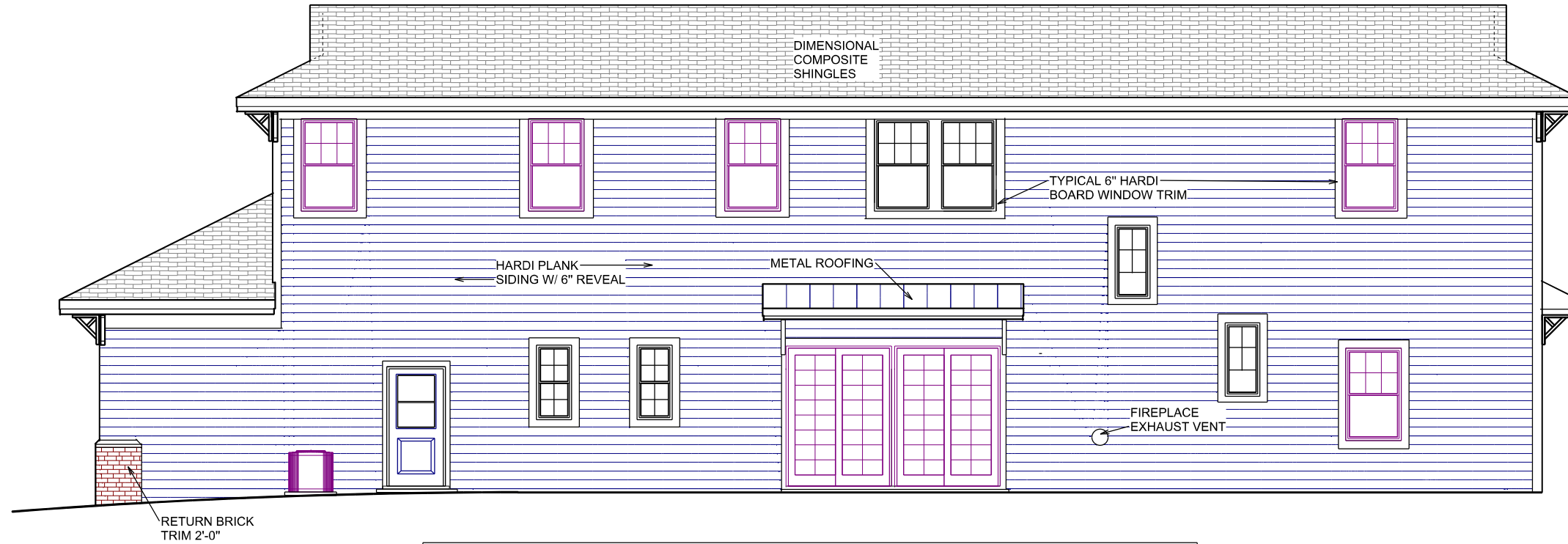
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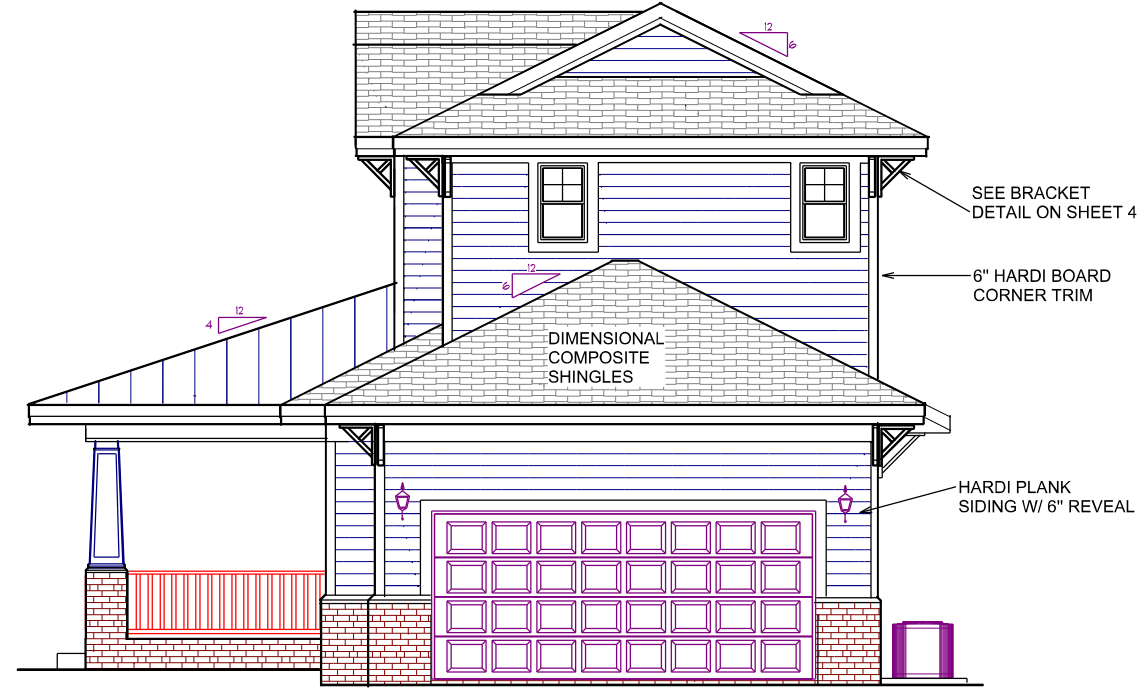
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 NEW PORT RICHEY, FL. 34655
 727-376-6831

4A



REAR ELEVATION



RIGHT SIDE ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

A.E.C.S. 17036

5

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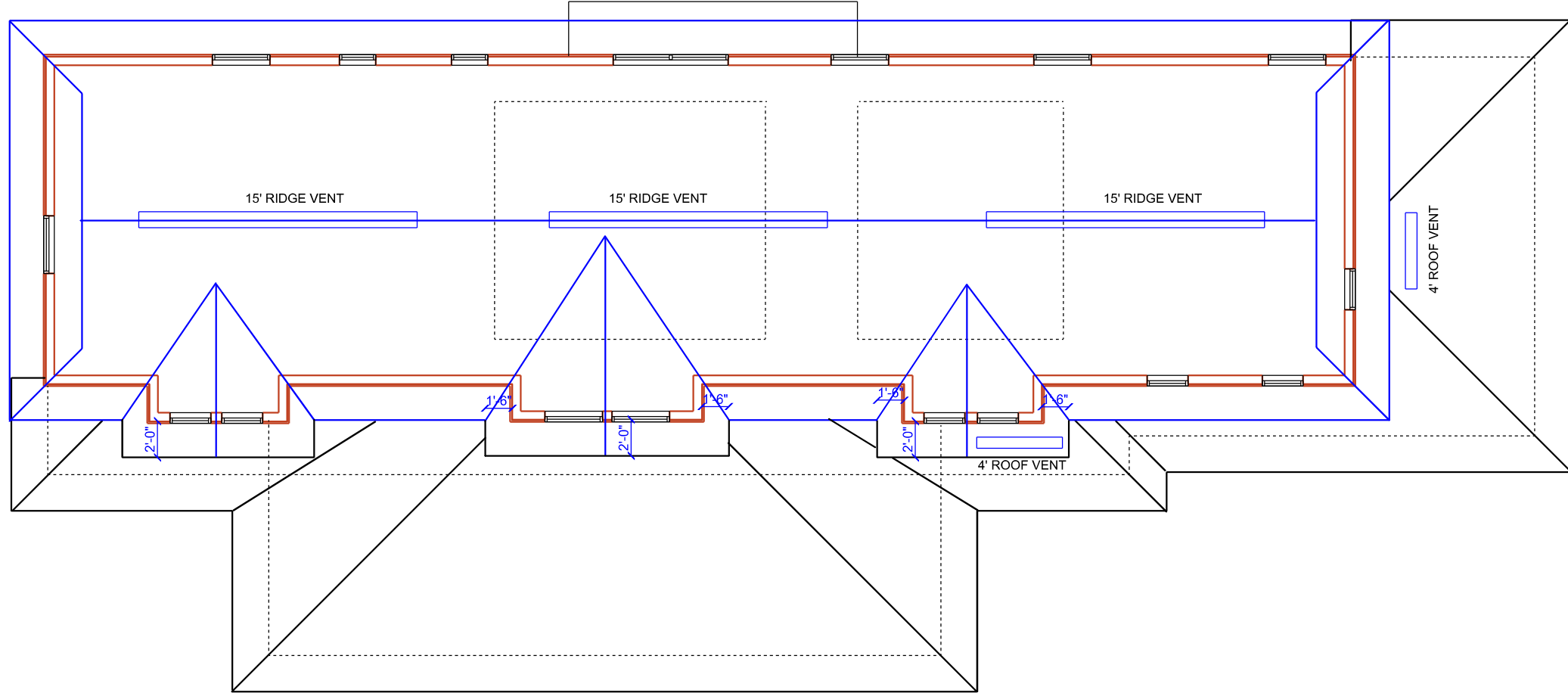
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SIGNED: RICHARD E. ALLEN P.E. #66820

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TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50 % AND NOT MORE THAN 80 % IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

FIRST FLOOR

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 528 S.F.
 $528/300 = 1.76$ S.F. OR 253.44 SQUARE INCHES.
 ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
 $253.44 \text{ S.F.} / 36 \text{ S.I.} = 7$ LINEAL FEET REQUIRED.
 INSTALLATION FOR THIS ROOF IS 8' OF ROOF VENTS

SECOND FLOOR

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 1263 S.F.
 $1263/300 = 4.21$ S.F. OR 606.24 SQUARE INCHES.
 ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
 $606.24 \text{ S.F.} / 36 \text{ S.I.} = 16.84$ LINEAL FEET REQUIRED.
 INSTALLATION FOR THIS ROOF IS 45' OF RIDGE VENTS

ROOF PLAN

6

SCALE 1/8" = 1'-0"

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05-01-2017
05-5-2017
05-17-2017
05-30-2017

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BUMBARGER RESIDENCE
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 SAFETY HARBOR, FL.

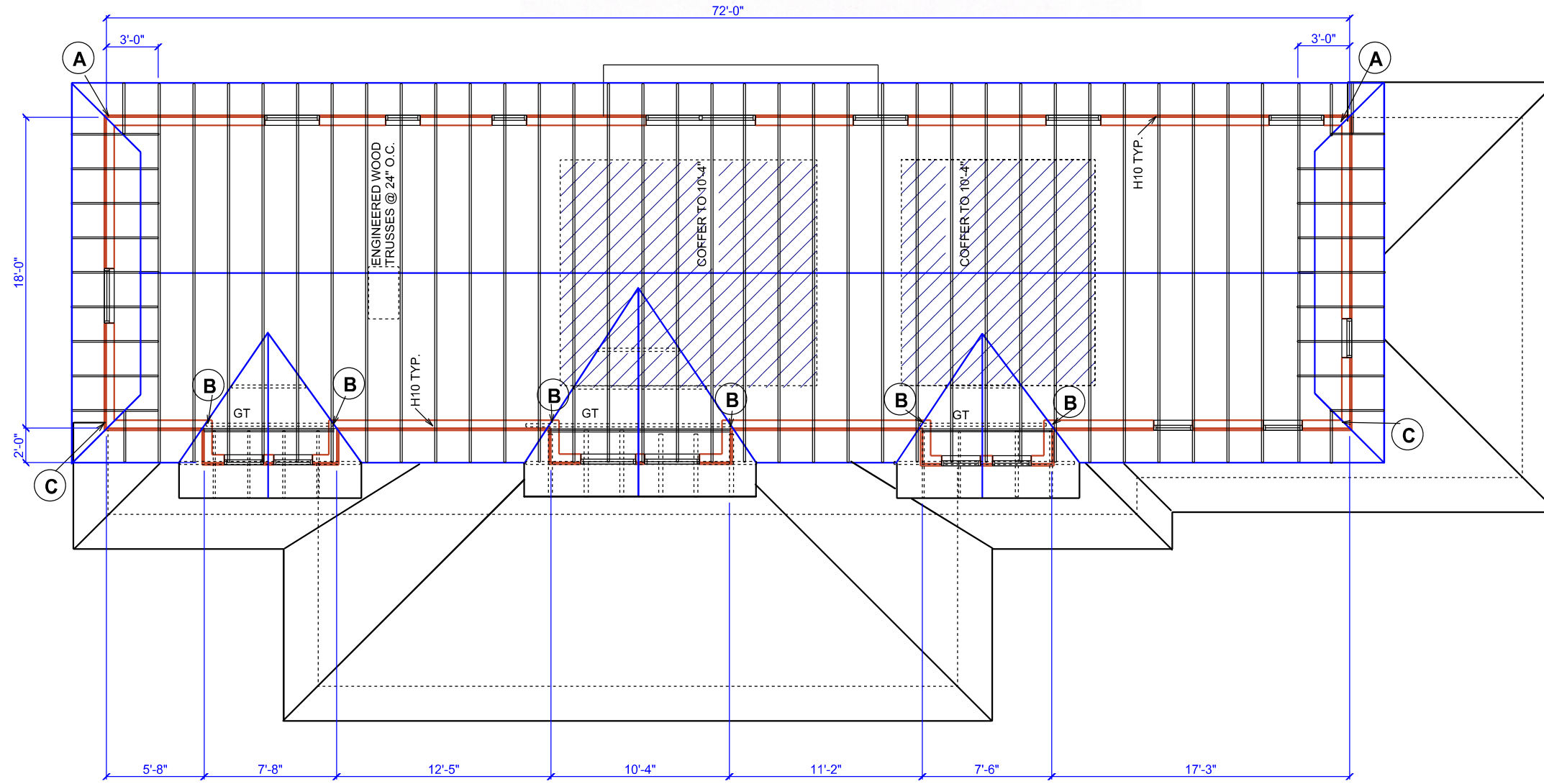
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A.E.C.S. 17036

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 8809 SKYMASTER DR.
 NEW PORT RICHEY, FL. 34654
 727-842-6100
 richallenpe@gmail.com

Connections

- A. 5 Stud corner column with HTT5 to cmu
- B. 5 stud corner column with (3) CS16 to LVL below, with LGT2 to roof girder truss
- C. 5 stud corner column with (3) CS16 to LVL below
- D. 3.5x3.5 VersaLam column with ABU 44 to foundation and two MTS16 to girder
- E. 5.25"x5.25" VersaLam column with (2) 2 HTT5 to foundation and (2) MSTC40 column to beam
- F. 3 ply 16" LVL header with 5.25"x5.25" VersaLam columns. HTT5 column to foundation, (2) CS16 column to header, (4) HTS16 header to LVL beam



ALL TRUSS TO TRUSS CONNECTORS BY TRUSS SYSTEMS ENGINEER AND TO BE SPECIFIED ON INDIVIDUAL SEALED TRUSS SHEETS

IMPORTANT NOTE:

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

TRUSS PLAN

6A

DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLVD.
NEW PORT RICHEY, FL. 34655
727-376-6831

PLAN DATE
03-16-2017
05-01-2017
05-5-2017
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05-30-2017

SCALE 1/8" = 1'-0"
BUMBARGER RESIDENCE
401 8TH AVE. SO.
SAFETY HARBOR, FL.

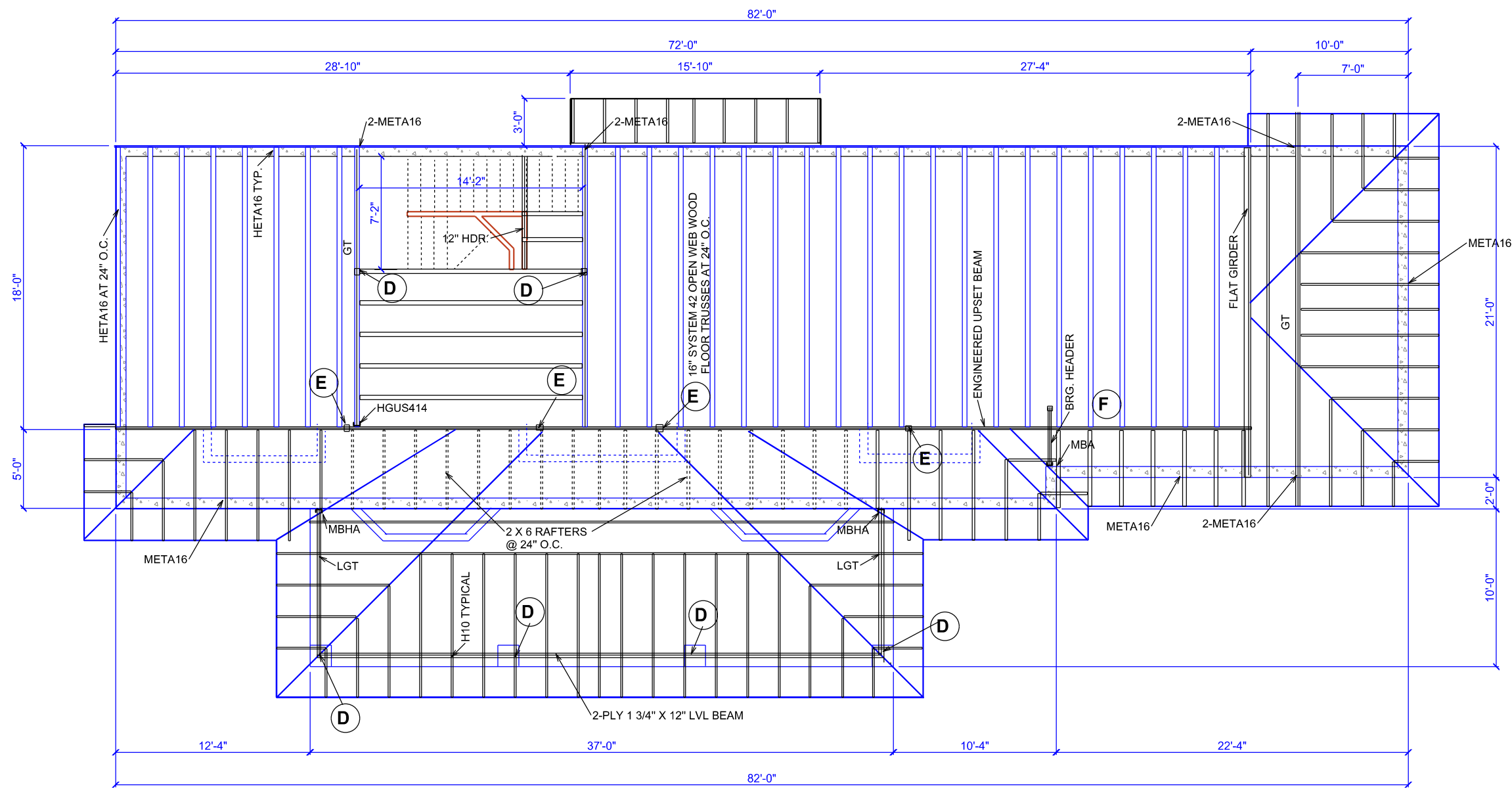
A.E.C.S. 17036

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 45 MPH ULTIMATE WIND LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2014 FLORIDA RESIDENTIAL BUILDING CODE SEALED FOR STRUCTURE ONLY

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- A. 5 Stud corner column with HTT5 to cmu
- B. 5 stud corner column with (3) CS16 to LVL below, with LGT2 to roof girder truss
- C. 5 stud corner column with (3) CS16 to LVL below
- D. 3.5x3.5 VersaLam column with ABU 44 to foundation and two MTS16 to girder
- E. 5.25"x5.25" VersaLam column with (2) 2 HTT5 to foundation and (2) MSTC40 column to beam
- F. 3 ply 16" LVL header with 5.25"x5.25" VersaLam columns. HTT5 column to foundation, (2) CS16 column to header, (4) HTS16 header to LVL beam



ALL TRUSS TO TRUSS CONNECTORS BY TRUSS SYSTEMS ENGINEER AND TO BE SPECIFIED ON INDIVIDUAL SEALED TRUSS SHEETS

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FLOOR TRUSSES

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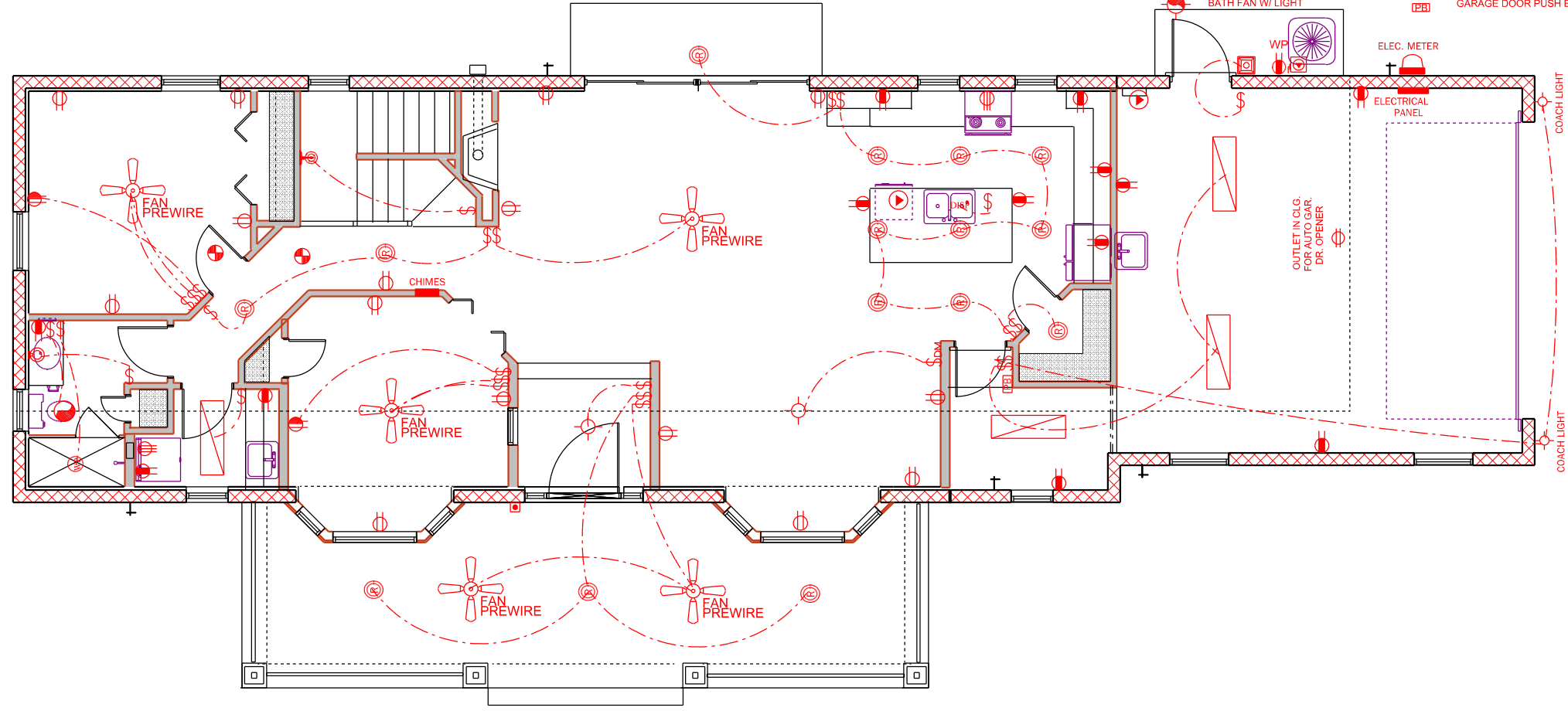
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6B



ELECTRICAL LEGEND

- \$ SINGLE POLE SWITCH
- \$2 DOUBLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$4 FOUR-WAY SWITCH
- \$DM DIMMER SWITCH
- ⊕ CEILING FIXTURE
- ⊖ SCOUNCE (WALL MOUNTED) FIXTURE
- ⊕ 110 VOLT DUPLEX OUTLET
- ⊕ 110 VOLT SPLIT SWITCHED OUTLET
- ⊕ GROUND FAULT INTERRUPT
- WP WATER PROOF W/ GROUND FAULT
- ⊕ 220 VOLT OUTLET
- ⊕ SPECIAL SERVICES OUTLET
- TV T.V. CABLE OUTLET
- ▲ TELEPHONE CABLE OUTLET
- ⊕ RECESSED LIGHTING
- ⊕ WP WATER PROOF RECESSED LIGHTING
- ⊕ BATH FAN
- ⊕ BATH FAN W/ LIGHT
- ⊕ SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
- ⊕ FLOOD LIGHT
- ⊕ FLUORESCENT LIGHTING
- ⊕ TRACK LIGHTING
- ⊕ CEILING FAN
- ⊕ CHIMES
- ⊕ DOOR BELL CHIMES
- ⊕ DOOR BELL
- ⊕ DISP DISPOSAL
- ⊕ DISCONNECT SWITCH
- ⊕ SP PREWIRE SPEAKER
- ⊕ JUNCTION BOX
- ⊕ THERMOSTAT
- ⊕ LOW VOLTAGE LIGHTING
- ⊕ INTERCOM SYSTEM
- ⊕ GARAGE DOOR PUSH BUTTON

UNLESS OTHERWISE NOTED

1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)
2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE
3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION 907.2
6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) PER NEC, SECTION 210-12
7. ALL RECEPTICALS TO BE TAMPER PROOF PER SECT. 406.11

KITCHEN	42"
BATHROOM	42"
LAUNDRY	36" WASHER/ 24" DRYER/ WALL OUTLETS 45"
EXTERIOR	WATERPROOF @ 12"
GARAGE	GFI @ 45"
RANGE	220V @ 4"

ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

A.E.C.S. 17036



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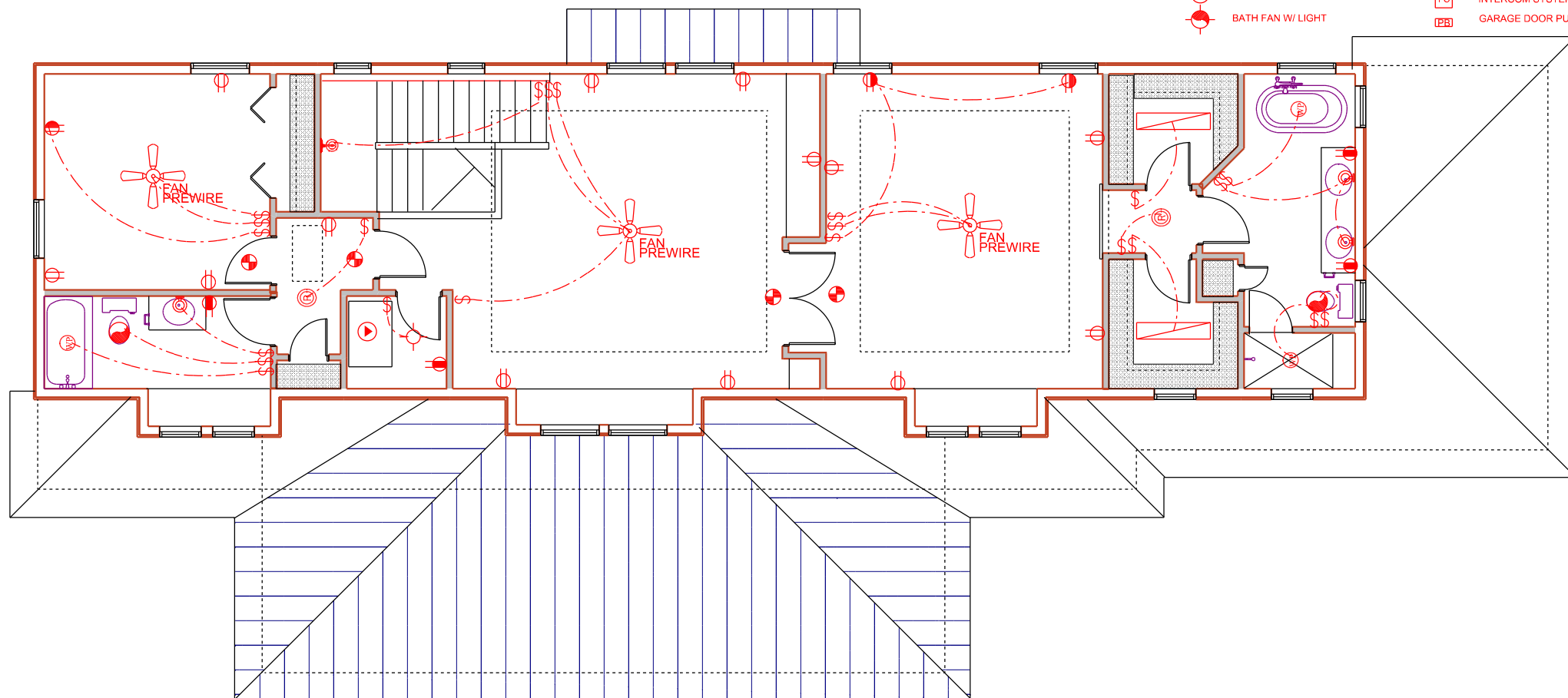
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 - \$DM DIMMER SWITCH
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 - Ⓜ T THERMOSTAT
 - Ⓜ L LOW VOLTAGE LIGHTING
 - Ⓜ I INTERCOM SYSTEM
 - Ⓜ PB GARAGE DOOR PUSH BUTTON

UNLESS OTHERWISE NOTED

- ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. (GENERAL)
- ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE
- ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
- ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.
- SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION 907.2
- PROVIDE AFCI (ARC FAULT INTERRUPTERS) PER NEC, SECTION 210-12
- ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11

KITCHEN	42"
BATHROOM	42"
LAUNDRY	36" WASHER/ 24" DRYER/ WALL OUTLETS 45"
EXTERIOR	WATERPROOF @ 12"
GARAGE	GFI @ 45"
RANGE	220V @ 4"

ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

A.E.C.S. 17036

7A

DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLVD.
 NEW PORT RICHEY, FL. 34655
 727-376-6831

PLAN DATE
03-16-2017
05-01-2017
05-5-2017
05-17-2017
05-30-2017

BUMBARGER RESIDENCE
 401 8TH AVE. SO.
 SAFETY HARBOR, FL.

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH THE FLORIDA WIND LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2014 FLORIDA RESIDENTIAL BUILDING CODE SEALED FOR STRUCTURE ONLY

SIGNED: RICHARD E. ALLEN P.E. #66820
 richallenpe@gmail.com

ALLEN ENGINEERING & CONSTRUCTION SERVICES
 RICH ALLEN PROFESSIONAL ENGINEER
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