

DRIVEWAY SPEC:  
 DRIVEWAY NOT IN RIGHT OF WAY AND ALL  
 SIDEWALKS TO BE 4" 3000PSI CONC. W/ FIBERMESH.

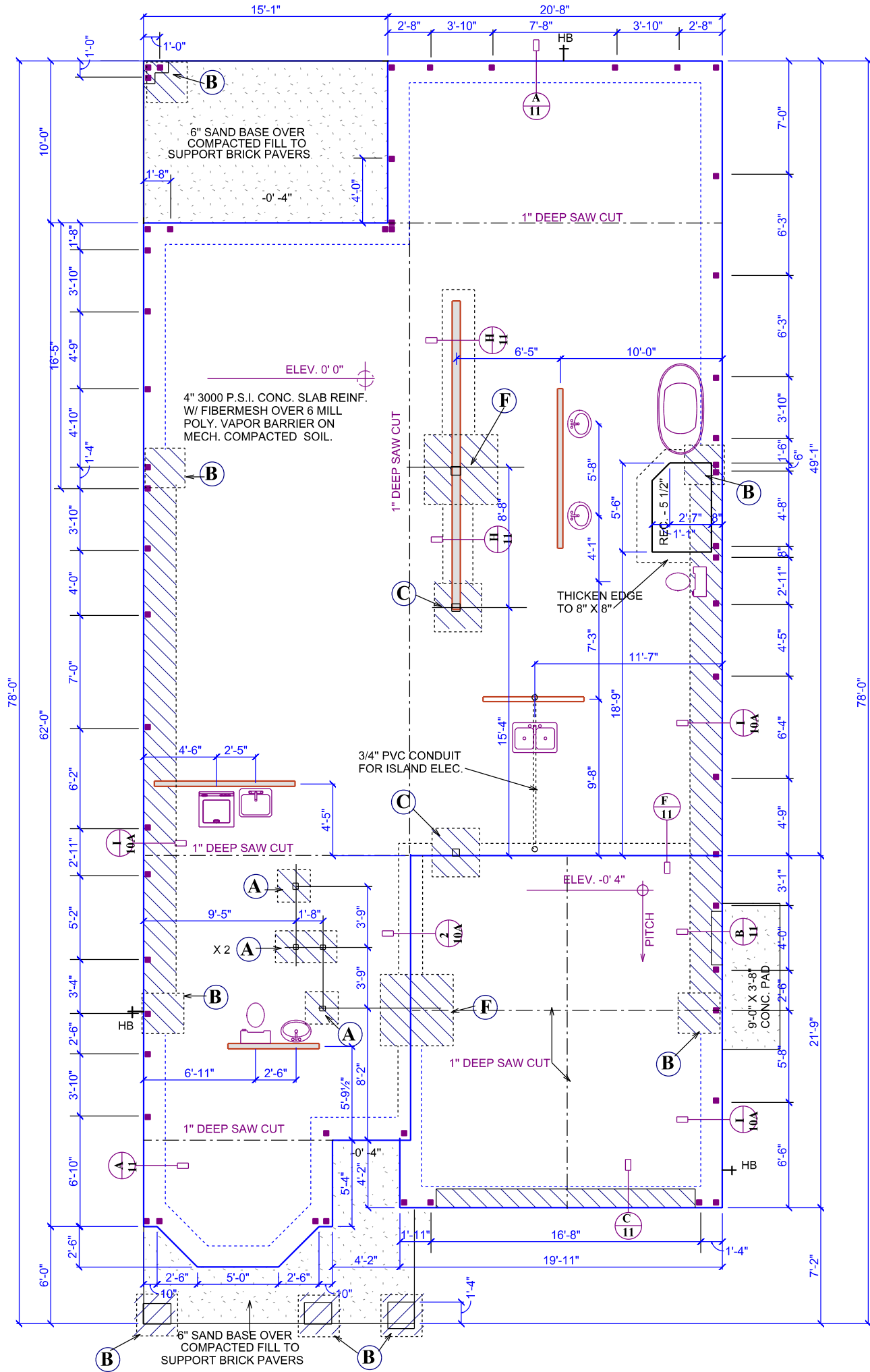
DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI  
 CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT.

- NOTES**
- 1) THE FOUNDATION SYSTEM FOR THIS PLAN IS DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2,000 P.S.F. WITH NO SOILS REPORT OR INFORMATION PROVIDED.
  - 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
  - 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
  - 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
  - 5) REFER TO STRUCTURAL ENGINEER NOTES.

**TERMITE SPECIFICATIONS:**

INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

- CONCRETE PADS**
- (A) 24" X 24" X 20" DEEP CONC. PAD W/ 3 # 5 REBAR EACH WAY
  - (B) 30" X 30" X 20" DEEP CONC. PAD W/ 4 # 5 REBAR EACH WAY
  - (C) 36" X 36" X 20" DEEP CONC. PAD W/ 4 # 5 REBAR EACH WAY
  - (D) 42" X 42" X 20" DEEP CONC. PAD W/ 5 # 5 REBAR EACH WAY
  - (E) 48" X 48" X 20" DEEP CONC. PAD W/ 6 # 5 REBAR EACH WAY
  - (F) 54" X 54" X 20" DEEP CONC. PAD W/ 7 # 5 REBAR EACH WAY



FOUNDATION PLAN

SCALE 1/8" = 1'-0"

A.E.C.S. 00000

MODEL 3135



DEEB FAMILY  
 HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

PLAN DATE

|          |
|----------|
| 11-06-18 |
| 11-12-18 |

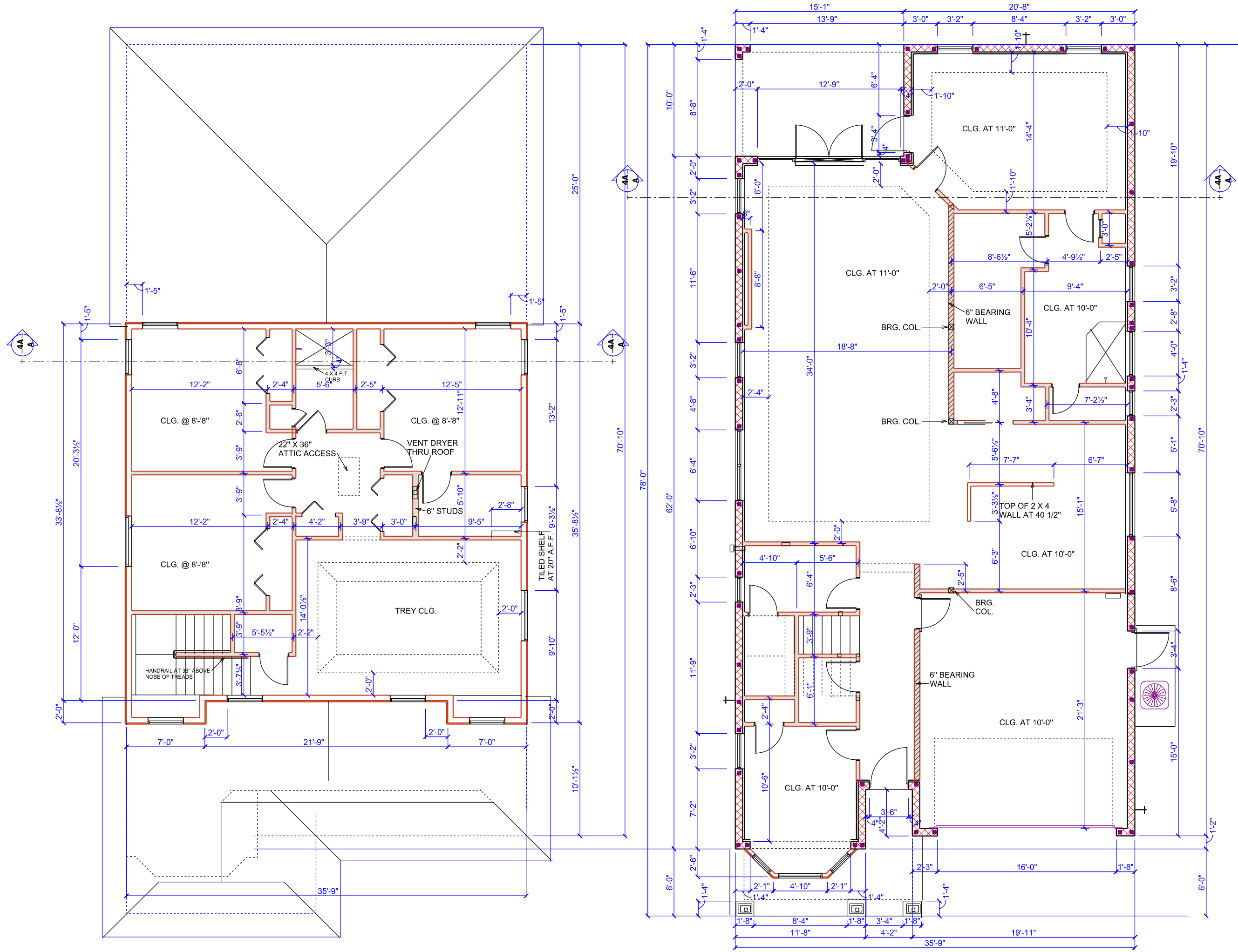
INVENTORY PROJECT  
 LOT 4- 3 RD. ST. NO.  
 SAFETY HARBOR, FL.

I HEREBY CERTIFY THAT I HAVE  
 PERFORMED THE ATTACHED DESIGN  
 TO COMPLY WITH 145 MPH ULTIMATE  
 WIND LOADS AND IT IS IN COMPLIANCE  
 WITH SECT. 301 OF THE 2017 FLORIDA  
 RESIDENTIAL BUILDING CODE  
 SEALED FOR STRUCTURE ONLY

SIGNED  
 RICHARD E. ALLEN P.E. #56920

ALLEN ENGINEERING &  
 CONSTRUCTION SERVICES  
 RICH ALLEN PROFESSIONAL ENGINEER  
 P.E. # 56920 C.A. # 9542  
 8809 SKYMASTER DR.  
 NEW PORT RICHEY, FL. 34654  
 727-842-6100  
 richallenpe@gmail.com





**DIMENSION PLAN**

SCALE 1/8" = 1'-0"

**A.E.C.S. 00000**

**MODEL 3135**

**3**

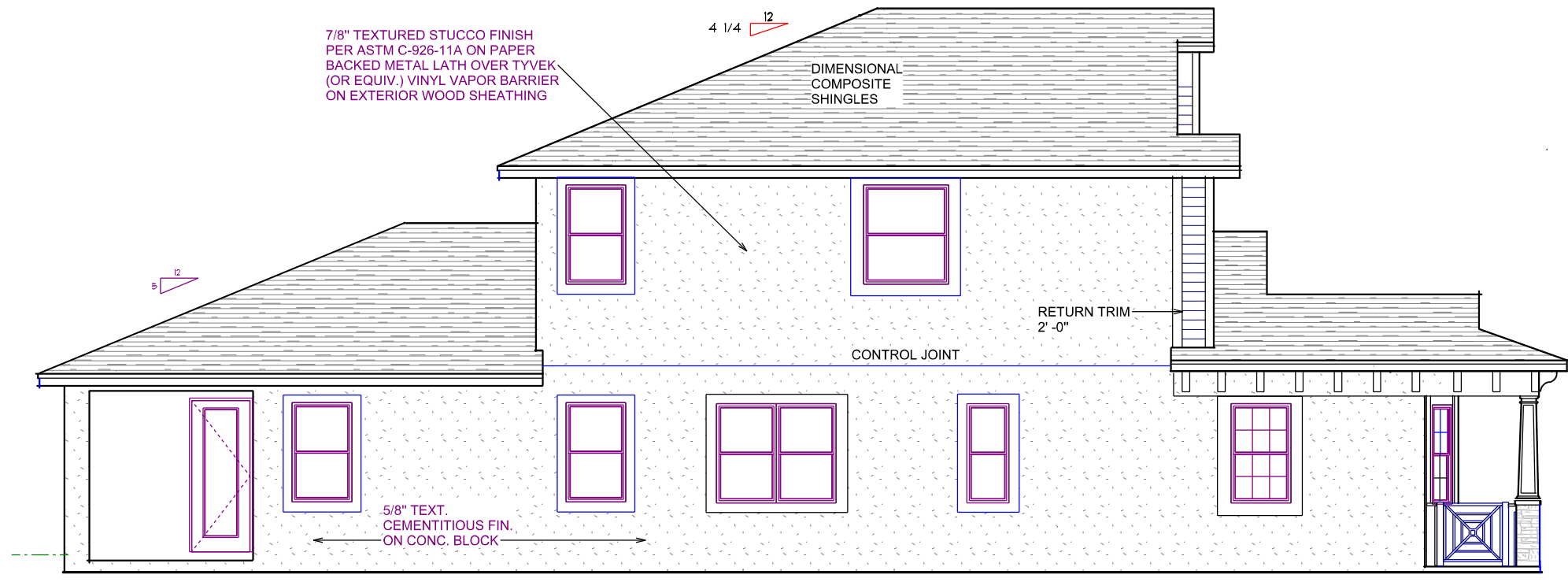
**DEEB FAMILY HOMES, LTD.**  
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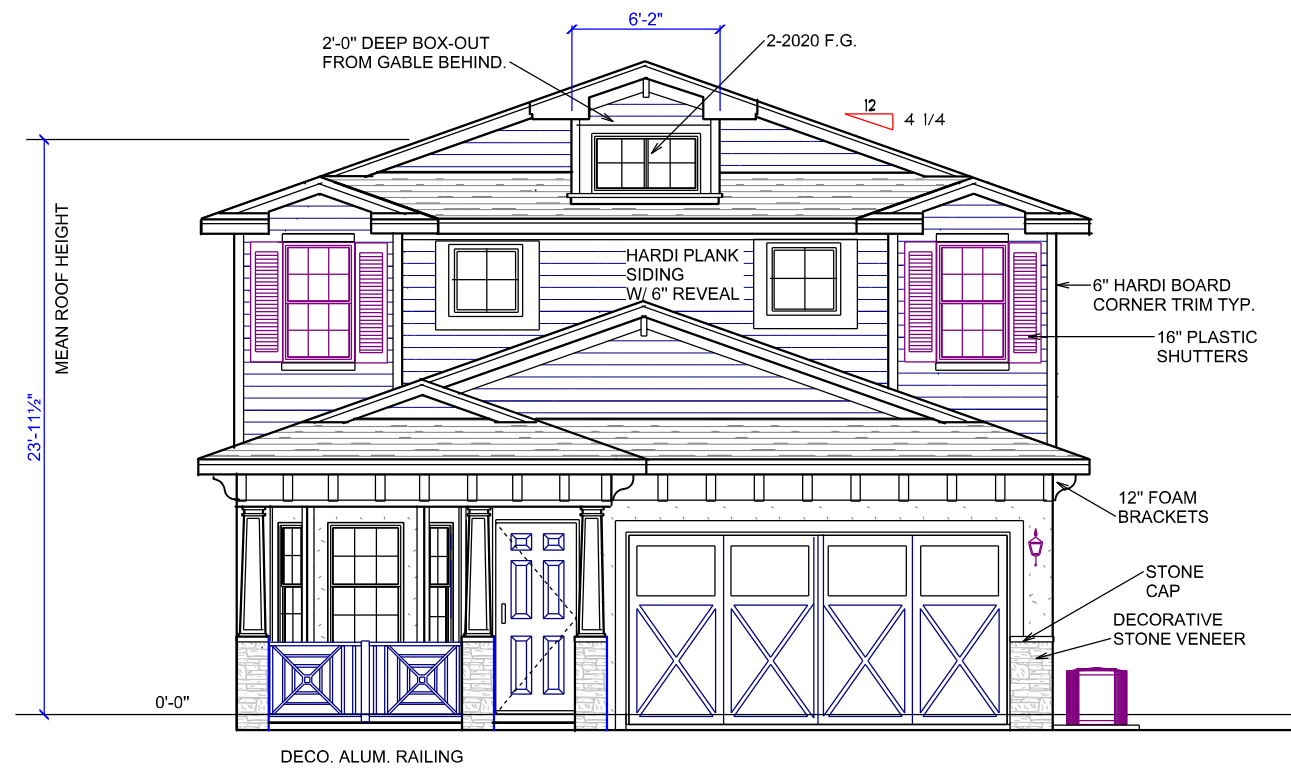
**INVENTORY PROJECT**  
**LOT 4- 3 RD. ST. NO.**  
**SAFETY HARBOR, FL.**

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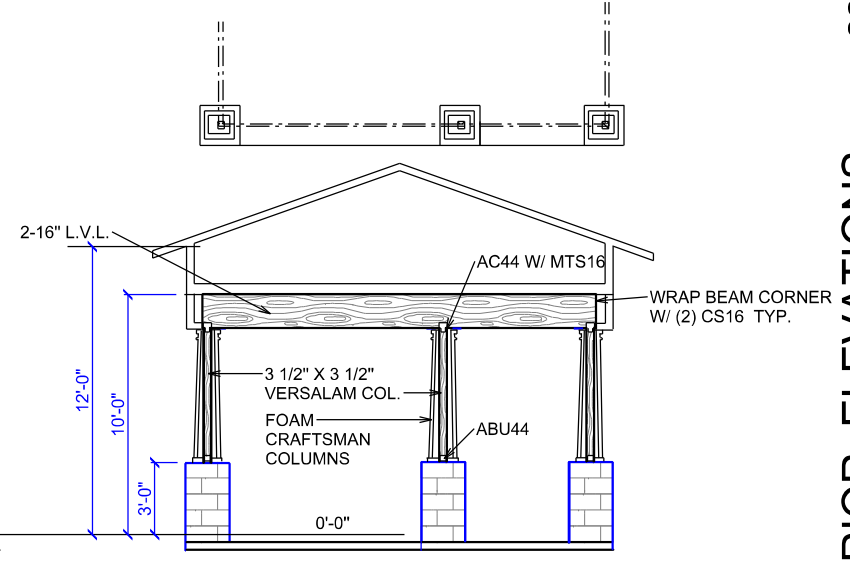
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LEFT SIDE ELEVATION



FRONT ELEVATION



COLUMN DETAIL

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

A.E.C.S. 00000

MODEL 3135

4

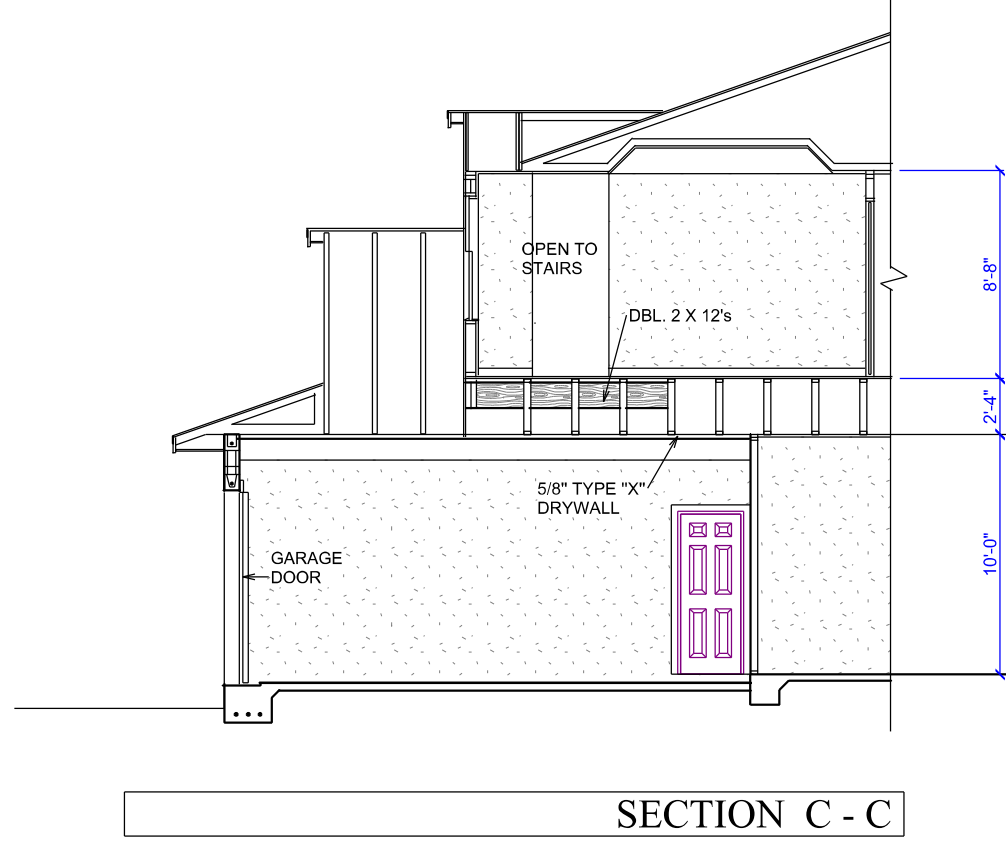
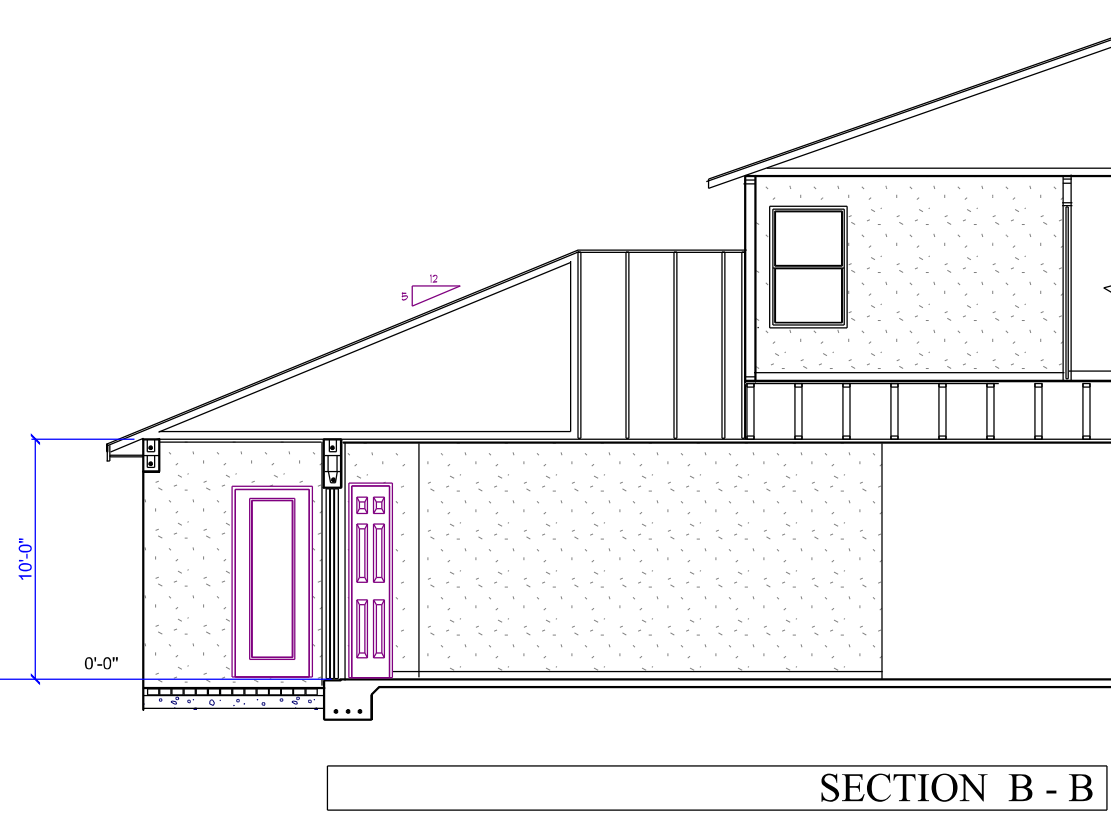
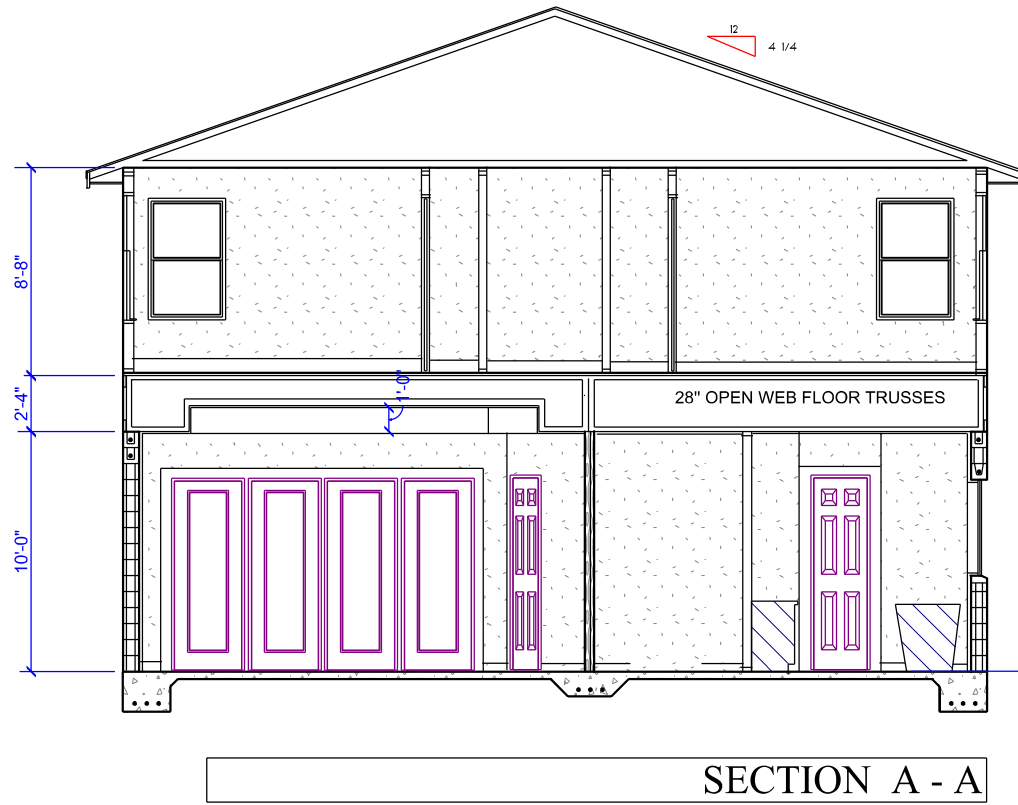
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SECTION DETAILS

SCALE 1/8" = 1'-0"

A.E.C.S. 00000

MODEL 3135

**4A**

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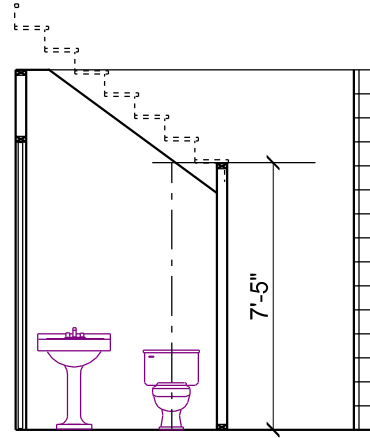
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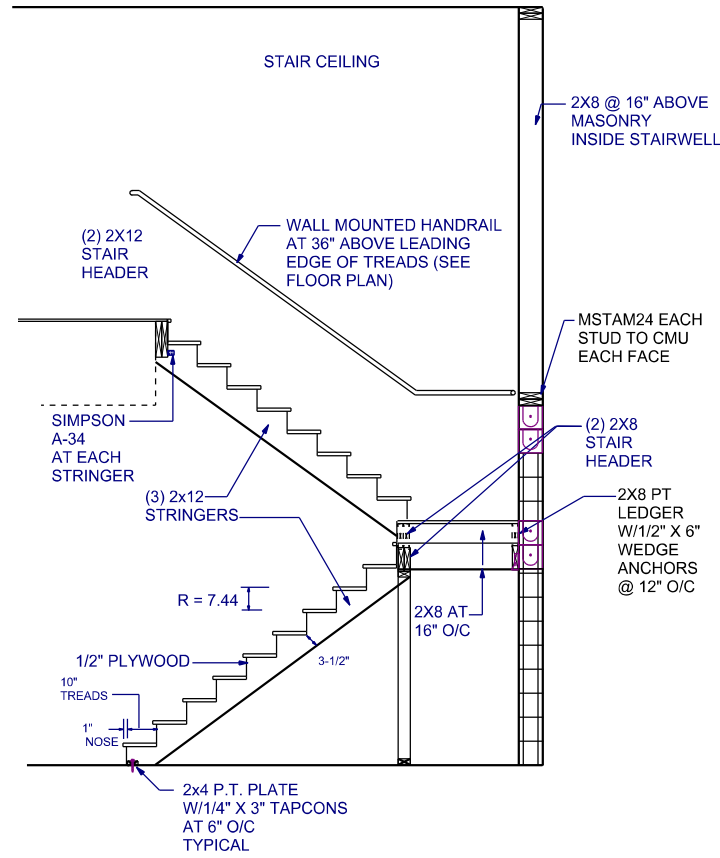
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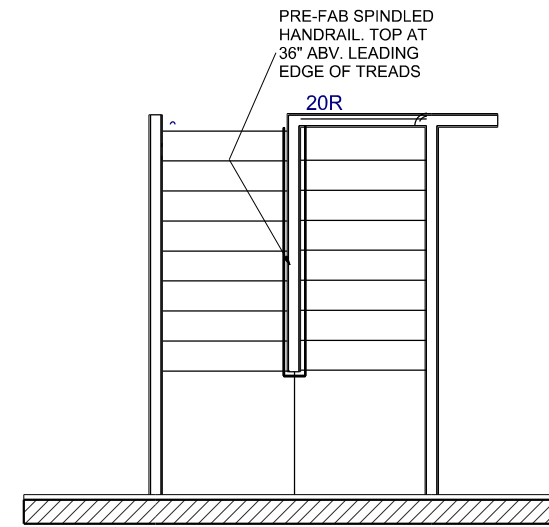
**POWDER BATH ELEVATION**

3/16" = 1'-0"



**STAIR SECTION 'A-A'**

3/16" = 1'-0"



**STAIR PLAN**

3/16" = 1'-0"

STAIR DETAILS

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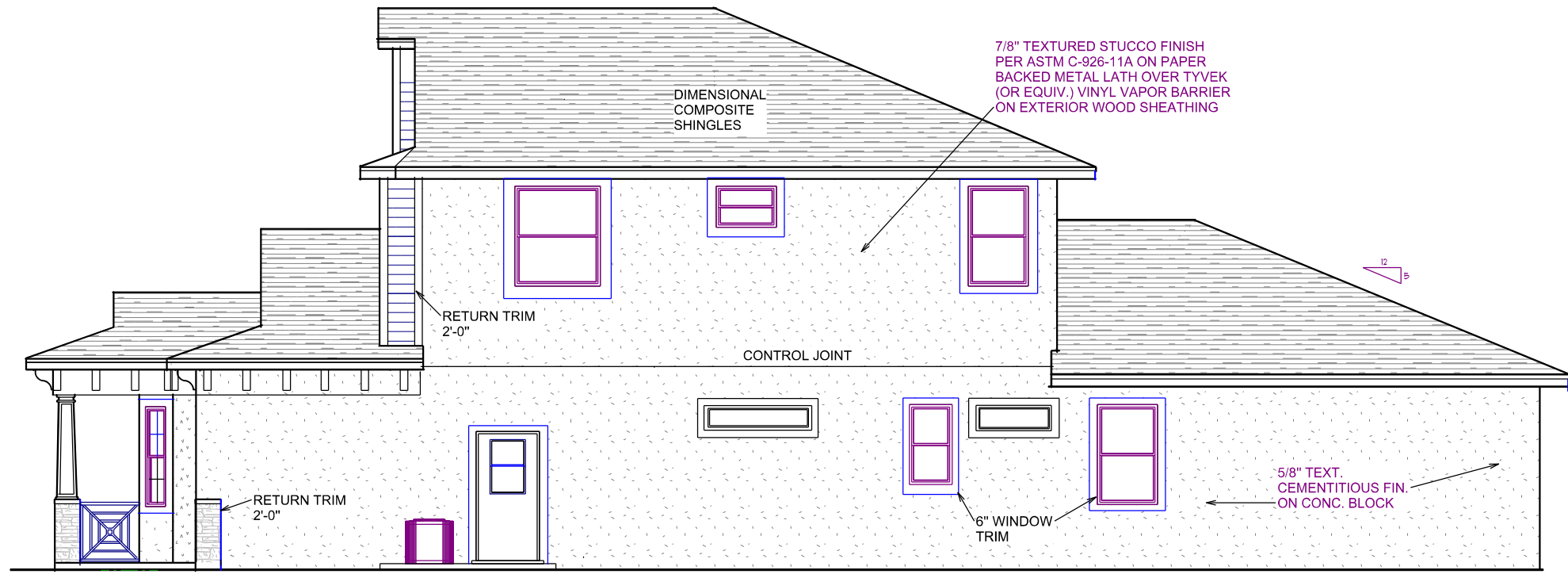
A.E.C.S. 00000

MODEL 3135

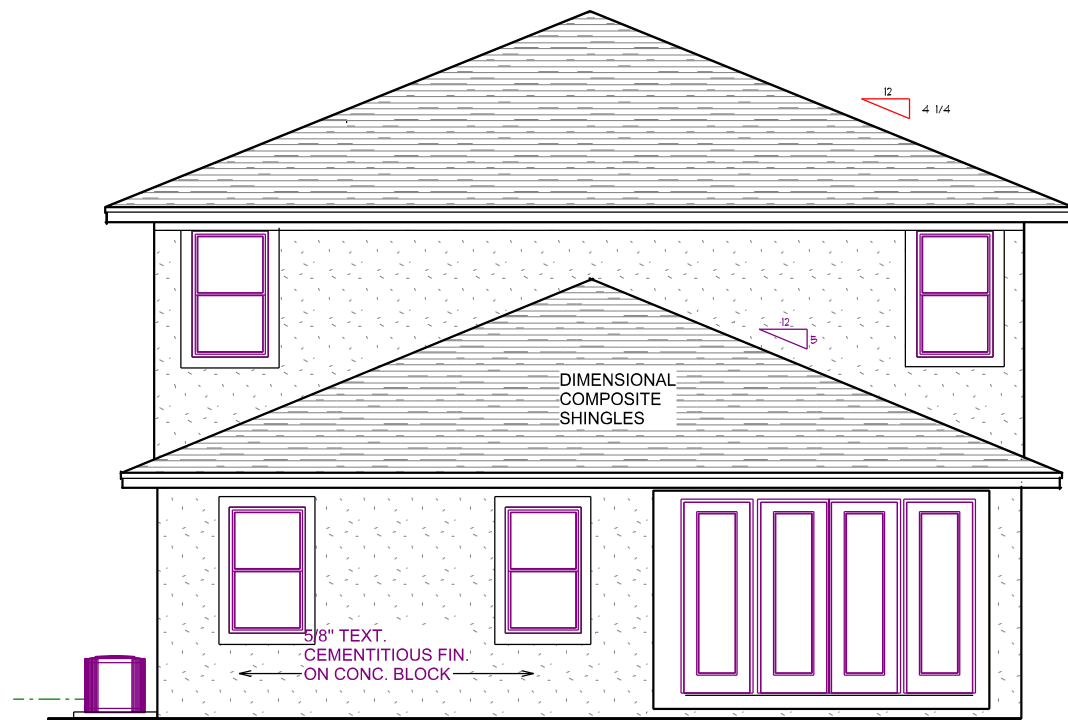
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4B





RIGHT SIDE ELEVATION



REAR ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

A.E.C.S. 00000

MODEL 3135

5

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TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50 % AND NOT MORE THAN 80 % IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

**AREA ONE**

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 893.75 S.F.  
 $893.75 / 300 = 2.99$  S.F. OR 417.60 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 $417.60 \text{ S.I.} / 36 \text{ S.I.} = 11.6$  LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 12' OF ROOF VENT

**AREA TWO**

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 1159 S.F.  
 $1159/300 = 3.86$  S.F. OR 555.84 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 $555.84 \text{ S.I.} / 36 \text{ S.I.} = 15.44$  LINEAL FEET REQUIRED.

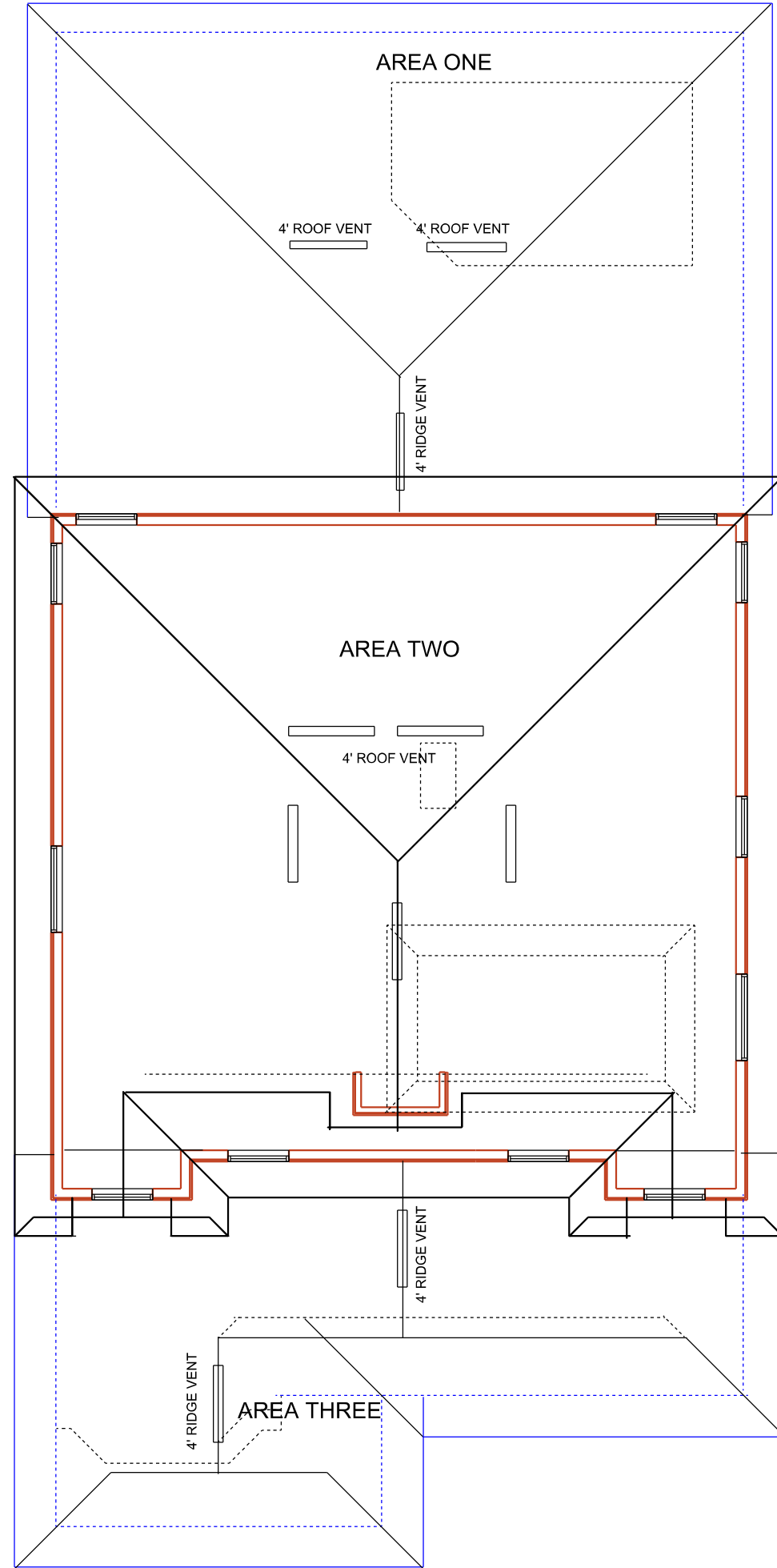
INSTALLATION FOR THIS ROOF IS 16' OF ROOF VENTS

**AREA THREE**

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 554 S.F.  
 $554 / 300 = 1.85$  S.F. OR 266.4 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 $266.4 \text{ S.I.} / 36 \text{ S.I.} = 7.4$  LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 8' OF RIDGE VENT



ROOF PLAN SCALE 1/8" = 1'-0"

**6**

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**INVENTORY PROJECT LOT 4- 3 RD. ST. NO. SAFETY HARBOR, FL.**

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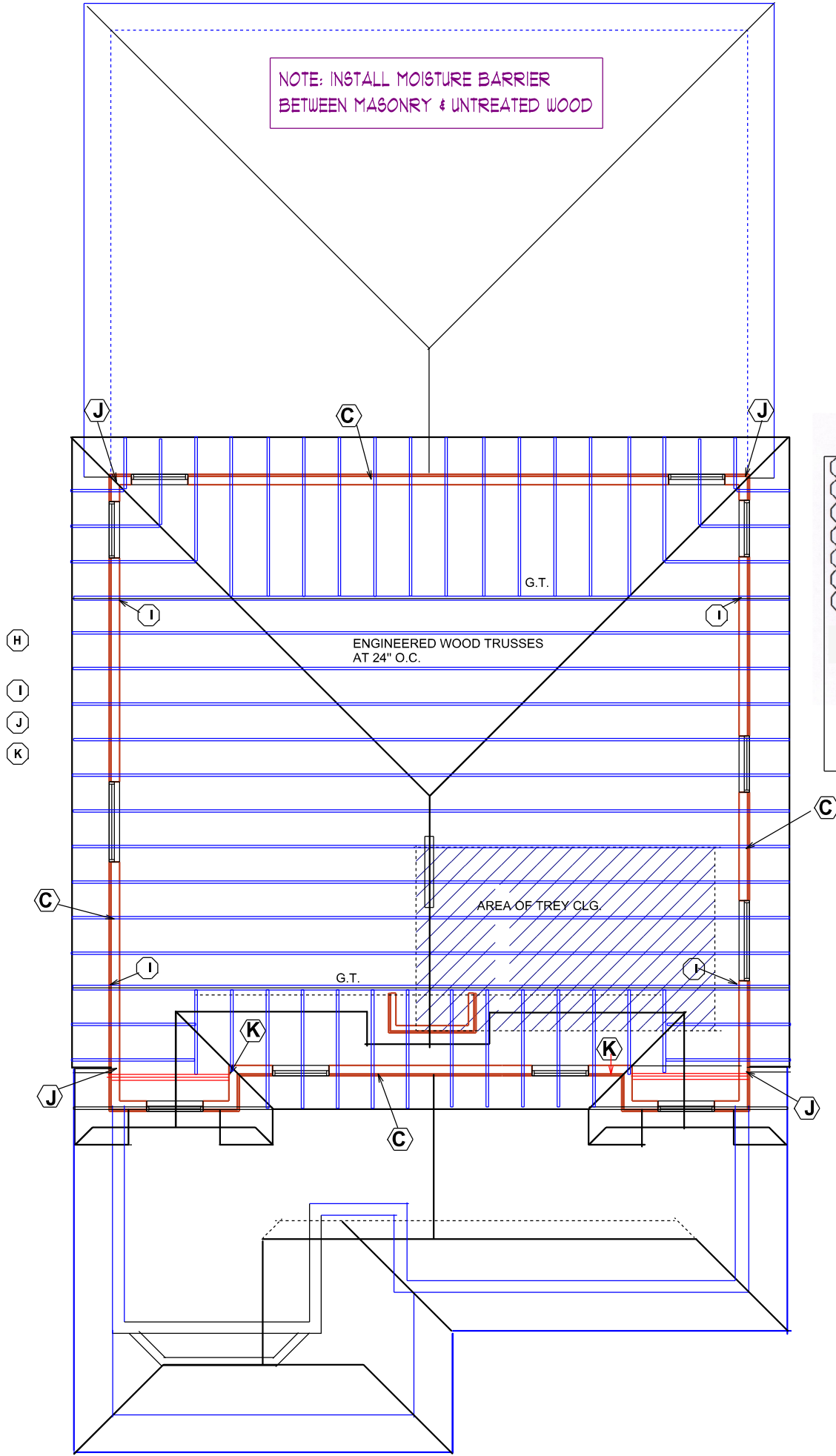
**A.E.C.S. 00000**

**MODEL 3135**

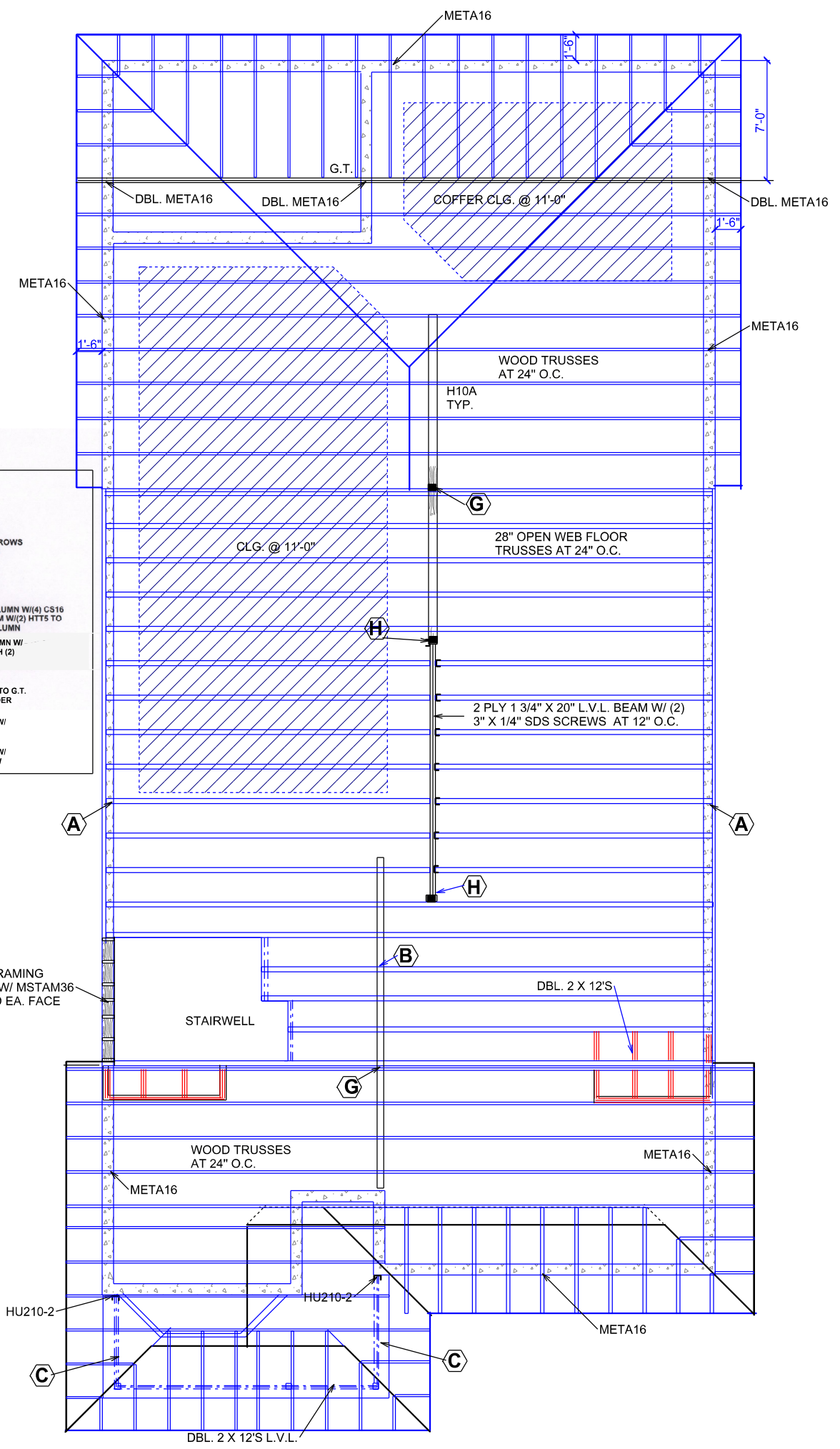
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**IMPORTANT NOTE:**  
THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.



- A META24 TYPICAL
- B H3 TYPICAL
- C H10 TYPICAL
- D 4-PLY 20" VERSALAM W/3 ROWS 7" SDS SCREWS @ 12" O.C.
- E HUCQ412-SDS
- F 4X4 PT COLUMN W/ABU44 W/(2) MTS16 TO BEAM
- G 5-1/4" X 7" VERSALAM COLUMN W/(4) CS16 @ EACH COLUMN TO BEAM W/(2) HTTS TO FOUNDATION @ EACH COLUMN
- H 5.25 X 3.5 VERSALAM COLUMN W/ HTT4 TO FOUNDATION WITH (2) CS16 TO BEAM
- I 3 STUD COLUMN W/ LGT02 TO G.T. W/(2) CS16 TO FLOOR GIRDER
- J 5 STUD CORNER COLUMN W/ (2) MSTAM 36 TO CMU
- K 5 STUD CORNER COLUMN W/ (2) CS16 TO GIRDER BELOW



**FLOOR AND ROOF TRUSSES**

SCALE 1/8" = 1'-0"

**A.E.C.S. 00000**

**MODEL 3135**

**6A**

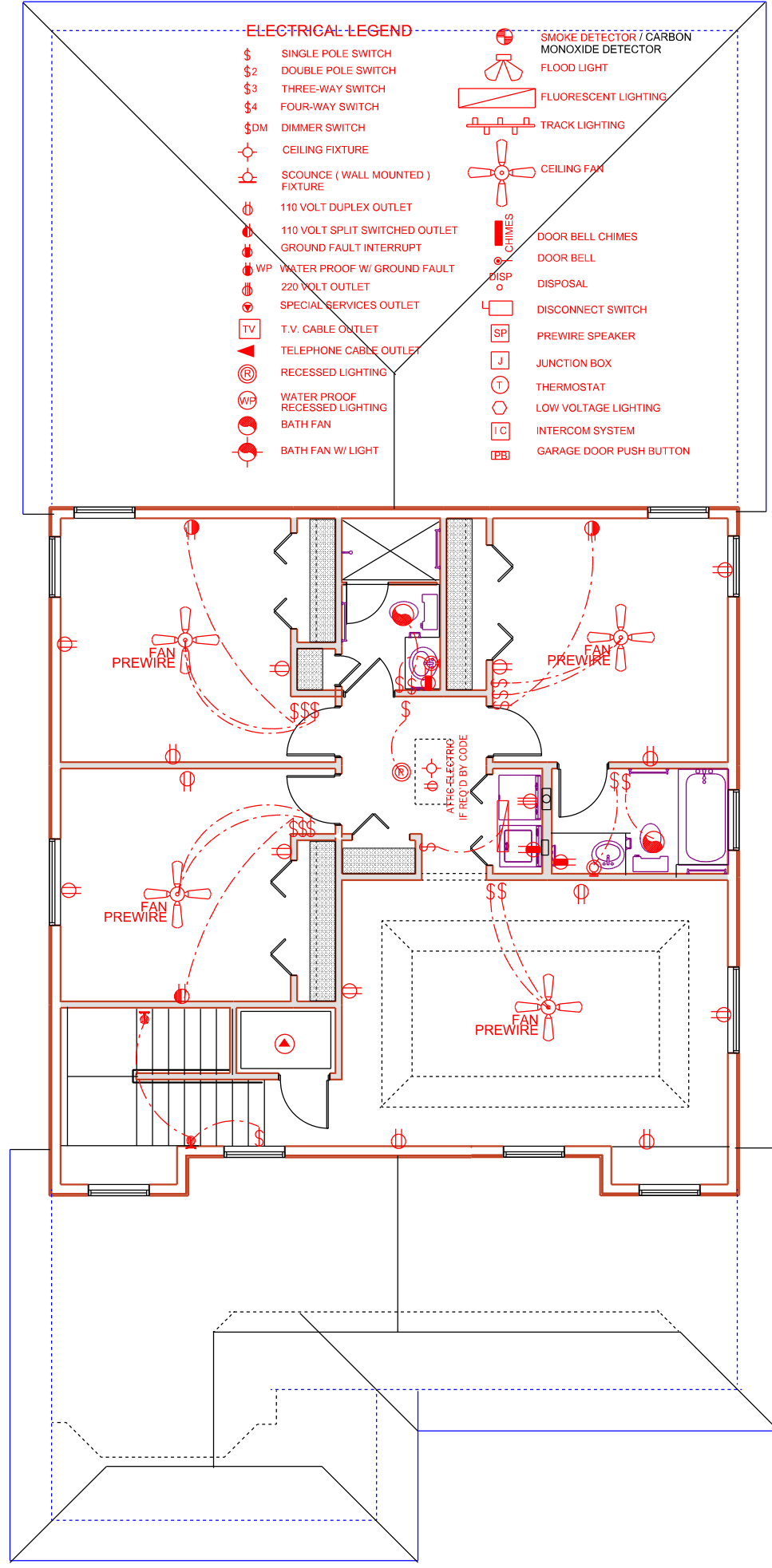
**DEEB FAMILY HOMES, LTD.**  
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**PLAN DATE**  
11-06-18  
11-12-18

**INVENTORY PROJECT**  
**LOT 4- 3 RD. ST. NO.**  
**SAFETY HARBOR, FL.**

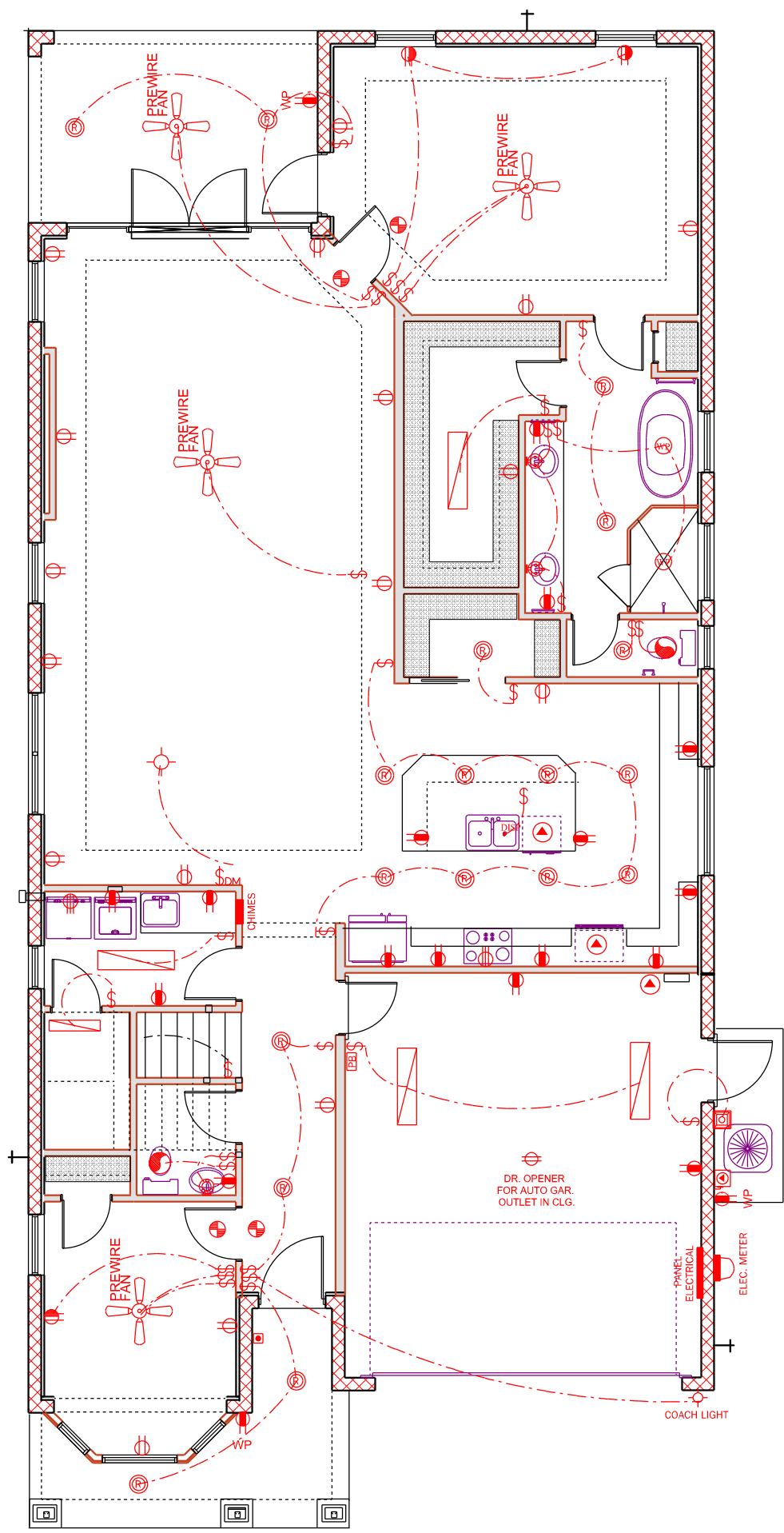
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UNLESS OTHERWISE NOTED  
 1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. ( GENERAL )  
 KITCHEN 42"  
 BATHROOM 42"  
 LAUNDRY 36" WASHER/24" DRYER/ WALL OUTLETS 45"  
 EXTERIOR WATERPROOF @ 12"  
 GARAGE GFI @ 45"  
 RANGE 220V @ 4"  
 2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE  
 3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.  
 5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, R314  
 6. PROVIDE AFCI ( ARC FAULT INTERRUPTERS ) IN ALL BEDROOMS PER NEC, SECTION 210-12  
 7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11



FIRST FLOOR ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

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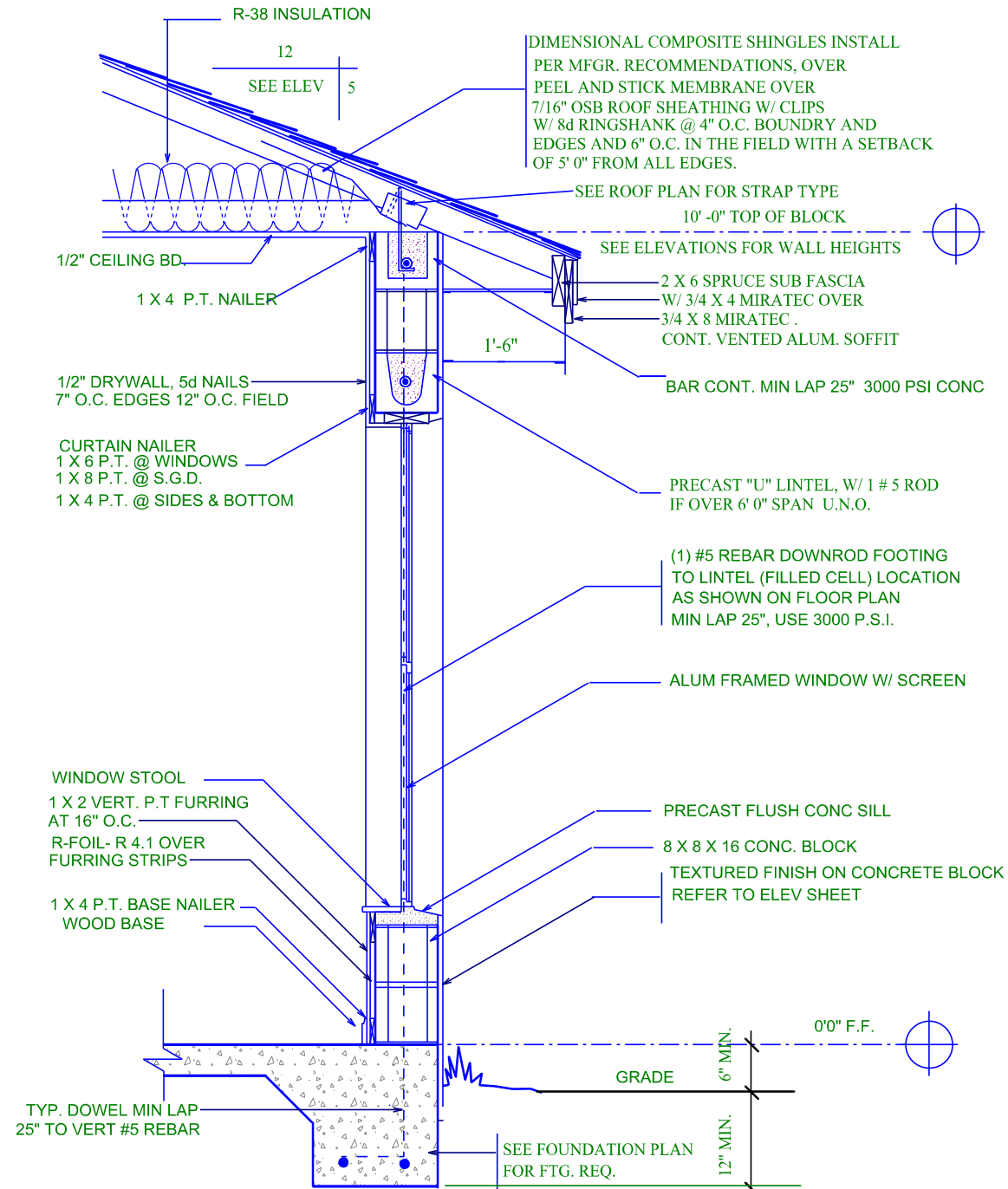
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7

**CONNECTOR TABLE**

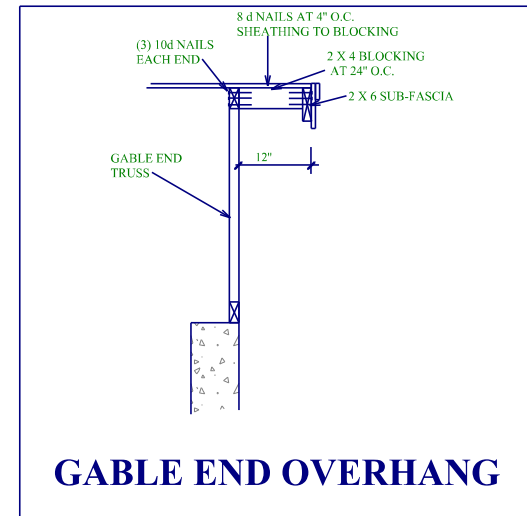
| SIMPSON        | FLORIDA PRODUCT NUMBERS PER INDEX 2-25-2011 |
|----------------|---|
| MBHA3.56/11.88 | 10896.12                                    |
| H2             | 10456.10                                    |
| H6             | 10456.16                                    |
| H10            | 10456.6                                     |
| LGT2           | 11470.6                                     |
| MGT            | 11470.7                                     |
| LSTA18         | 10852.4                                     |
| LSTA24         | 10852.4                                     |
| SP1            | 10456.41                                    |
| SP2            | 10456.42                                    |
| HTS20          | 10456.23                                    |
| HTS16          | 10456.22                                    |
| META16         | 11473.17                                    |
| L30            | 10446.11                                    |
| MSTAM24        | 11473.19                                    |
| MSTAM36        | 11473.19                                    |
| MSTCM60        | 11473.19                                    |
| CS16           | 10852.1                                     |
| SPH4           | 10456.46                                    |
| SPH6           | 10456.47                                    |
| HTT4           | 11496.2                                     |
| HTT5           | 11496.2                                     |
| ABU66          | 10849.6                                     |
| LEC4           | 11478.4                                     |



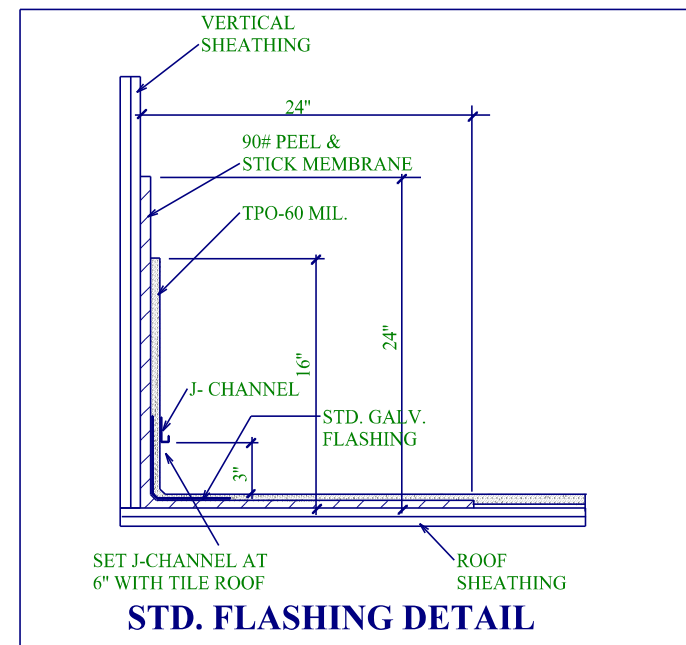
**TYPICAL WALL SECTION**

**TERMITE SPECIFICATIONS:**

INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS



**GABLE END OVERHANG**



**STD. FLASHING DETAIL**

**CONST. DETAILS**

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**10**

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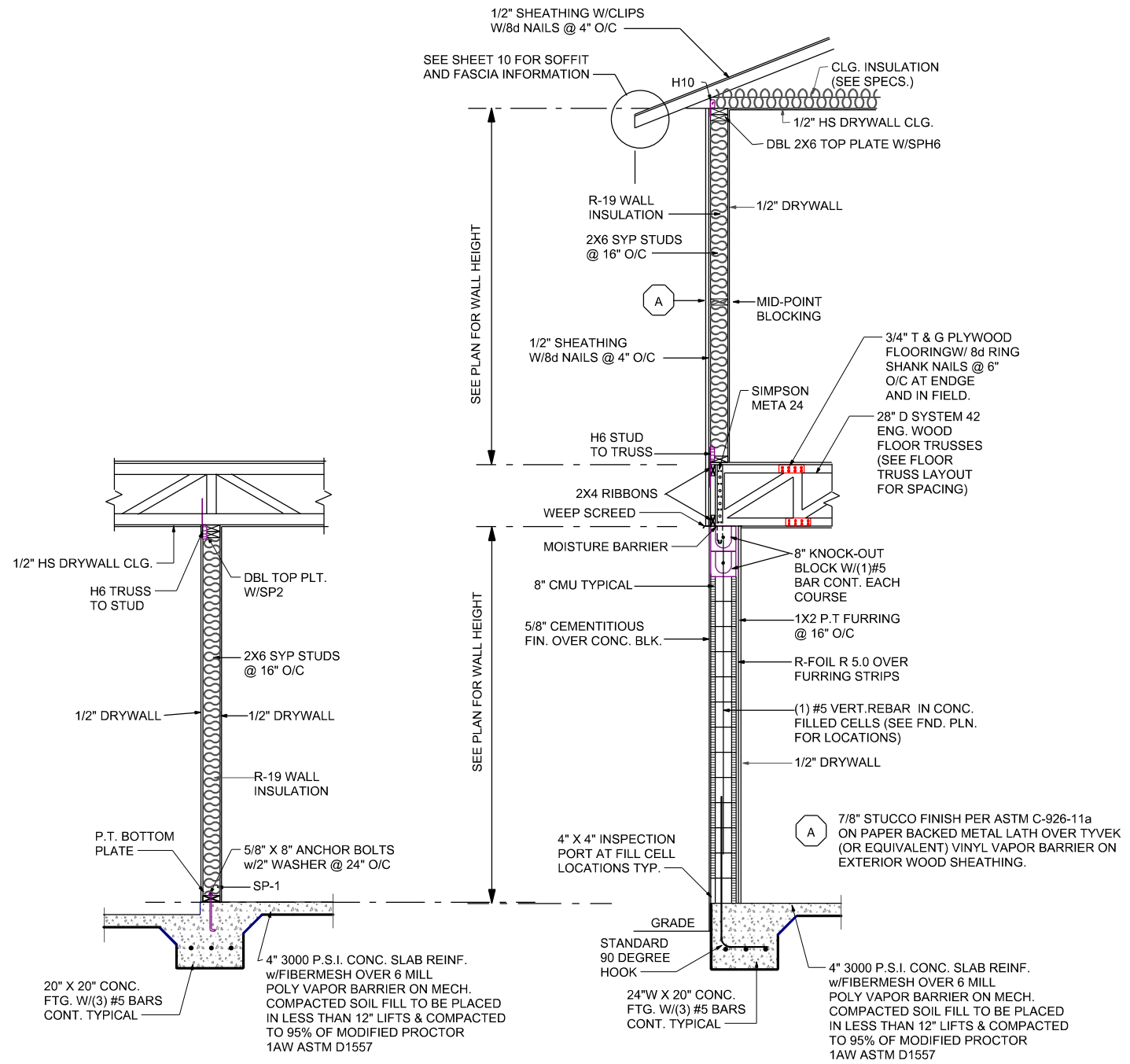
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2 2-STY INTER. FRAME BRNG. WALL  
FLOOR TRUSSES PARALLEL

1 TYP. 2-STORY WALL SECT.

TYPICAL TWO STORY WALL SECTION

A.E.C.S. 00000

MODEL 3135

10A

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