

- FOOTING LEGEND**
- 1 RECESSED 16" X 16" CONC. FTG. W/(2) #5 BARS CONT. BETWEEN COLUMN PADS
  - 2 24" X 24" X 20" CONC. PAD W/3 #5 REBARS EACH WAY
  - 3 30" X 30" X 20" DEEP CONC. FTG. W/(3) #5 BARS EACH WAY
  - 4 36" X 36" X 20" CONC. PAD W/4 #5 REBARS EACH WAY
  - 5 40" X 40" X 20" CONC. PAD W/#5 BARS AT 6" O.C EACH WAY
  - 6 48" X 48" X 20" D CONC. PAD W/#5 REBARS @ 6" O/C EACH WAY
  - 7 60" X 60" X 20" D CONC. PAD W/#5 REBARS @ 6" O/C EACH WAY

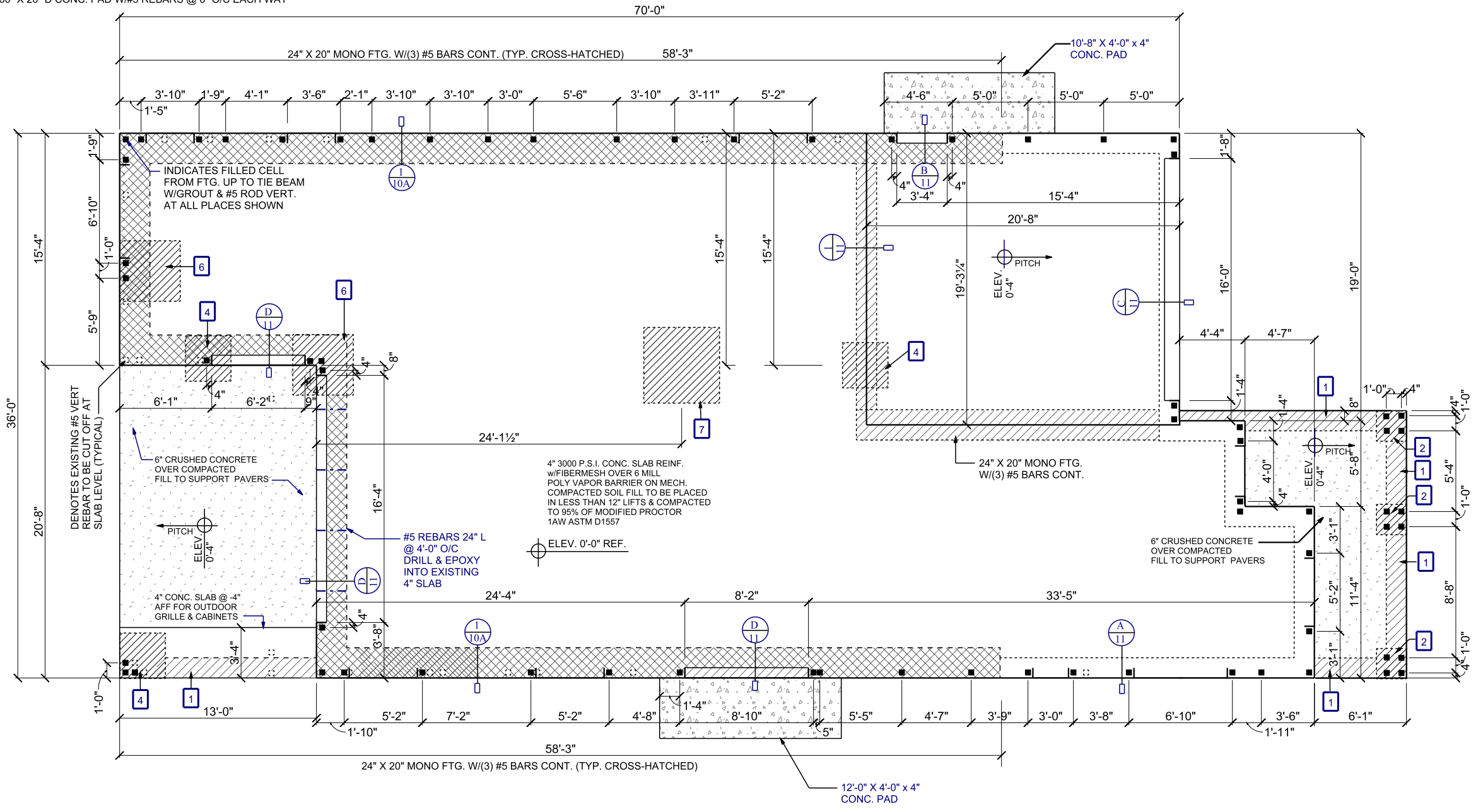
**TERMITE SPECIFICATIONS**  
 INSTALL 'BORA-CARE' TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

- NOTES**
- 1) NO SOILS INFORMATION PROVIDED. PRESUMED ALLOWABLE SOIL BEARING CAPACITY IS 2,000 P.S.F.
  - 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
  - 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
  - 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
  - 5) REFER TO STRUCTURAL ENGINEER NOTES.

DRIVEWAY SPEC:  
 DRIVEWAY NOT IN RIGHT OF WAY TO BE BRICK PAVERS.  
 DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT

**SEE SHEET 1A FOR FOUNDATION PLUMBING AND EXPANSION PLAN**

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB ON GRADE SHALL COMPLY WITH FBC SECT. 1911.2 (EXCEPTION 1)



**FOUNDATION PLAN**

SCALE: 1/8" = 1'-0"

A.E.C.S. #16084

PLAN 3762

1

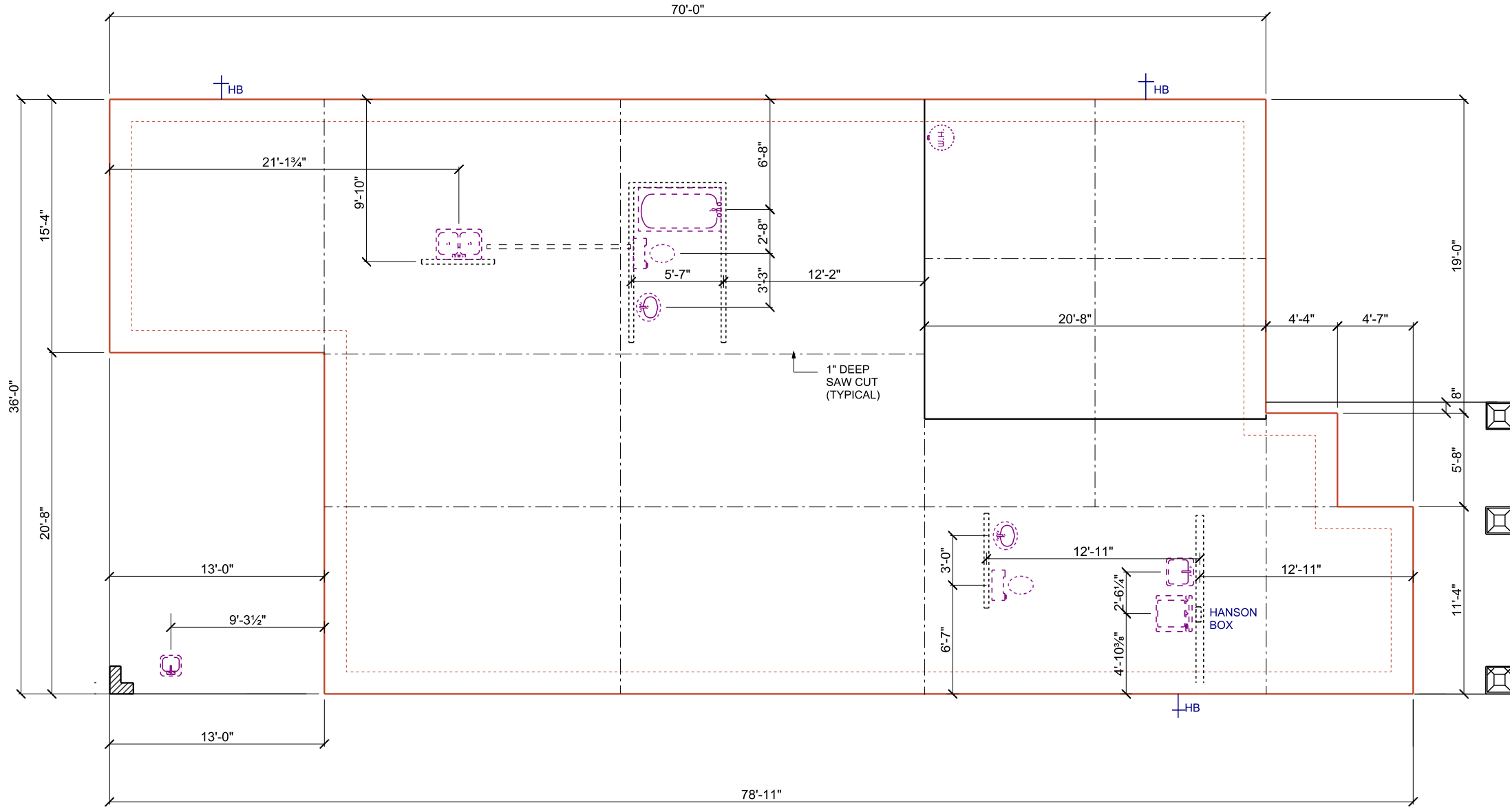
**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

PLAN DATE	
1.	02-16-2017
2.	03-03-2017

**LOT 17 SAFETY HARBOR**  
 354 HAMILTON AVENUE  
**1 & 2: REVISED PLANS FOR LOT 17**

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN AND CALCULATIONS IN ACCORDANCE WITH THE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE, SEALED FOR THE STRUCTURE ONLY.  
 SIGNED  
 RICHARD E. ALLEN P.E. #56920  
 richallenpe@gmail.com

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
**RICH ALLEN PROFESSIONAL ENGINEER**  
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**FOUNDATION PLUMBING & EXPANSION**

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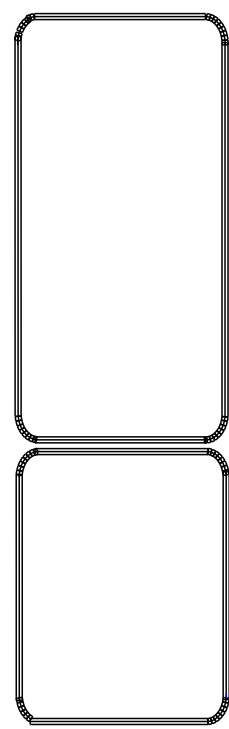
PLAN 3762

**1A**

**DEEB FAMILY HOMES, LTD.**  
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 NEW PORT RICHEY, FL. 34655

PLAN DATE
1. 02-16-2017
2. 03-03-2017

**LOT 17**  
**SAFETY HARBOR**  
 354 HAMILTON AVENUE  
 1 & 2: REVISED PLANS FOR LOT 17



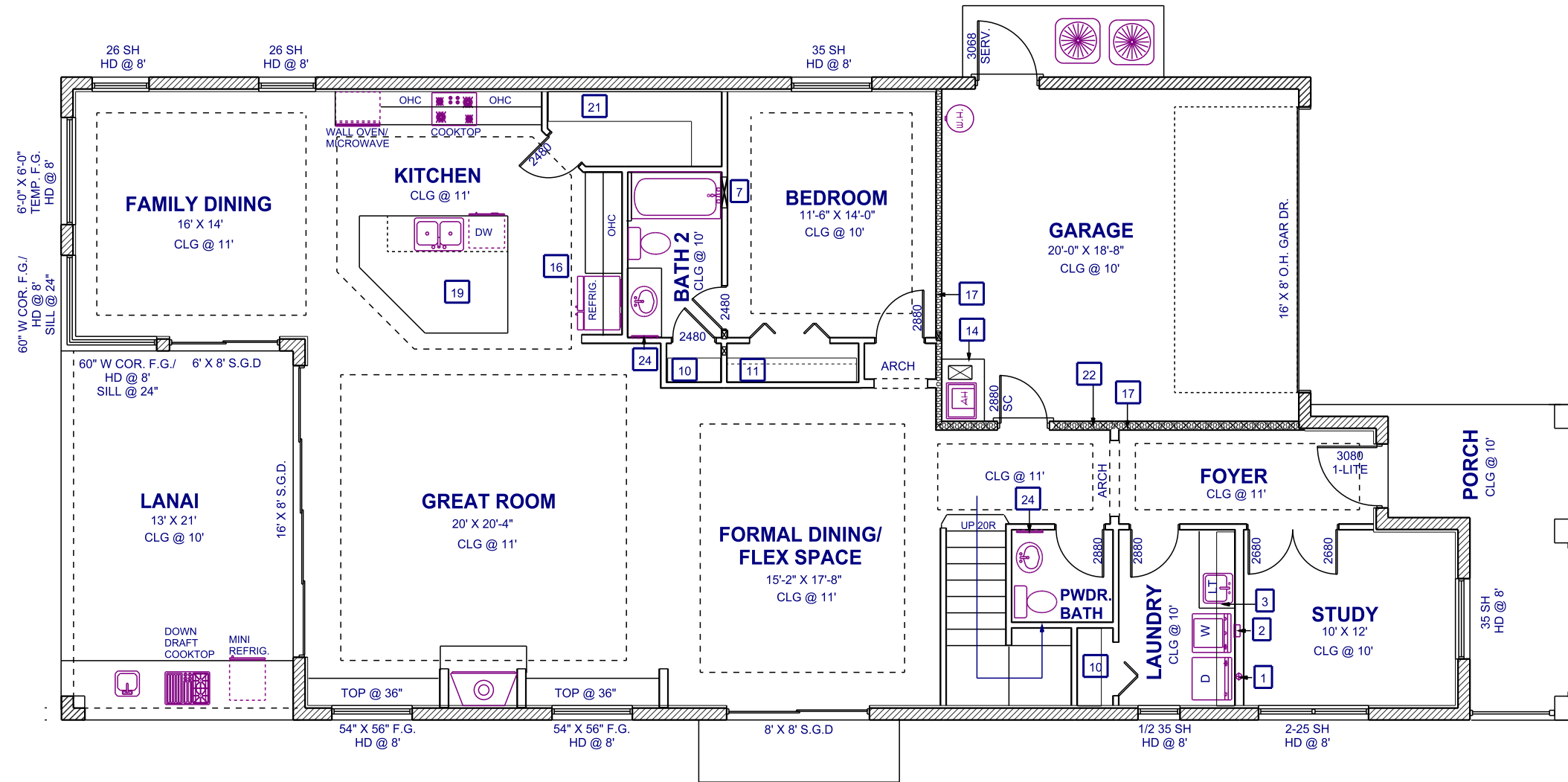
**FLOOR PLAN NOTES**

- 1 DRYER VTR IN 6" WALL
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF

- 12 TOP OF BAR @ 42" AFF
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 14 AIR HANDLER UNIT ON PLATFORM
- 15 AREA OF A/C TRUSSES
- 16 INSTALL 1/4" WATER LINE FOR ICEMAKER
- 17 R-13 BATT INSULATION
- 18 16" W X 6" D FIREPLACE COLUMNS TYP.
- 19 COUNTERTOP @ 36" AFF/OPEN BELOW
- 20 2850 TEMPERED F.G. HD @ 8' AFF
- 21 (4) 20" SHELVES
- 22 LOAD BEARING WALL
- 23 CHIMNEY CHASE
- 24 MEDICINE CABINET

**SQUARE FOOTAGES**

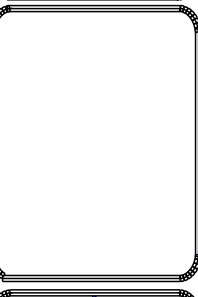
MAIN FLR. LIVING AREA:	1976 S.F.
2ND FLR. LIVING AREA:	1786 SF
TOTAL LIVING AREA:	3762 SF
GARAGE:	398 S.F.
2ND FLR COV. DECK	200 S.F.
LANAI:	268 S.F.
ENTRY:	134 SF
TOTAL:	4762 SF



NOTED FLOOR PLAN

SCALE: 1/8" = 1'-0"

PLAN 3762



LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2- REVISED PLANS FOR LOT 17

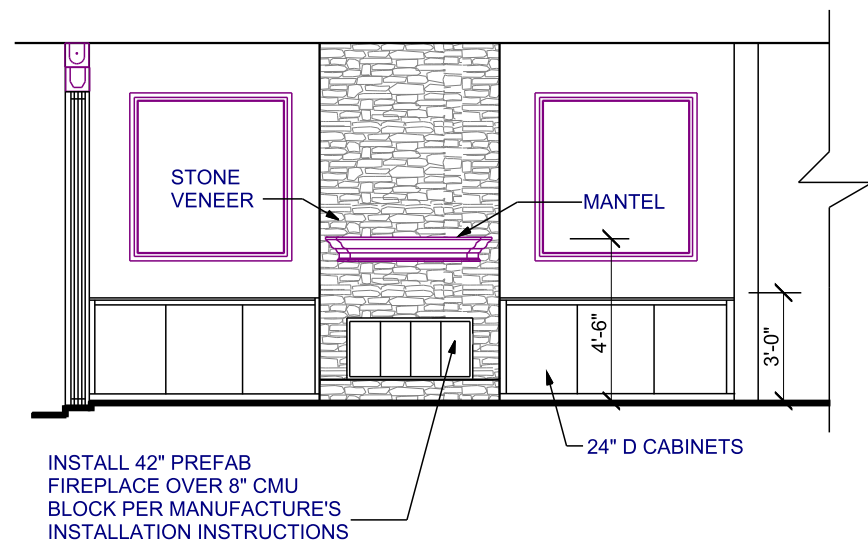
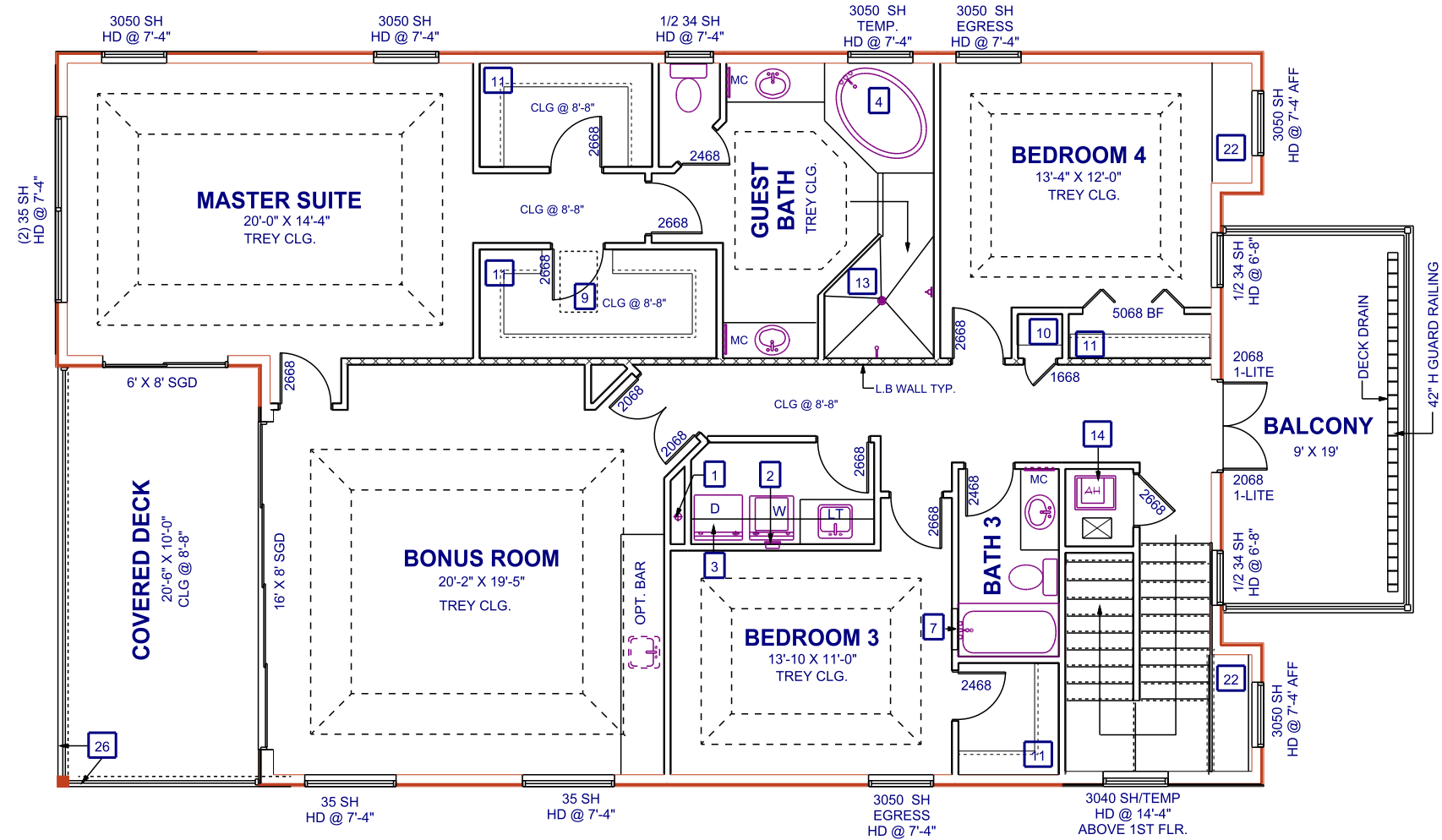
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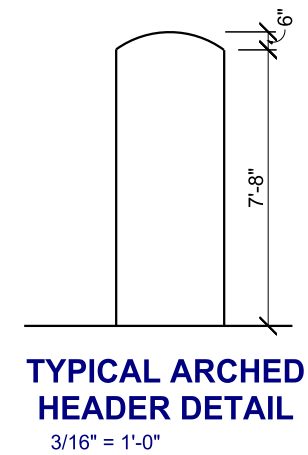


**FLOOR PLAN NOTES**

- 1 DRYER VTR IN WALL CHASE
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF
- 12 TOP OF BAR @ 42" AFF
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 14 AIR HANDLER UNIT ON PLATFORM
- 15 AREA OF A/C TRUSSES
- 16 INSTALL 1/4" WATER LINE FOR ICEMAKER
- 17 R-13 BATT INSULATION
- 18 16" W X 6" D FIREPLACE COLUMNS TYP.
- 19 2X CHASE FRAMING FOR GRILLE VENT BELOW
- 20 2850 TEMPERED F.G. HD @ 8' AFF
- 21 (4) 20" SHELVES
- 22 WINDOW SEAT
- 23 STAIR RAIL (SEE DETAIL)
- 24 CHIMNEY CHASE
- 25 RECESSED WALL NICHE: TOP @ 42" AFF  
W/WALL BELOW, HEAD @ 7' AFF
- 26 42"H GUARDRAIL



**FAMILY ROOM WALL ELEVATION**  
3/16" = 1'-0"

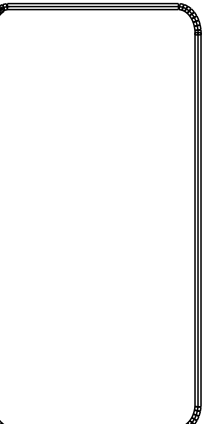


**TYPICAL ARCHED HEADER DETAIL**  
3/16" = 1'-0"

PLAN 3762

SCALE: 1/8" = 1'-0"

NOTED 2ND FLOOR PLAN

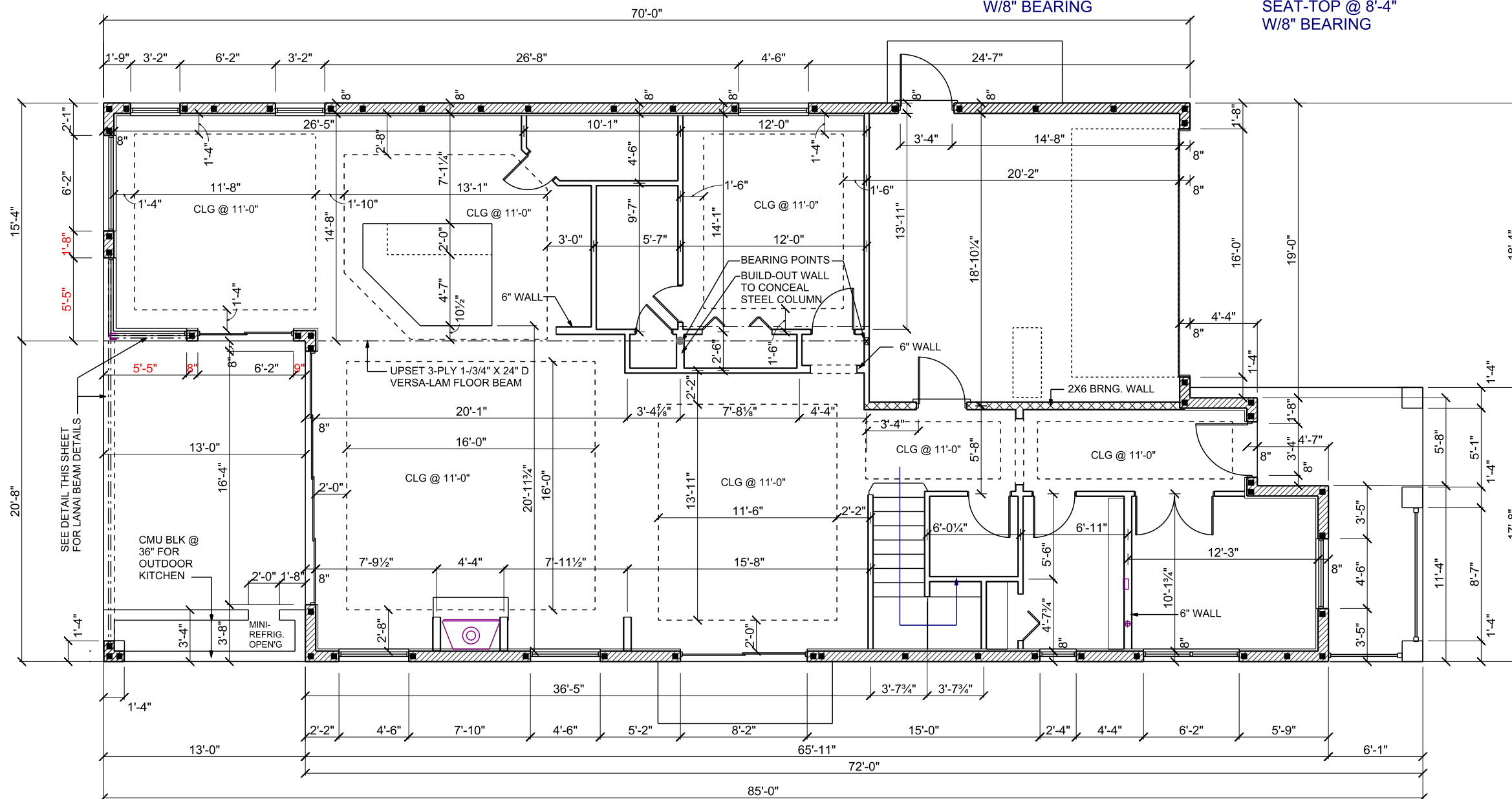
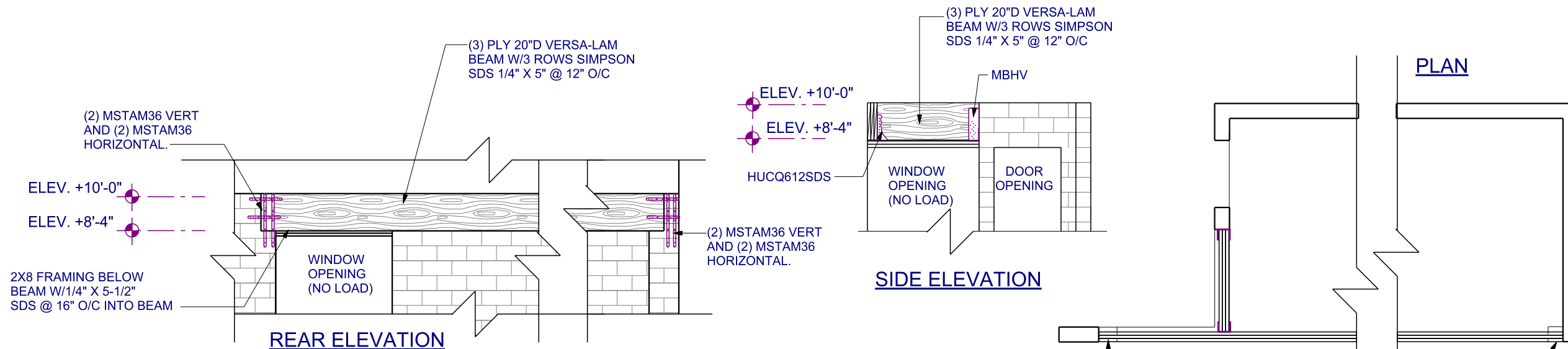


LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

PLAN DATE	
1. 02-16-2017	
2. 03-03-2017	

DEEB FAMILY  
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9400 RIVER CROSSING BLD.  
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**2A**



**PLAN 3762**

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
 RICH ALLEN PROFESSIONAL ENGINEER  
 P.E. #56920 C.A. #9542  
 NEW PORT RICHEY, FL 34654  
 727-842-6100  
 richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN AND CALCULATIONS FOR THE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE, SEALED FOR THE STRUCTURE ONLY.

SIGNED  
 RICHARD E. ALLEN P.E. #56920

**A.E.C.S. #16084**

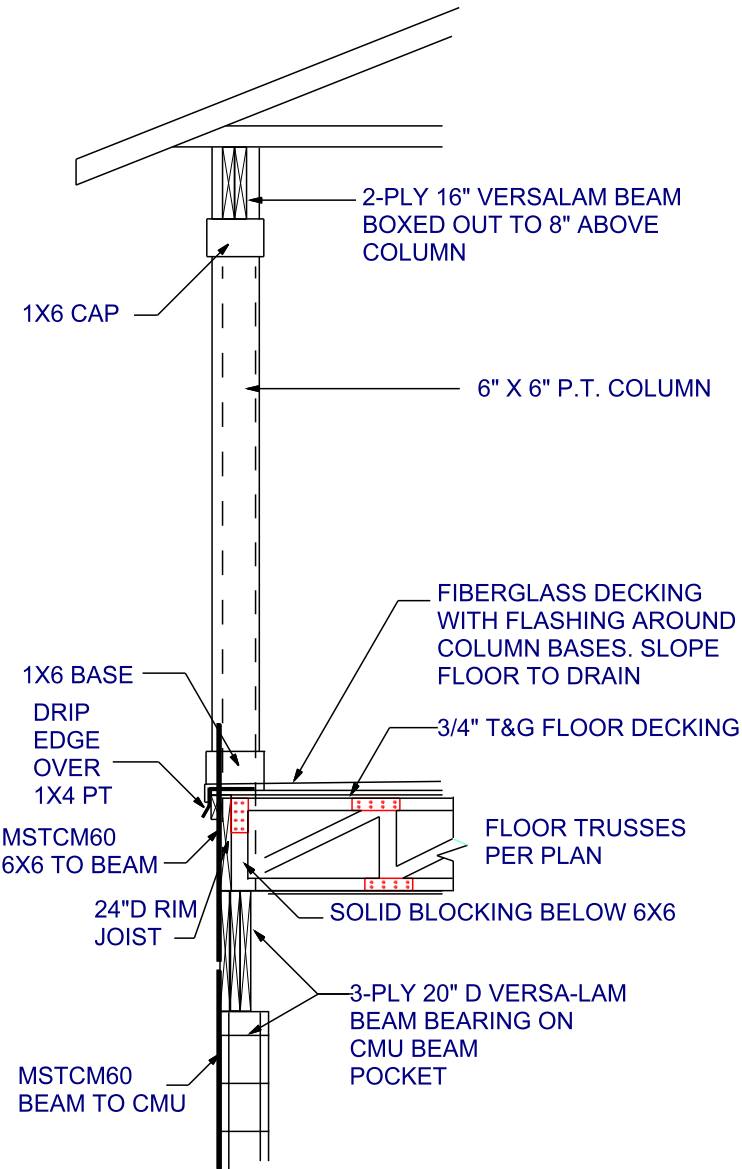
**LOT 17**  
**SAFETY HARBOR**  
 354 HAMILTON AVENUE  
**1 & 2: REVISED PLANS FOR LOT 17**

PLAN DATE

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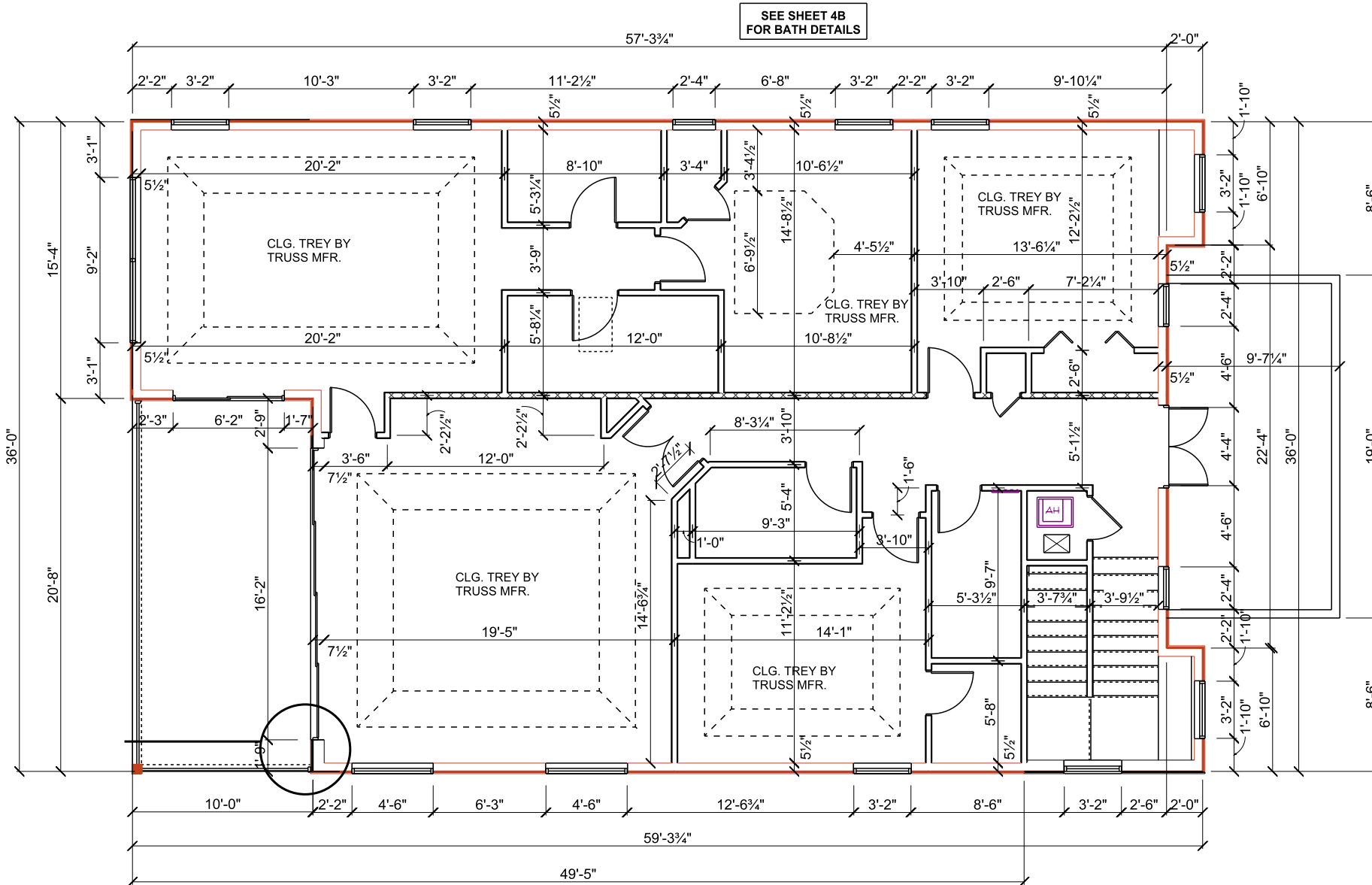
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 NEW PORT RICHEY, FL. 34655

**3**



**PORCH COLUMN DETAIL**

3/8" = 1'-0"



PLAN 3762

A.E.C.S. #16084

SECOND FLOOR DIMENSIONED FLOOR PLAN SCALE: 1/8" = 1'-0"

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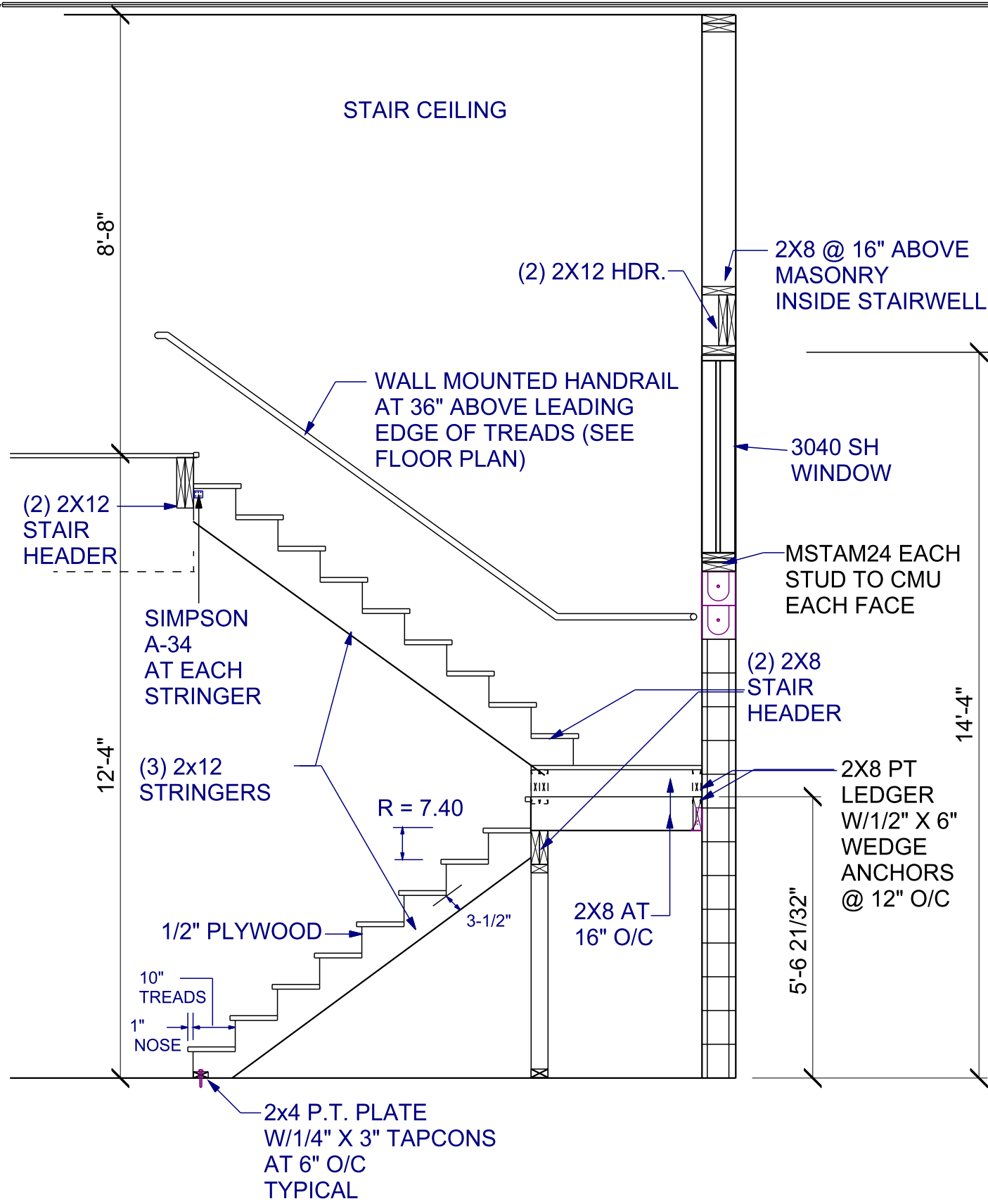
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 145 MPH ULTIMATE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.  
 SIGNED: RICHARD E. ALLEN P.E. #56920

LOT 17  
**SAFETY HARBOR**  
 354 HAMILTON AVENUE  
 T & 2: REVISED PLANS FOR LOT 17

PLAN DATE
1.02-16-2017
2.03-03-2017

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**3A**

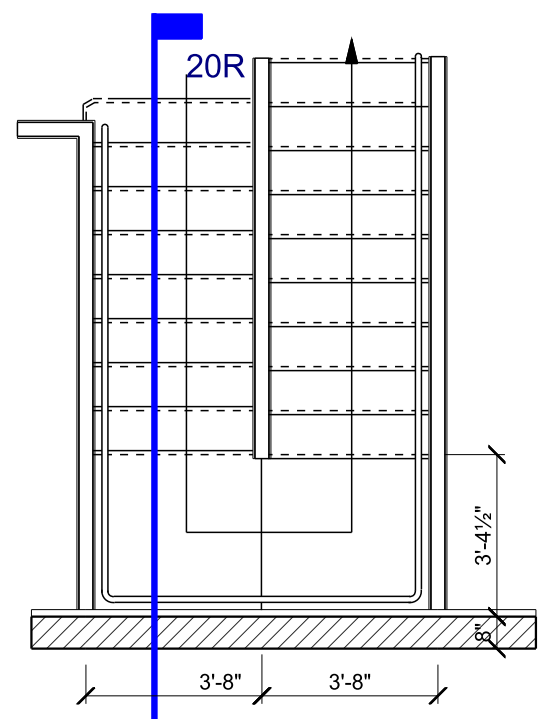
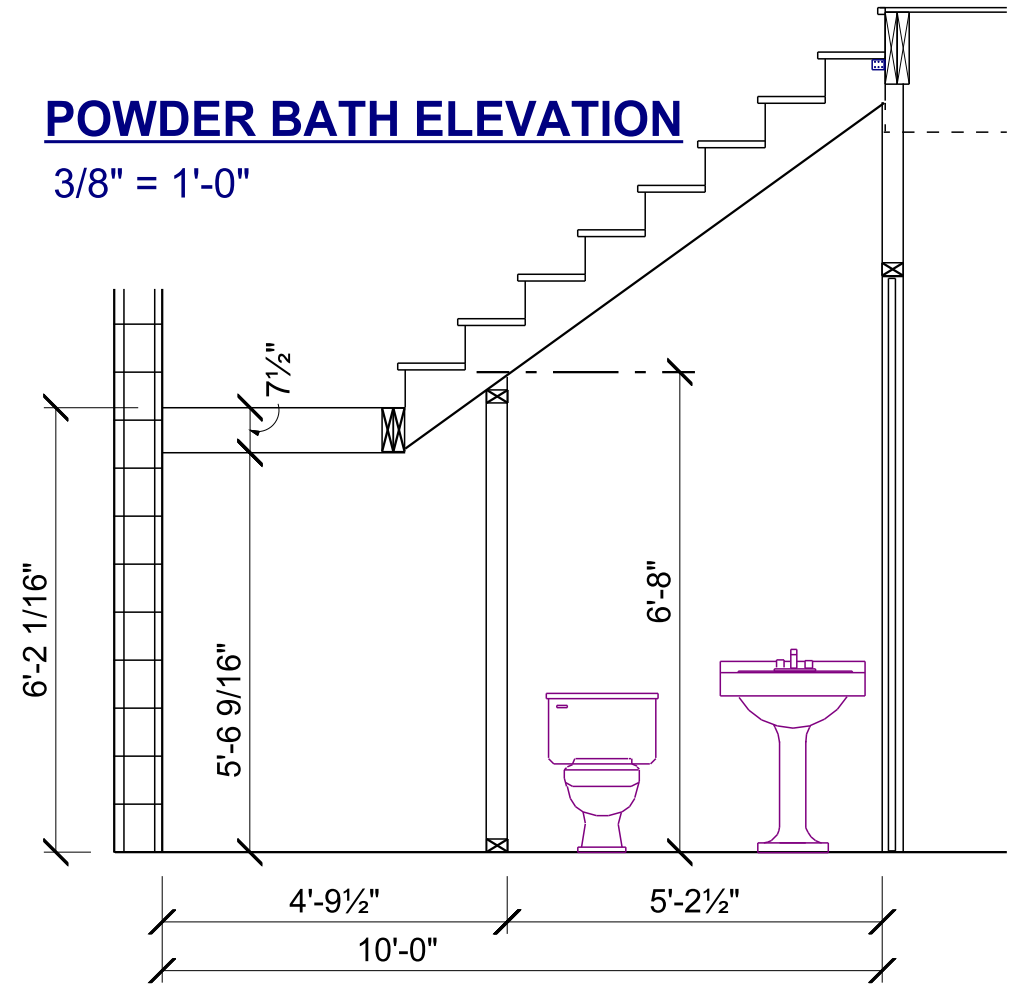


**STAIR SECTION 'A-A'**

3/8" = 1'-0"

**POWDER BATH ELEVATION**

3/8" = 1'-0"



**STAIR PLAN**

1/4" = 1'-0"

PLAN DETAILS

SCALE: PER DRAWING

A.E.C.S. #16084

PLAN 3762

**3B**

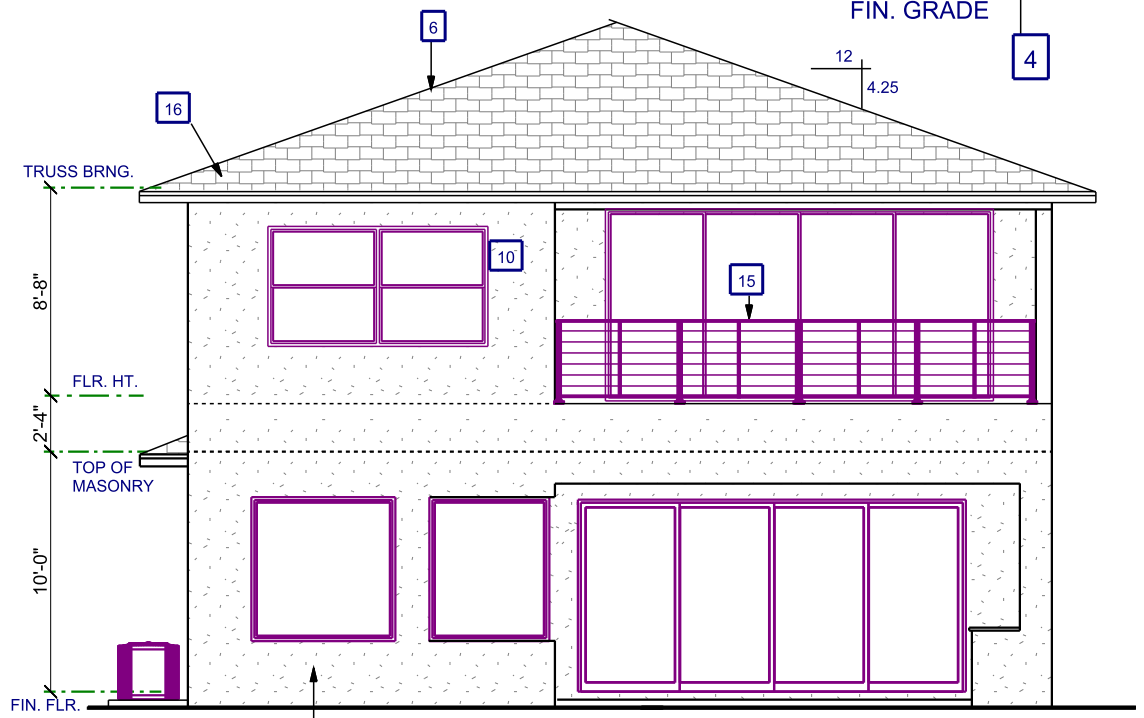
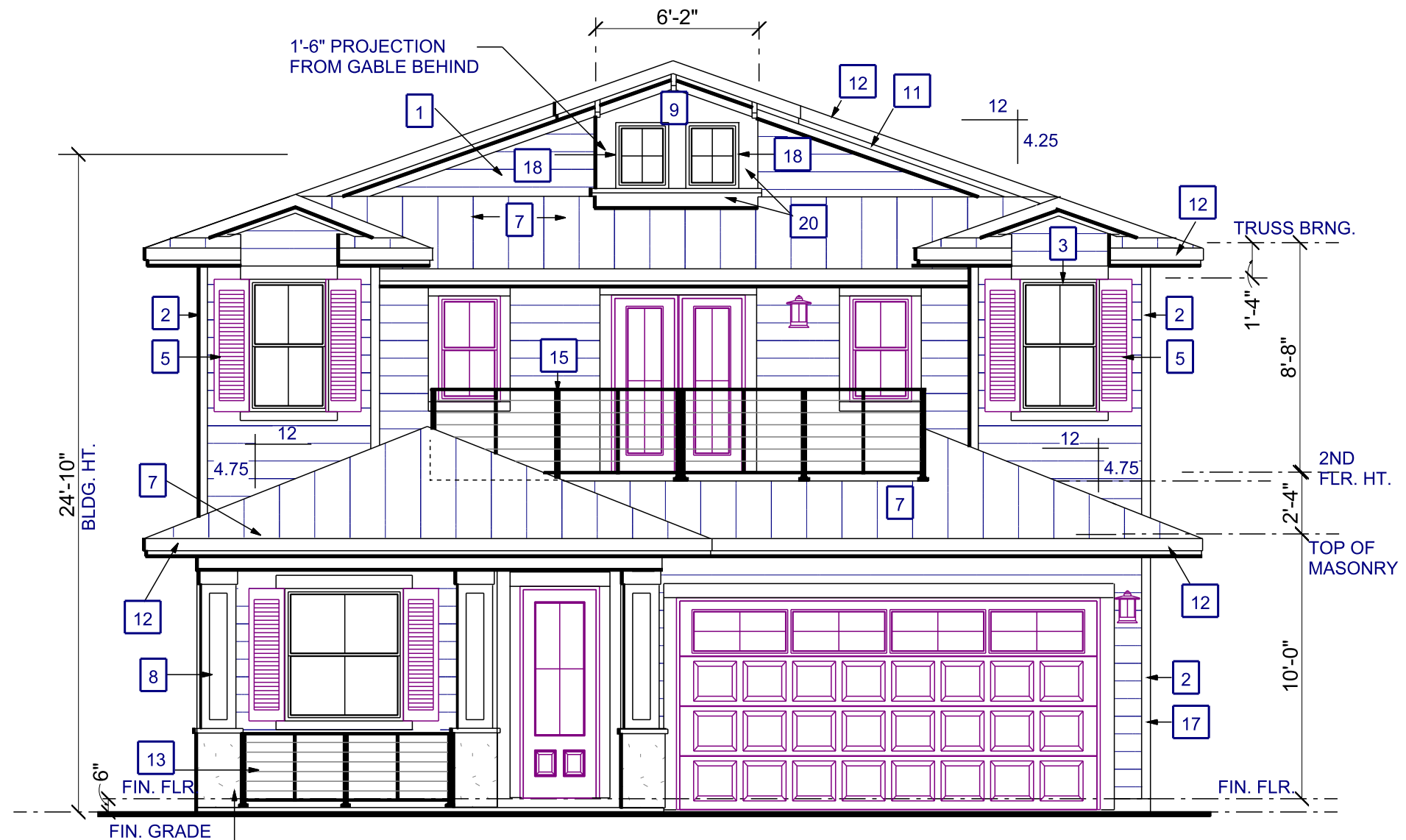
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NEW PORT RICHEY, FL. 34655

PLAN DATE
1. 02-16-2017
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LOT 17  
**SAFETY HARBOR**  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

I HEREBY CERTIFY THAT I HAVE PREPARED THE ABOVE DESIGN TO COMPLY WITH ALL APPLICABLE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE, SEALED FOR THE STRUCTURE ONLY.  
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**REAR ELEVATION**

**FRONT ELEVATION**

3/16" = 1'-0"

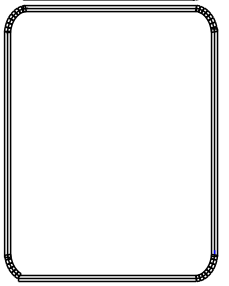
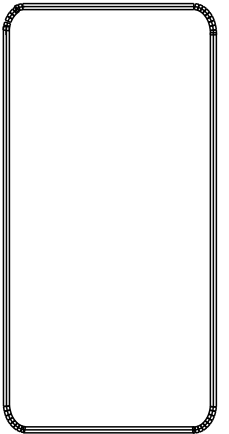
**ELEVATION NOTES**

- 1 HORIZONTAL 8" LAP CEMENT BOARD SIDING
- 2 CEMENT BOARD CORNER TRIM
- 3 4" CEMENT BOARD TRIM
- 4 5/8" STUCCO OVER CMU
- 5 16" W PLASTIC DECORATIVE WINDOW SHUTTERS
- 6 DIMENSIONAL FIBERGLASS SHINGLES
- 7 5V CRIMP GALV. METAL ROOF OVER 5/8" OSB WITH 'PEEL AND STICK' TYPE SWB
- 8 14" SQ. CEMENT BOARD COLUMN BUILD-OUT W/4" CEMENT BOARD CORNER TRIM (4) SIDES
- 9 DECORATIVE PLASTIC BRACKET (SEE DETAIL THIS SHEET)
- 10 7/8" STUCCO FINISH PER ASTM C-926-11a ON PAPER BACKED METAL LATH OVER TYVEK (OR EQUIVALENT) VINYL VAPOR BARRIER ON EXTERIOR WOOD SHEATHING
- 11 CEMENT BOARD FRIEZE W/4" REVEAL
- 12 3-LAYER FASCIA
- 13 PRE-FAB DECO METAL PORCH RAILING
- 14 8" CEMENT BOARD FRIEZE
- 15 42" H METAL GUARD RAILING
- 16 2-LAYER FASCIA
- 17 8" HORIZ. LAP CEMENT BOARD SIDING W/P.T FURRING @ 16" O/C OVER CMU
- 18 24" X 30" FIXED GLASS (BLACKED OUT)
- 19 24" X 24" FIXED GLASS (BLACKED OUT)
- 20 CEMENT BOARD TRIM TYP.

PLAN 3762

SCALE: 1/8" = 1'-0"

FRONT AND REAR ELEVATIONS



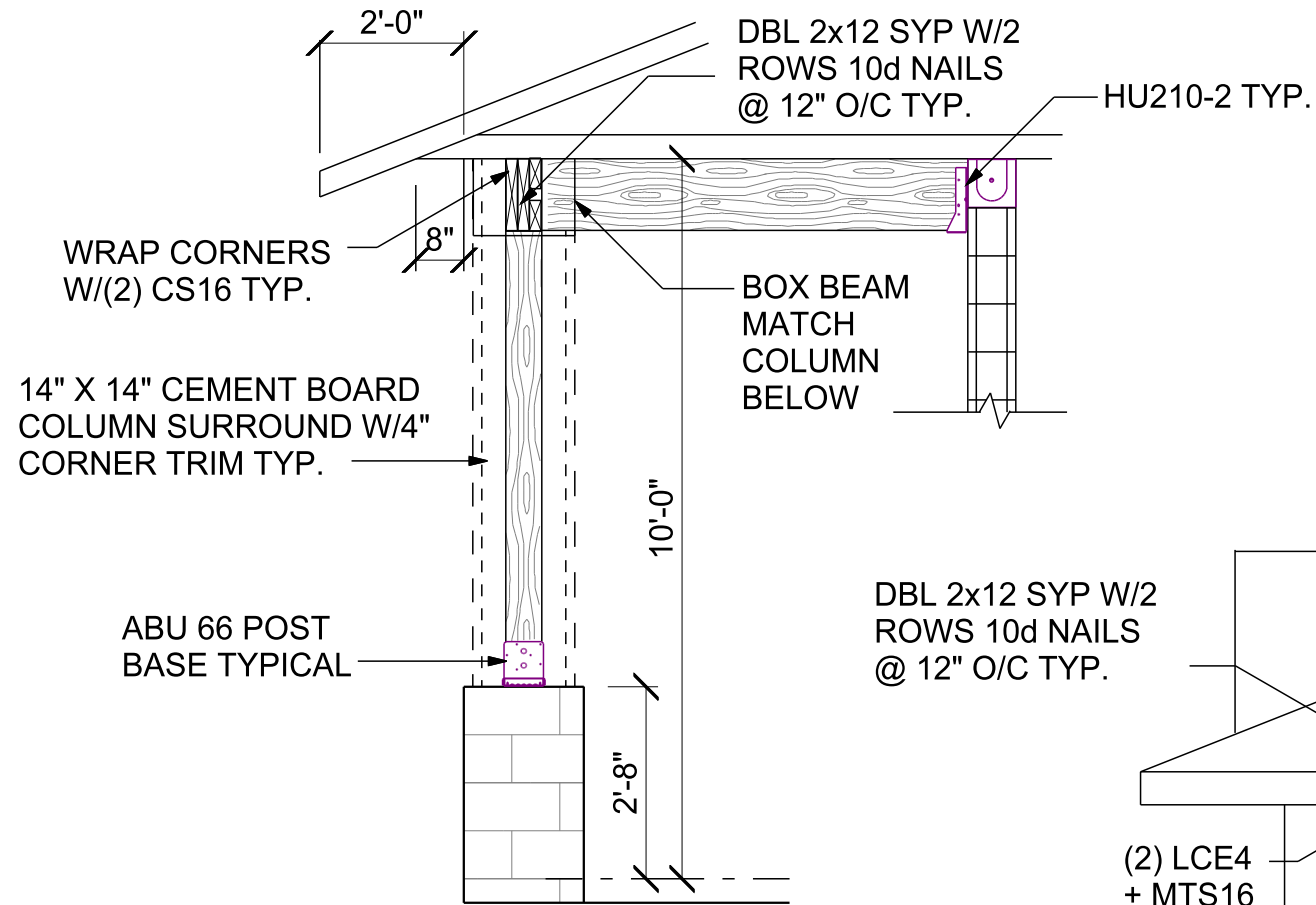
LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2- REVISED PLANS FOR LOT 17

PLAN DATE	
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**'AA/4A' SECTION AT COLUMN**

NOTE: ALL NON STRUCTURAL LUMBER IS TO BE SOUTHERN PINE FIR U.N.O.

DBL 2x12 SYP W/2 ROWS 10d NAILS @ 12" O/C TYP.

(2) LCE4 + MTS16  
6" X 6" P.T. POST TYP.

ABU 66 POST BASE TYPICAL W/ 5/8" X 6" WEDGE ANCHORS

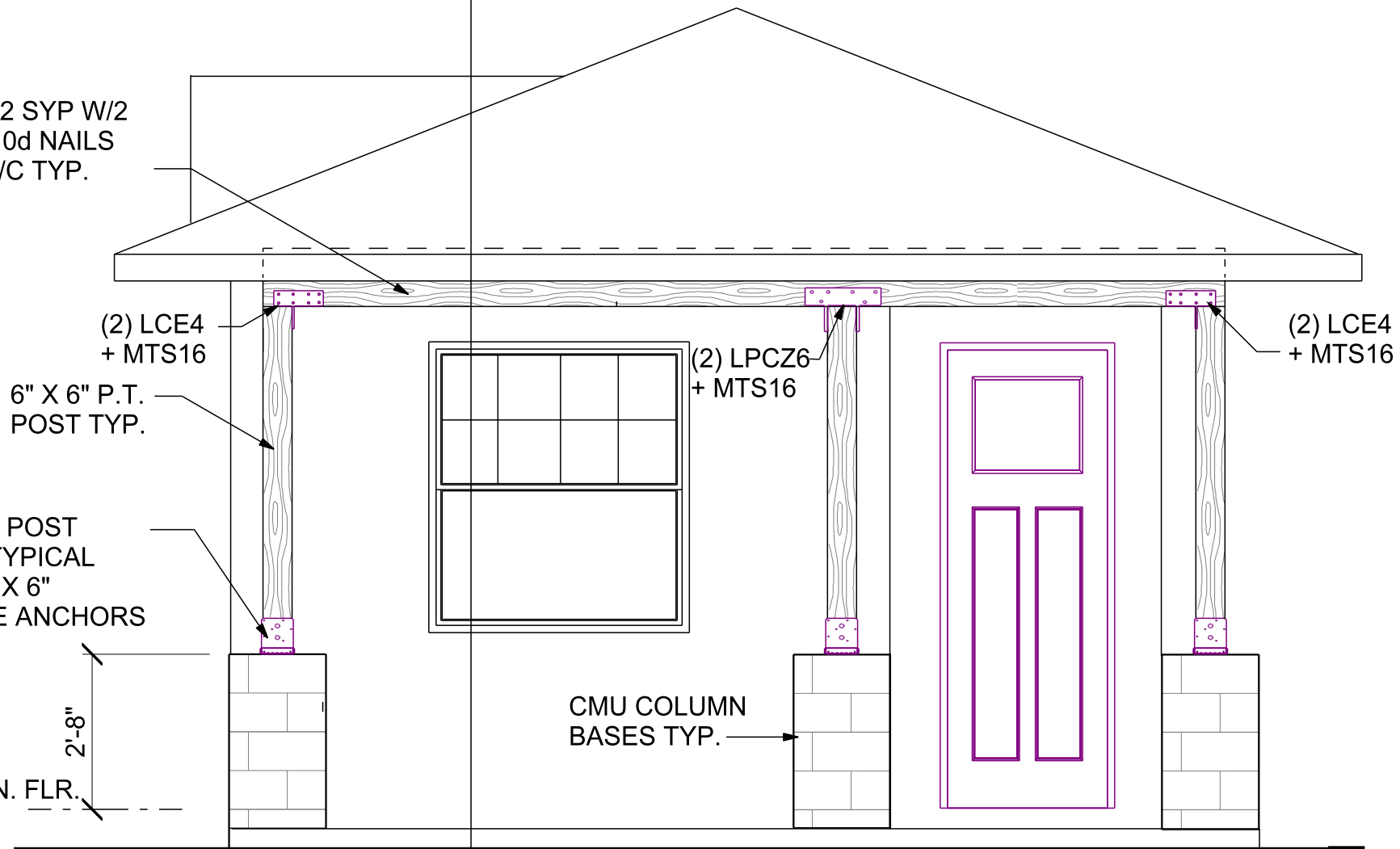
2'-8"  
FIN. FLR.

1'-8"

AA  
4A

**NAILING SCHEDULE**

- SP1: 4- 10d TO PLATE  
6 -10d TO STUD
- H10: 8-8d X 1 1/2" TO TRUSS & TOP PLATE
- H2: 5-8d
- META16: 6-16d
- CS16: 20-10d
- HTS20: 20-10d
- MSTAM36: 4-1/4" x 1 3/4" TAPCONS



**PORCH COLUMN ELEVATION**

PLAN 3762

A.E.C.S. #16084

SCALE: 3/8" = 1'-0"

PORCH COLUMN DETAILS

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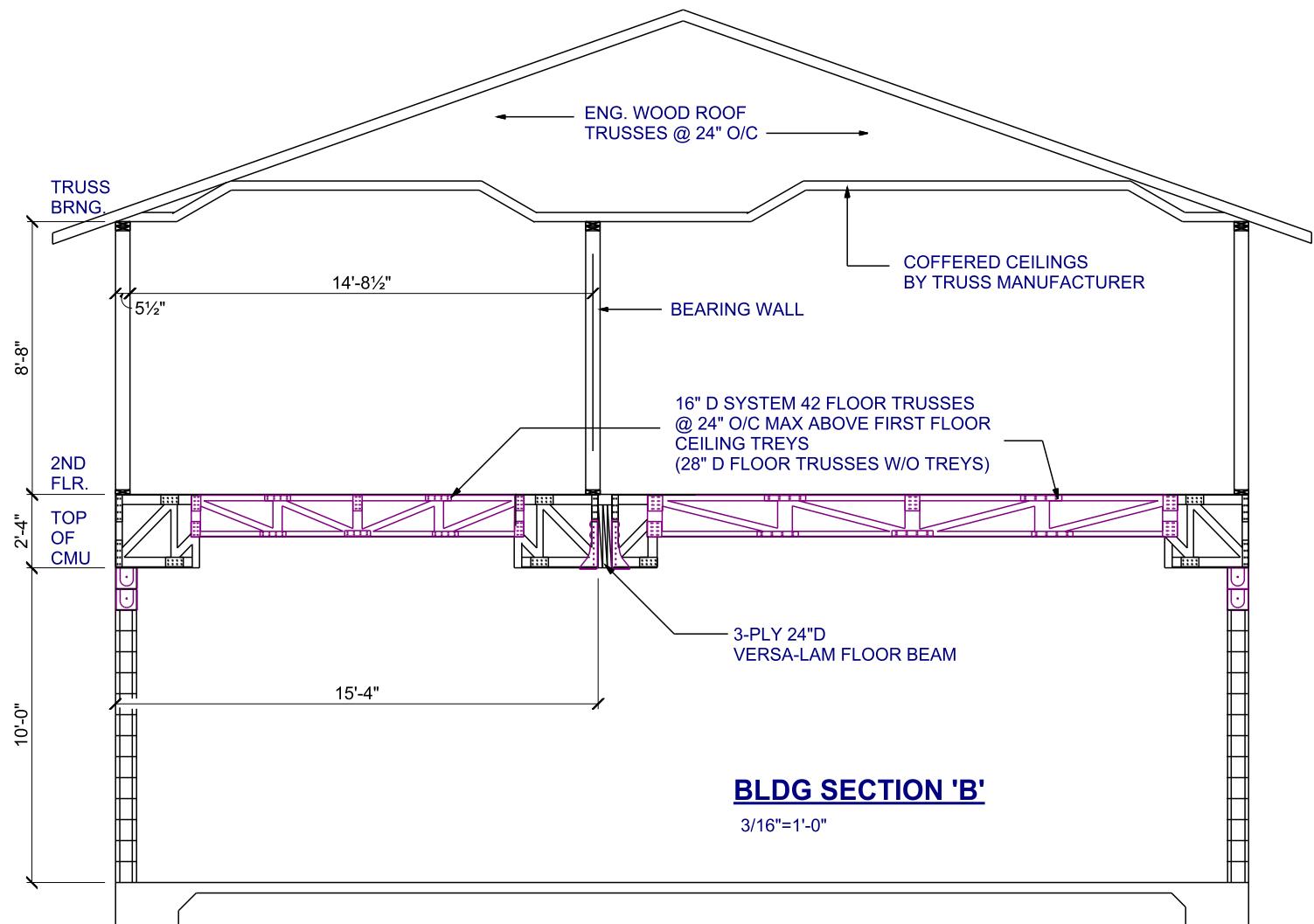
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LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
T & Z: REVISED PLANS FOR LOT 17

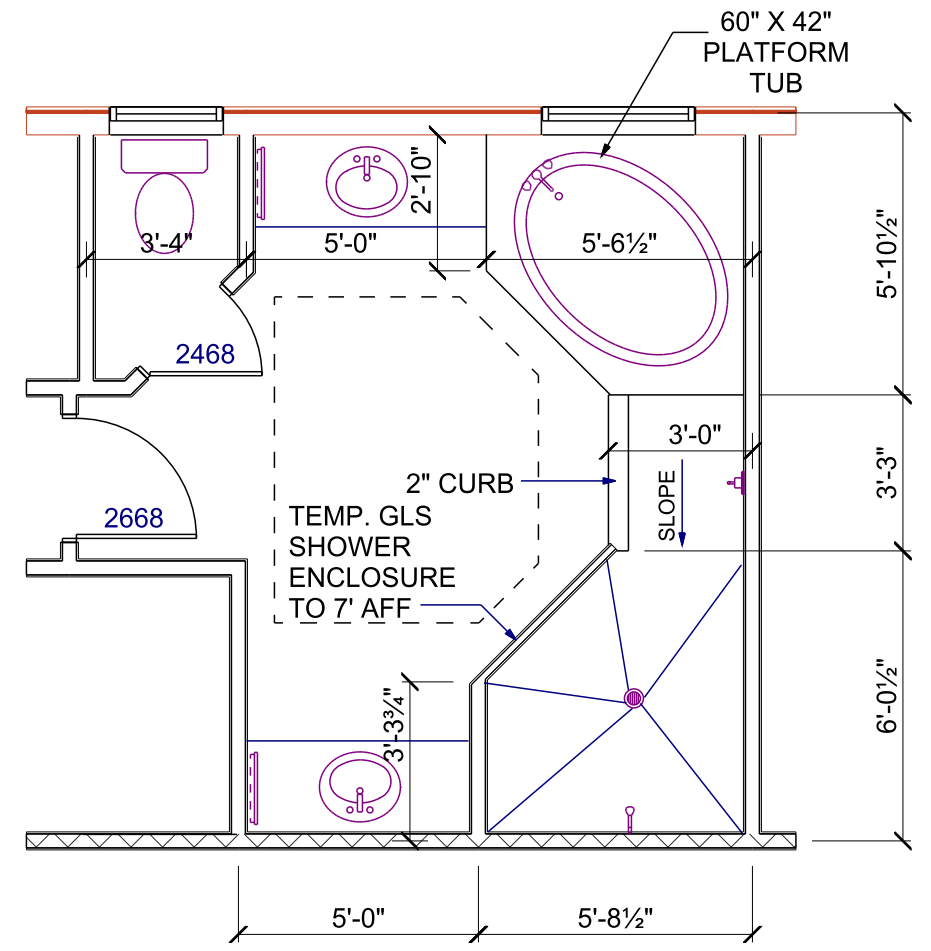
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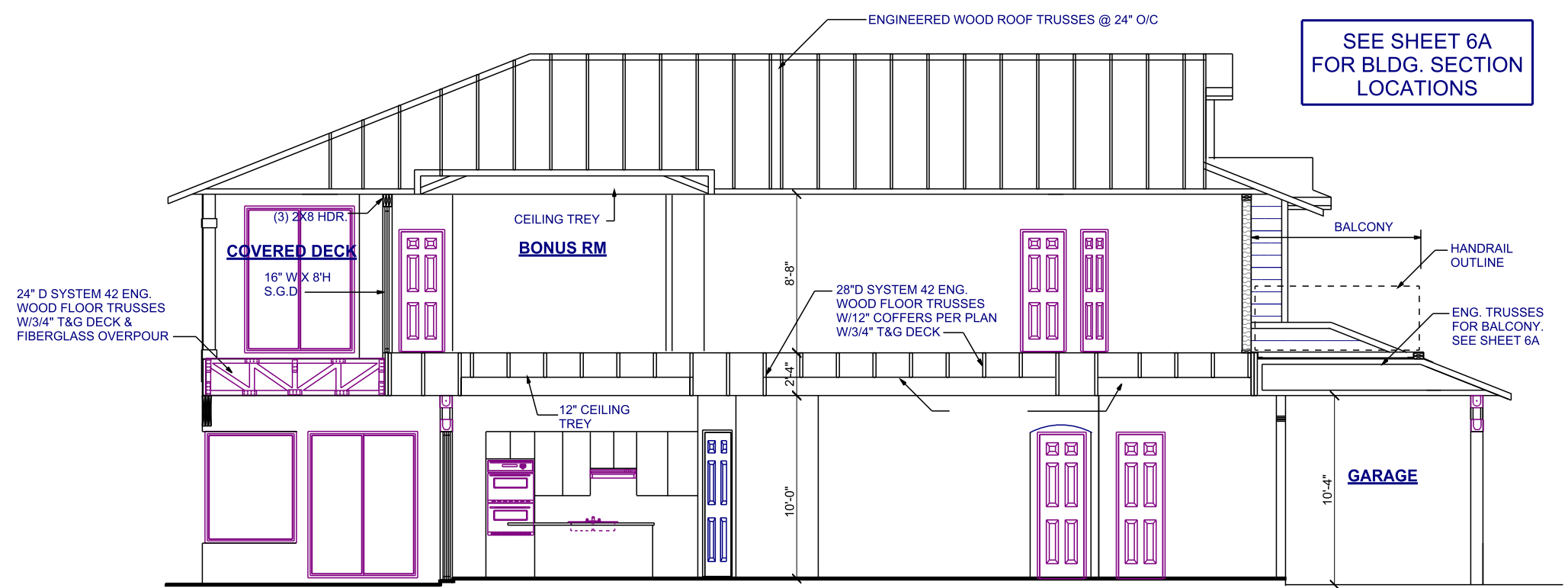
4A



**BLDG SECTION 'B'**  
3/16"=1'-0"



**MASTER BATH PLAN**  
1/4" = 1'-0"



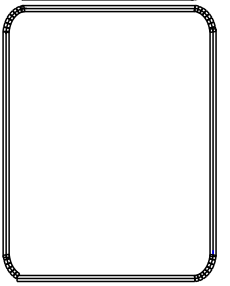
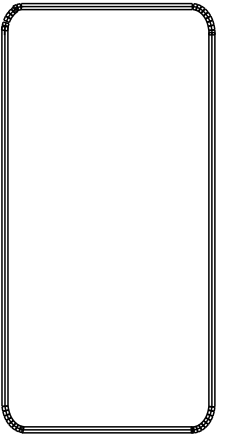
**BUILDING SECTION 'A'**

SEE SHEET 6A  
FOR BLDG. SECTION  
LOCATIONS

PLAN 3762

SCALE: 1/8" = 1'-0"

BUILDING SECTION

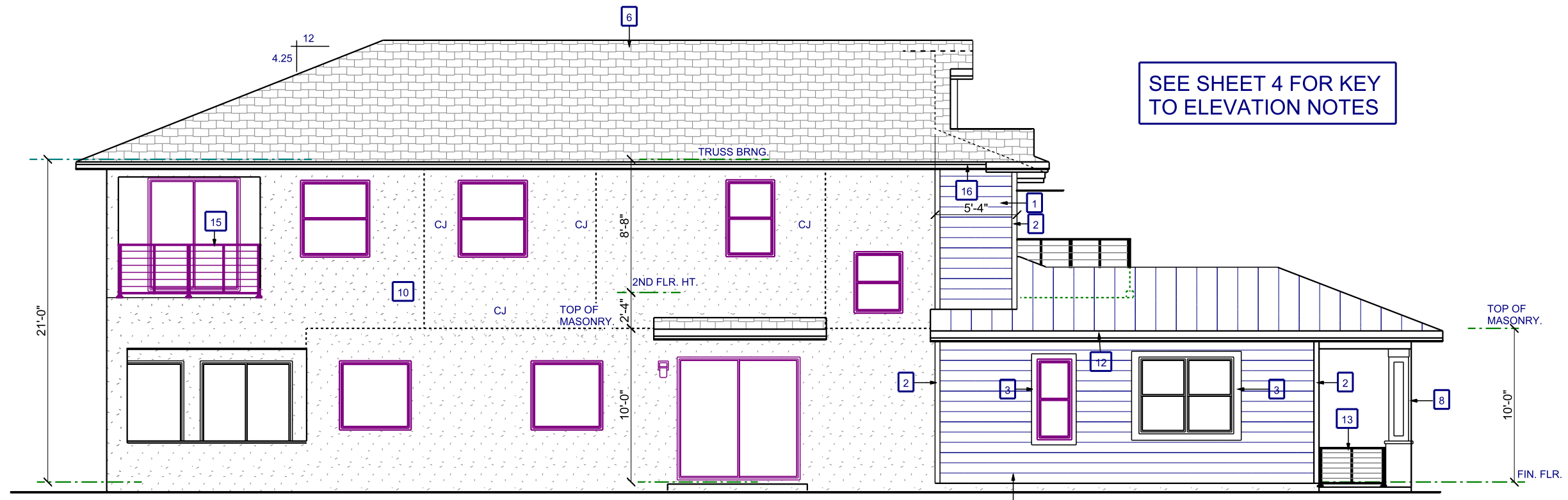


LOT 17  
SAFETY HARBOR  
364 HAMILTON AVENUE  
1 & 2-REVISED PLANS FOR LOT 17

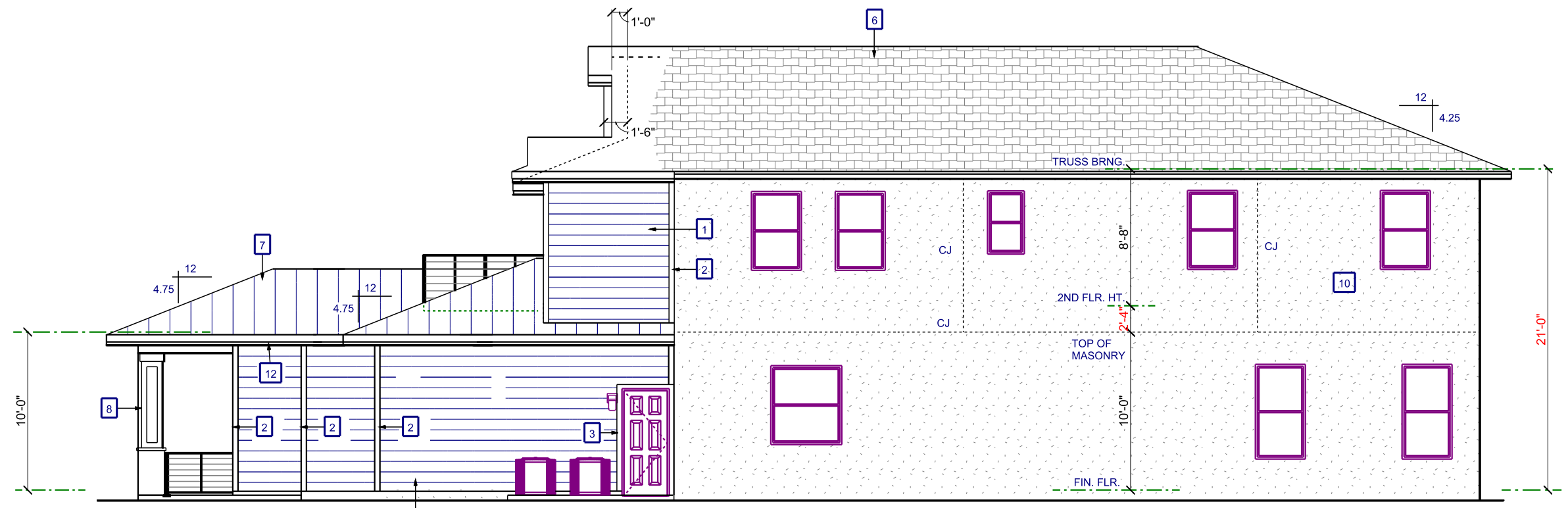
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**4B**



**LEFT ELEVATION**



**RIGHT ELEVATION**

PLAN 3762

SCALE: 1/8" = 1'-0"

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE

1 & 2- REVISED PLANS FOR LOT 17

PLAN DATE	REVISION
1. 02-16-2017	
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DEEB FAMILY  
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5

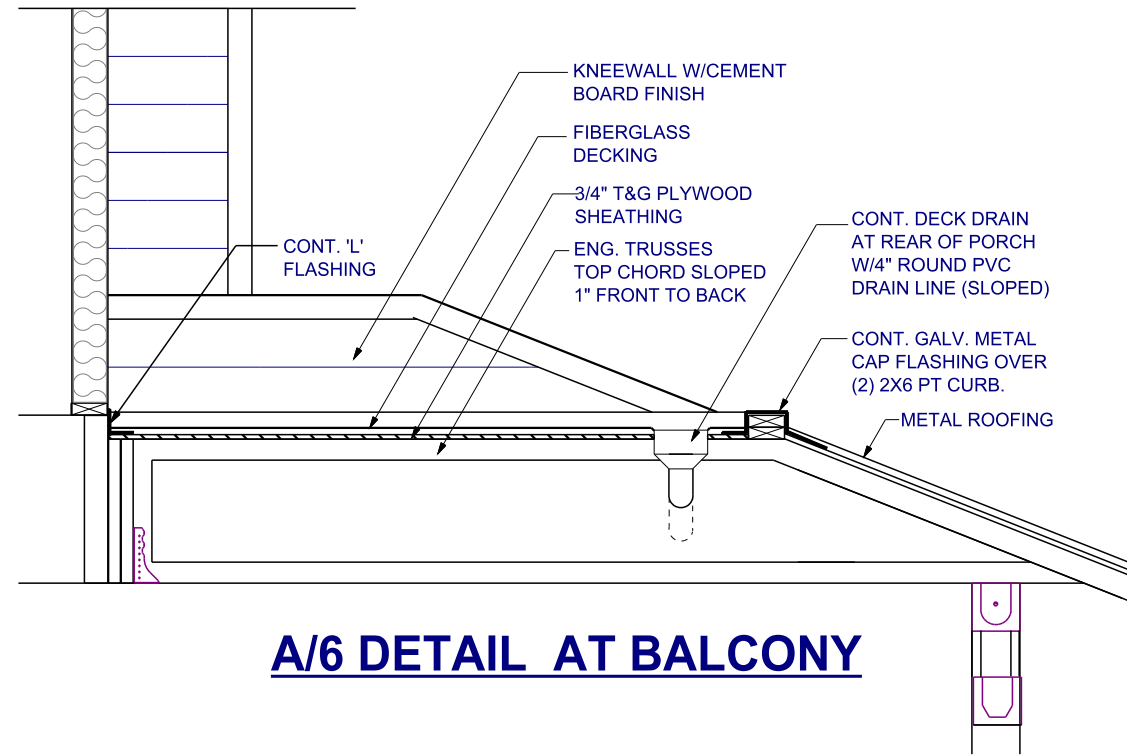
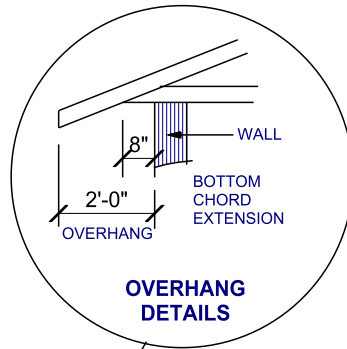
SIDE ELEVATIONS

TOTAL AREA TO BE VENTILATED = 2976 S.F.  
 2976/300 = 9.92 S.F OR 1429 SQUARE INCHES.

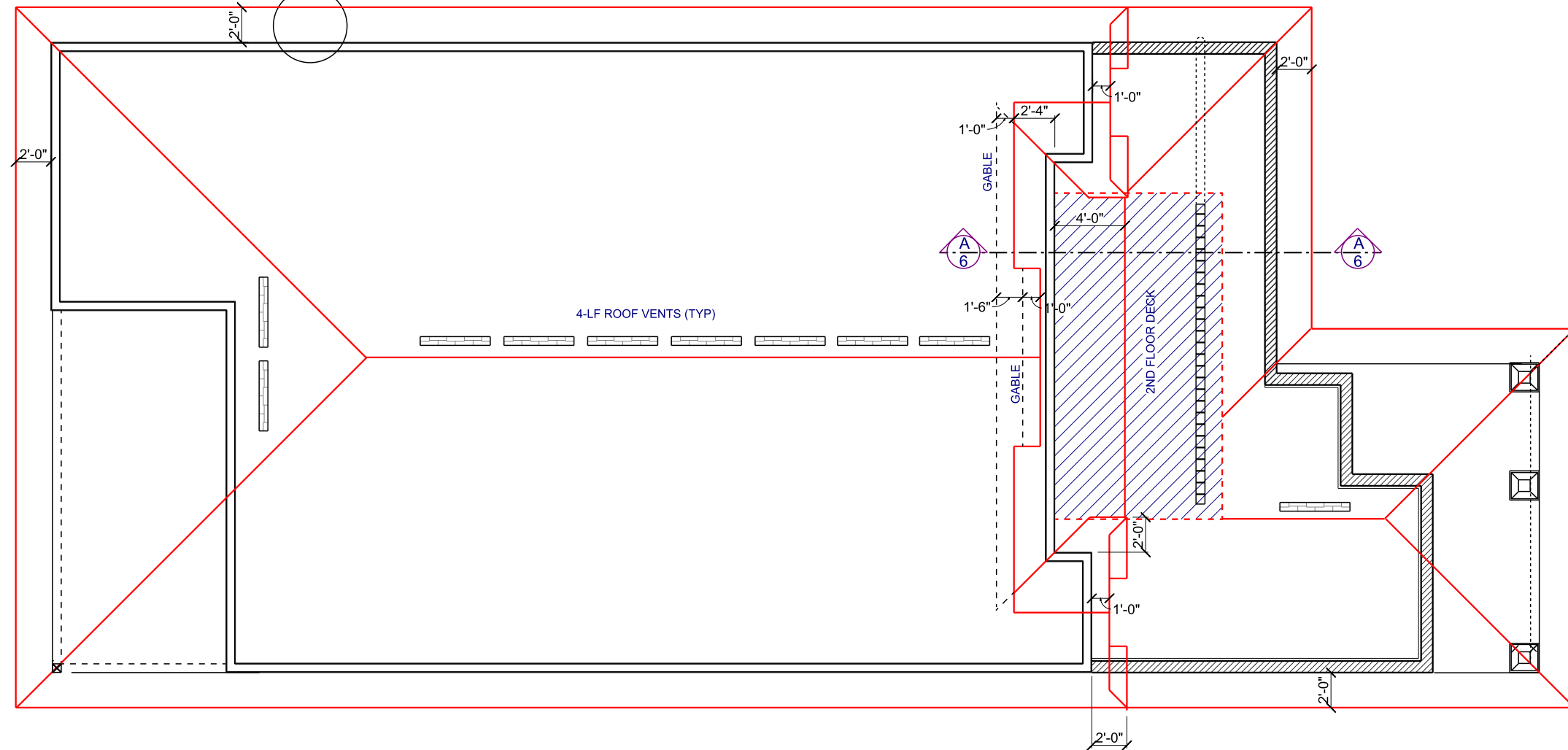
ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 1429 S.I. / 36 S.I. = 40 LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS (10) - 4 FOOT VENTS,  
 TOTALING 40 LINEAL FEET.

TOTAL NET FREE VENTILATING AREA SHALL NOT BE  
 LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50%  
 AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS  
 LOCATED IN THE UPPER PORTION OF THE SPACE TO BE  
 VENTILATED PER SECT. R806.2



**A/6 DETAIL AT BALCONY**



ROOF PLAN

SCALE: 1/8" = 1'-0"

PLAN 3762

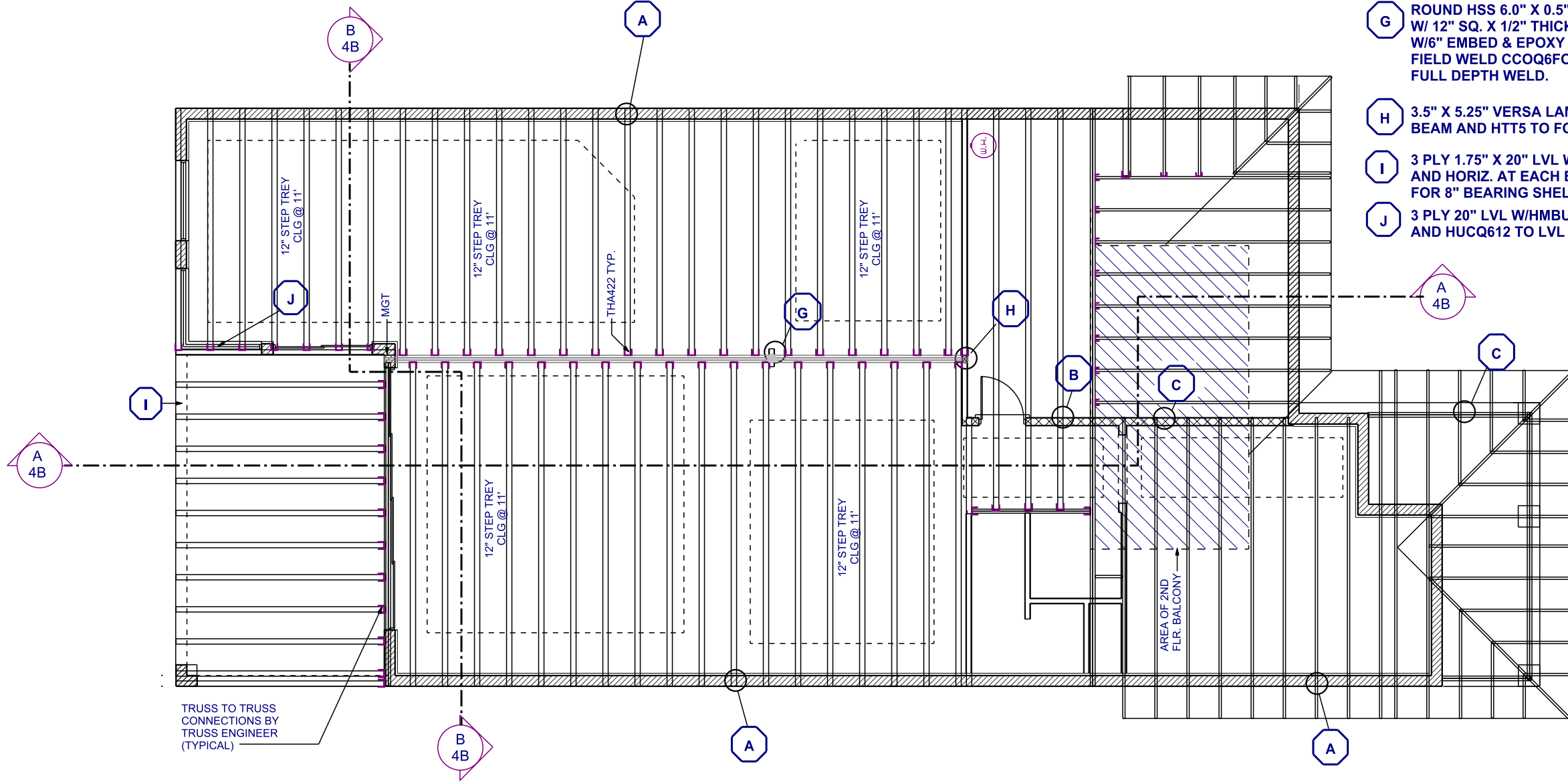
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LOT 17  
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 354 HAMILTON AVENUE

PLAN DATE  
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1 & 2- REVISED PLANS FOR LOT 17

6



THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

- A** META24 TYPICAL
- B** H3 TYPICAL
- C** H10 TYPICAL
- D** 4-PLY 20" VERSALAM W/3 ROWS 7" SDS SCREWS @ 12" O/C
- E** HUCQ412-SDS
- F** 4X4 PT COLUMN W/ABU44 W/(2) MTS16 TO BEAM
- G** ROUND HSS 6.0" X 0.5" THICK A560 GR STEEL COLUMN W/ 12" SQ. X 1/2" THICK BOTTOM PLATE W/(4) 5/8" ATR W/6" EMBED & EPOXY W/FULL DEPTH WELD AT TOP. FIELD WELD CCOQ6FOR LVL CONNECTION, FULL DEPTH WELD.
- H** 3.5" X 5.25" VERSA LAM COLUMN W/(2) CS16 TO BEAM AND HTT5 TO FOUNDATION
- I** 3 PLY 1.75" X 20" LVL W/(2) MSTAM36 VERTICAL AND HORIZ. AT EACH END. HOLD CMU DOWN FOR 8" BEARING SHELF.
- J** 3 PLY 20" LVL W/HMBU TO CMU AND HUCQ612 TO LVL

TRUSS TO TRUSS CONNECTIONS BY TRUSS ENGINEER (TYPICAL)

TRUSS PLAN

A.E.C.S. #16084

PLAN 3762

**6A**

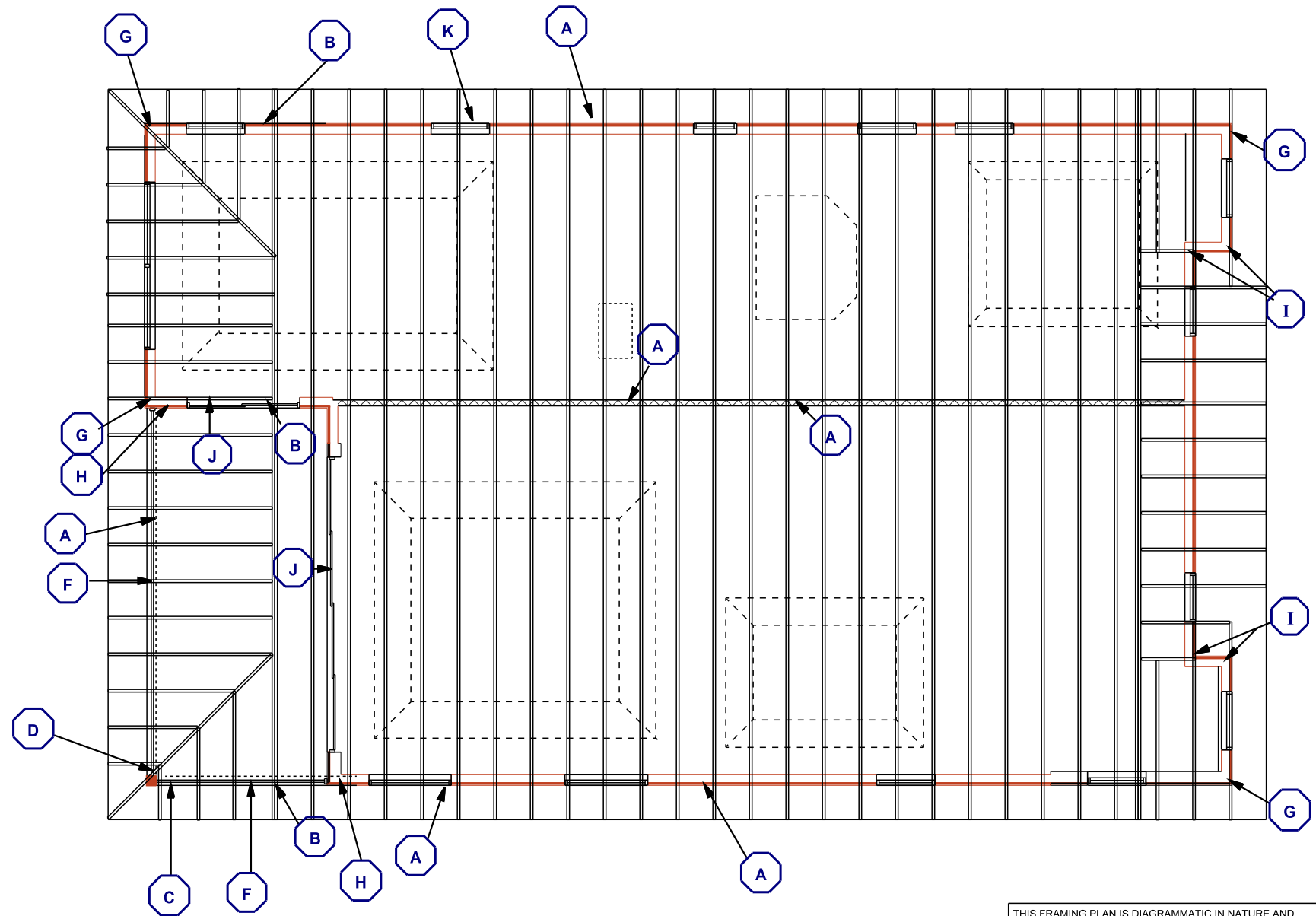
DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

PLAN DATE
1. 02-16-2017
2. 03-03-2017

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
T & 2: REVISED PLANS FOR LOT 17

HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 145 MPH ULTIMATE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.  
SIGNED: RICHARD E. ALLEN P.E. #56920

ALLEN ENGINEERING & CONSTRUCTION SERVICES  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #56920 C.A. #9542  
NEW PORT RICHEY, FL 34654  
727-842-6100  
richallenpe@gmail.com



THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

- A** H10 TYP.
- B** LGT2
- C** 6x6 P.T. COLUMN W(2) HTS16 & MSTCM60 TO CMU
- D** WRAP BEAM & COLUMNS W(2) CS16 TYP.
- E** 6x6 P.T. COLUMN W(2) ACE4 & (2) HTS16 TYP.
- F** 2-PLY 16" VERSALAM W/2 ROWS 10d @ 12" O/C
- G** 5-STUD CORNER COLUMN W/(1) MSTCM60 TO CMU
- H** POCKET FRAME 5-STUD CORNER COLUMN W/(3) JACKS FOR BEAM + (2) KINGS W/(2) MSTCM60 TO CMU W/(3) CS16 TO BEAM
- I** 5-STUD CORNER COLUMN W/(2) CS16 TO FLOOR TRUSS BELOW
- J** TRIPLE 1.75" X 7.25" LVL HEADER W/(2) CS16 EACH END TO DBL JACK DBL KING KING STUD PACKS W/(2) CS16 TO LVL BELOW AND (2) MSTAM36 TO CMU BELOW.
- K** TYPICAL 2ND FLOOR HEADER DBL 2X12 SYP. W/(2) JACKS & (2) KING STUDS W/MSTCM60 TO CMU EACH STUD PACK

2ND FLR TRUSS PLAN

A.E.C.S. #16084

PLAN 3762

6B

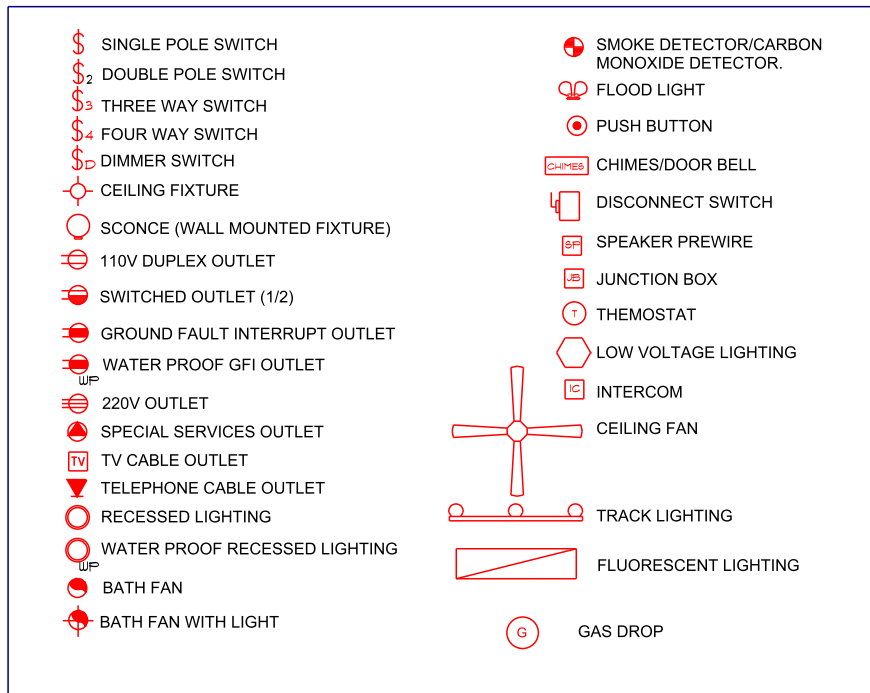
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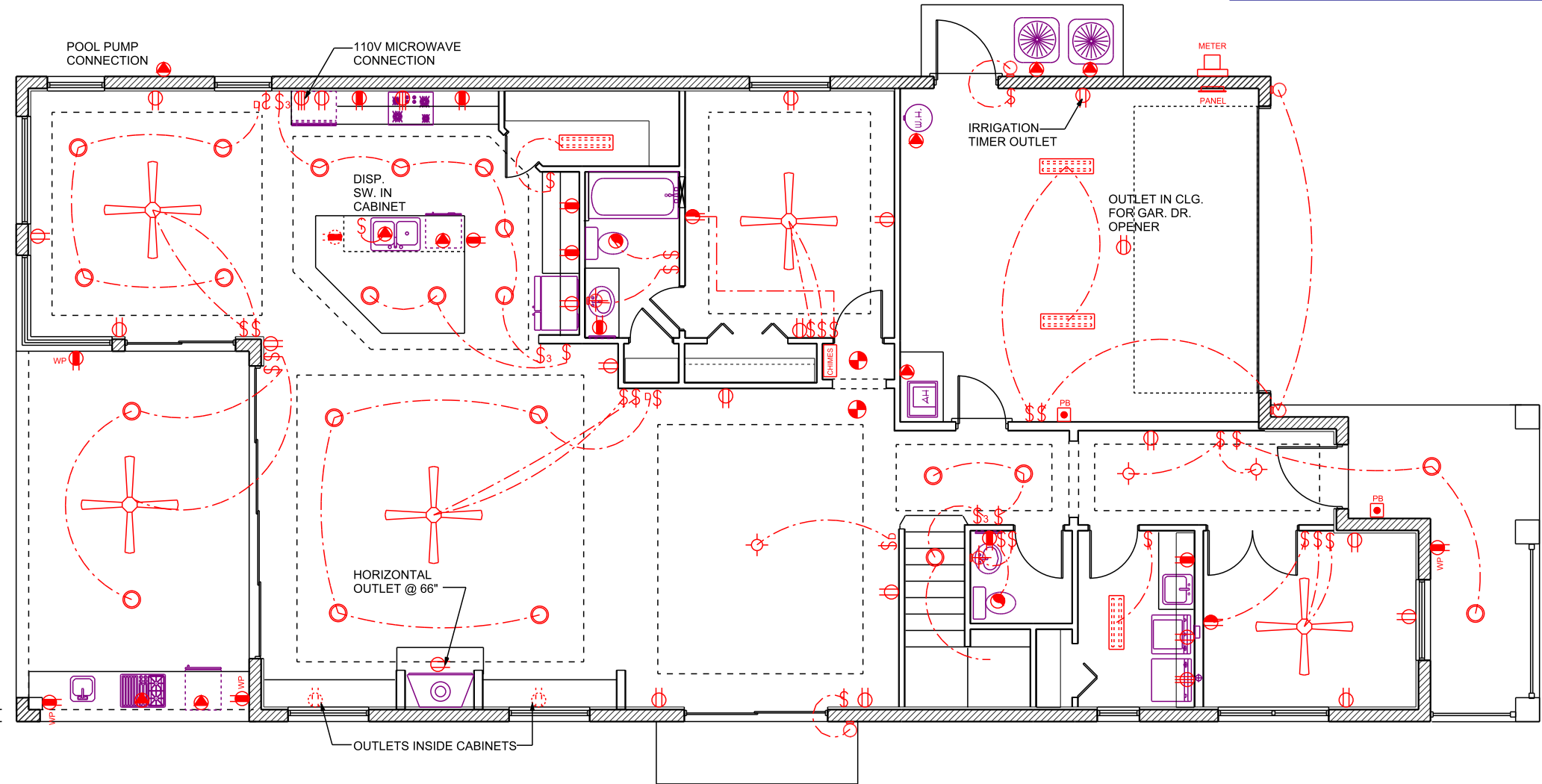
LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

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richallenpe@gmail.com

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- UNLESS OTHERWISE NOTED:
- ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)
  - ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
  - ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F
  - ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
  - SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2014 FLORIDA RESIDENTIAL CODE, SECTION 314, AND WITH UL 317 AND NFPA 772.
  - PROVIDE ARC FAULT INTERRUPTERS PER 2008 NEC. 210.12
  - ALL RECEPTACLES TO BE TAMPER PROOF PER NEC. SECT. 406.11
- KITCHEN: 42"  
 BATHROOM: 42"  
 LAUNDRY: 36" WASHER/24" DRYER/  
 WALL OUTLETS @ 45"  
 EXTERIOR: WATERPROOF @ 12"  
 GARAGE: GFI @ 45"  
 RANGE: 220V @ 4"



ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

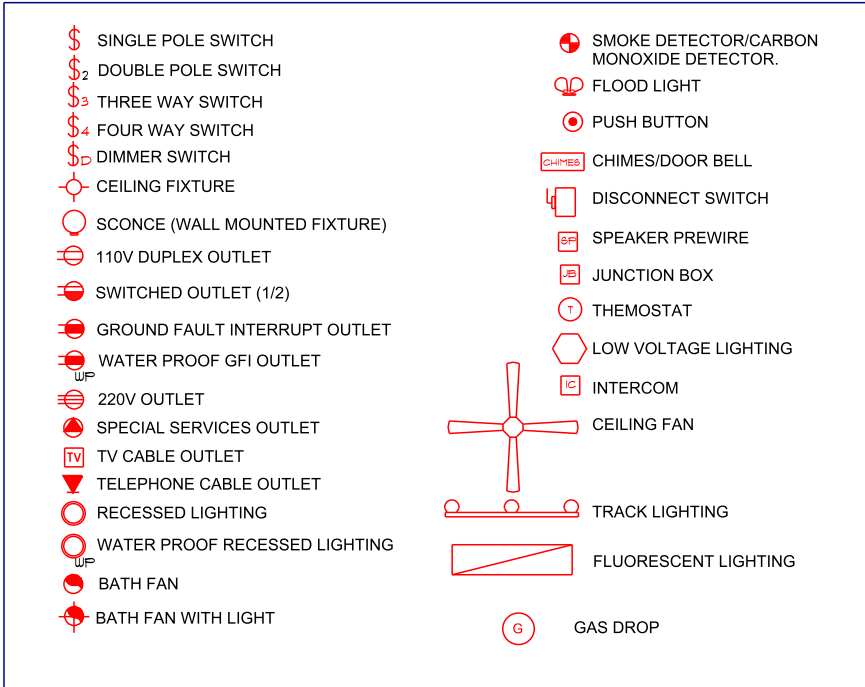
PLAN 3762

LOT 17  
 SAFETY HARBOR  
 354 HAMILTON AVENUE  
 1 & 2: REVISED PLANS FOR LOT 17

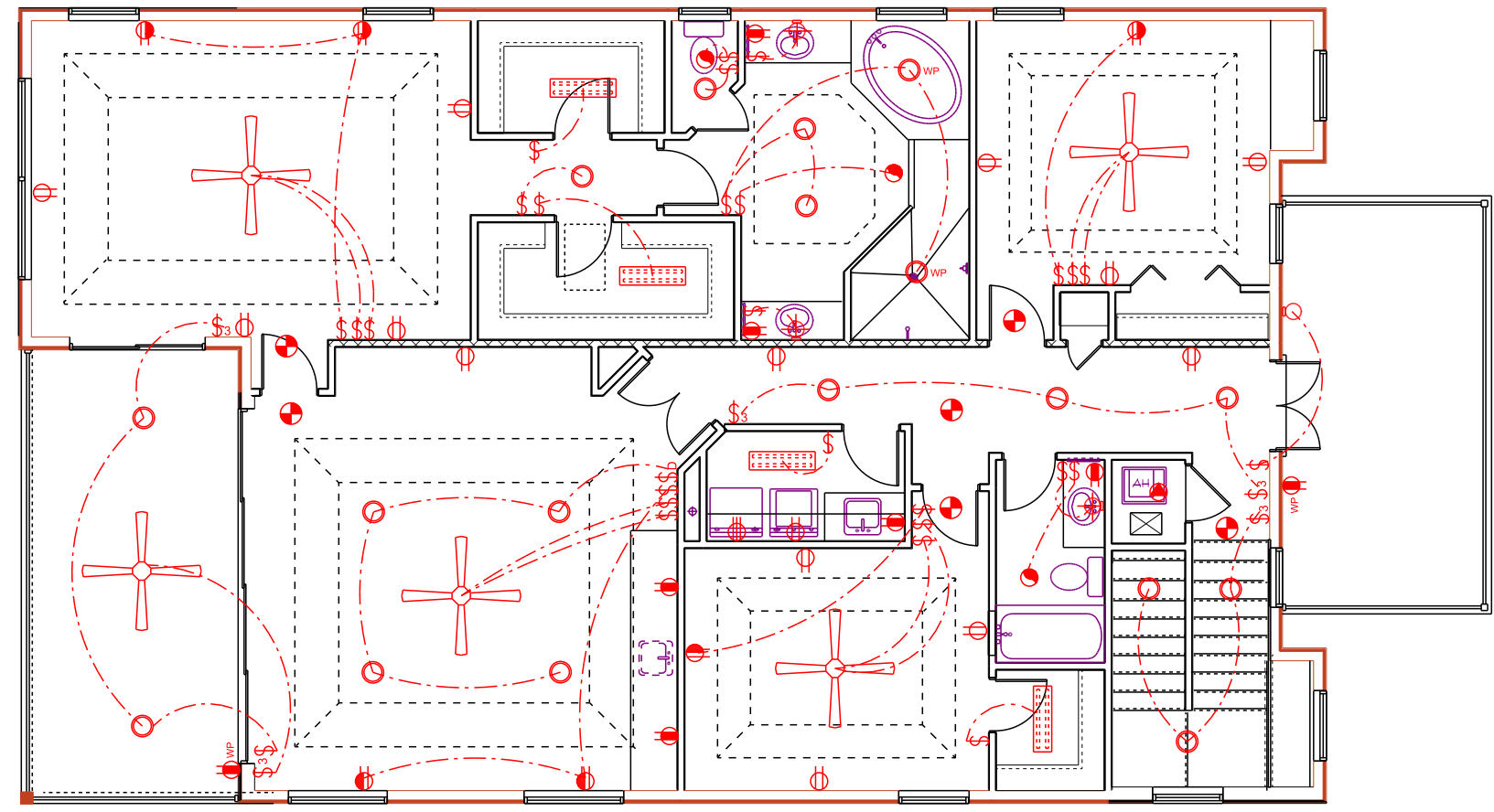
PLAN DATE	
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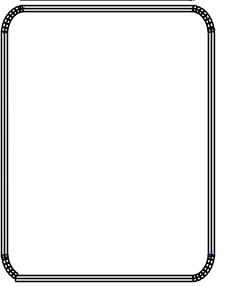
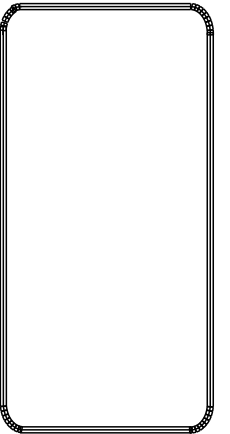
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BATHROOM: 42"  
LAUNDRY: 36" WASHER/24" DRYER/  
WALL OUTLETS @ 45"  
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PLAN 3762

SCALE: 1/8" = 1'-0"

2ND FLR. ELECTRICAL PLAN



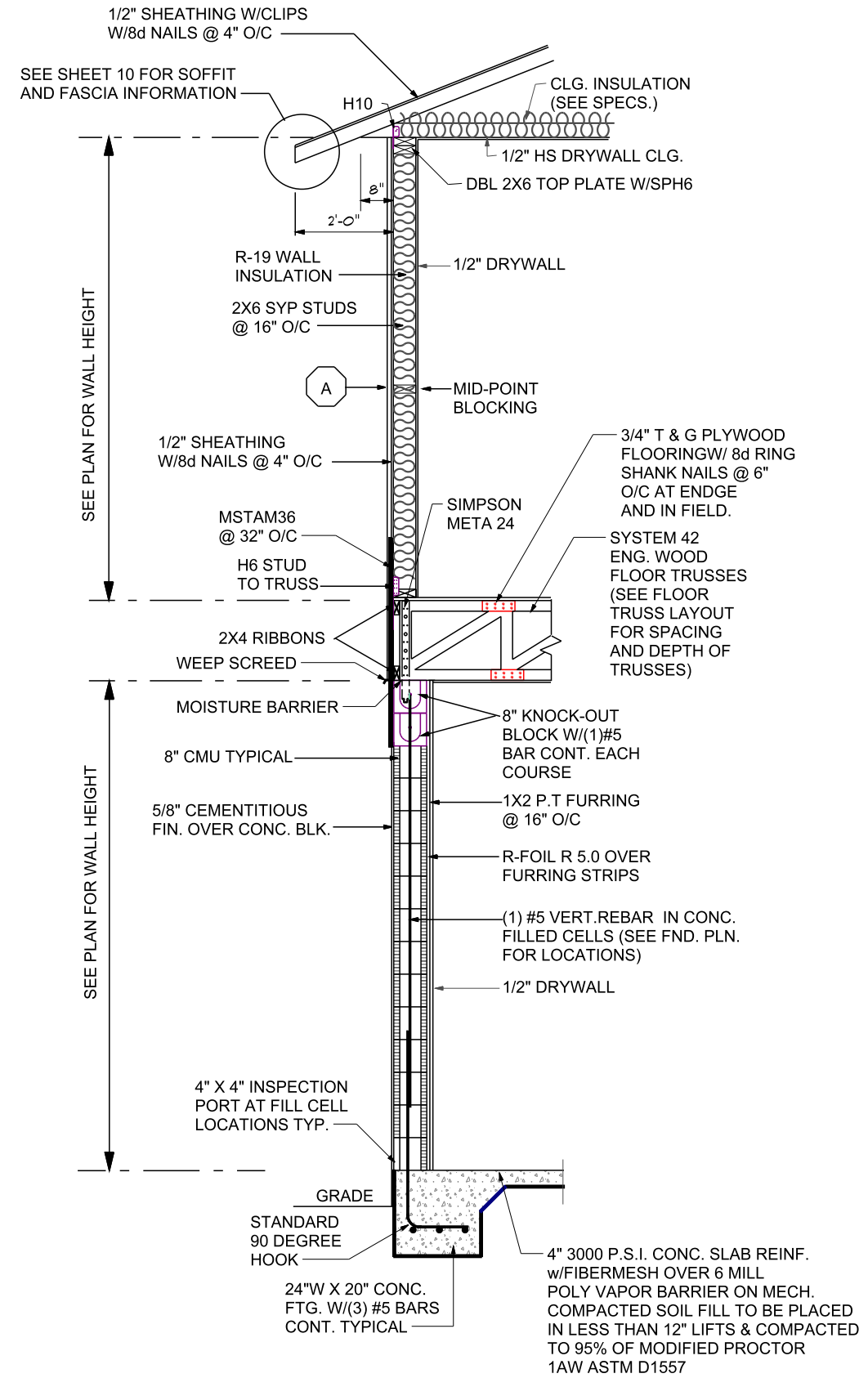
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7A





A 7/8" STUCCO FINISH PER ASTM C-926-11a ON PAPER BACKED METAL LATH OVER TYVEK (OR EQUIVALENT) VINYL VAPOR BARRIER ON EXTERIOR WOOD SHEATHING.

1 TYP. 2-STORY WALL SECT.

CONSTRUCTION DETAILS

A.E.C.S. #16084

PLAN 3762

10A

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