

- FOOTING LEGEND**
- 1 RECESSED 16" X 16" CONC. FTG. W/(2) #5 BARS CONT. BETWEEN COLUMN PADS
  - 2 24" X 24" X 20" CONC. PAD W/3 #5 REBARS EACH WAY
  - 3 30" X 30" X 20" DEEP CONC. FTG. W/(3) #5 BARS EACH WAY
  - 4 36" X 36" X 20" CONC. PAD W/4 #5 REBARS EACH WAY
  - 5 40" X 40" X 20" CONC. PAD W/5 BARS AT 6" O.C EACH WAY
  - 6 48" X 48" X 20" D CONC. PAD W/5 REBARS @ 6" O/C EACH WAY
  - 7 60" X 60" X 20" D CONC. PAD W/5 REBARS @ 6" O/C EACH WAY

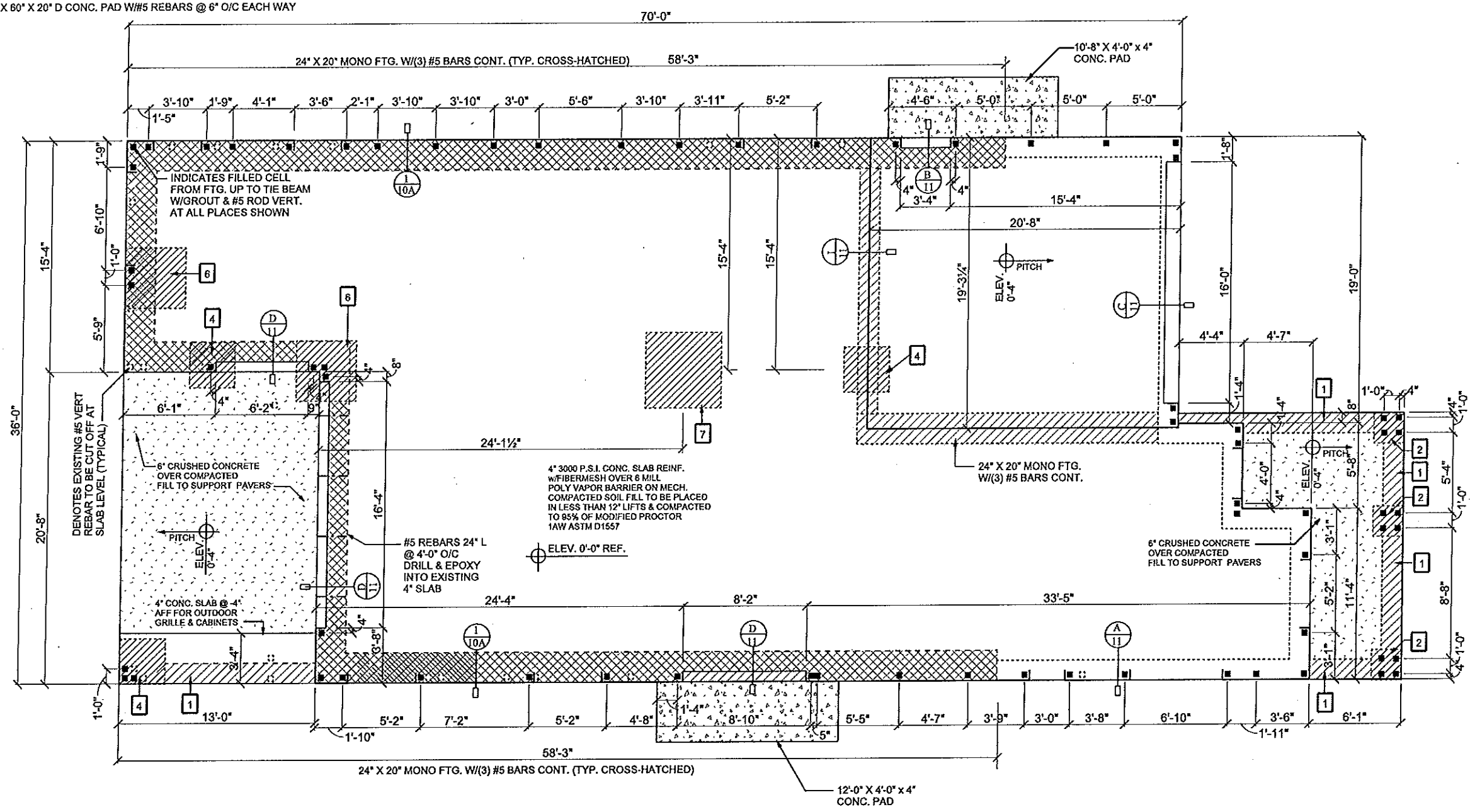
**TERMITE SPECIFICATIONS**  
 INSTALL 'BORA-CARE' TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

- NOTES**
- 1) NO SOILS INFORMATION PROVIDED. PRESUMED ALLOWABLE SOIL BEARING CAPACITY IS 2,000 P.S.F.
  - 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
  - 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
  - 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
  - 5) REFER TO STRUCTURAL ENGINEER NOTES.

DRIVEWAY SPEC:  
 DRIVEWAY NOT IN RIGHT OF WAY TO BE BRICK PAVERS.  
 DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT

SEE SHEET 1A FOR FOUNDATION PLUMBING AND EXPANSION PLAN

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB ON GRADE SHALL COMPLY WITH FBC SECT. 1911.2 (EXCEPTION 1)



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

A.E.C.S. #16084

PLAN 3762

1

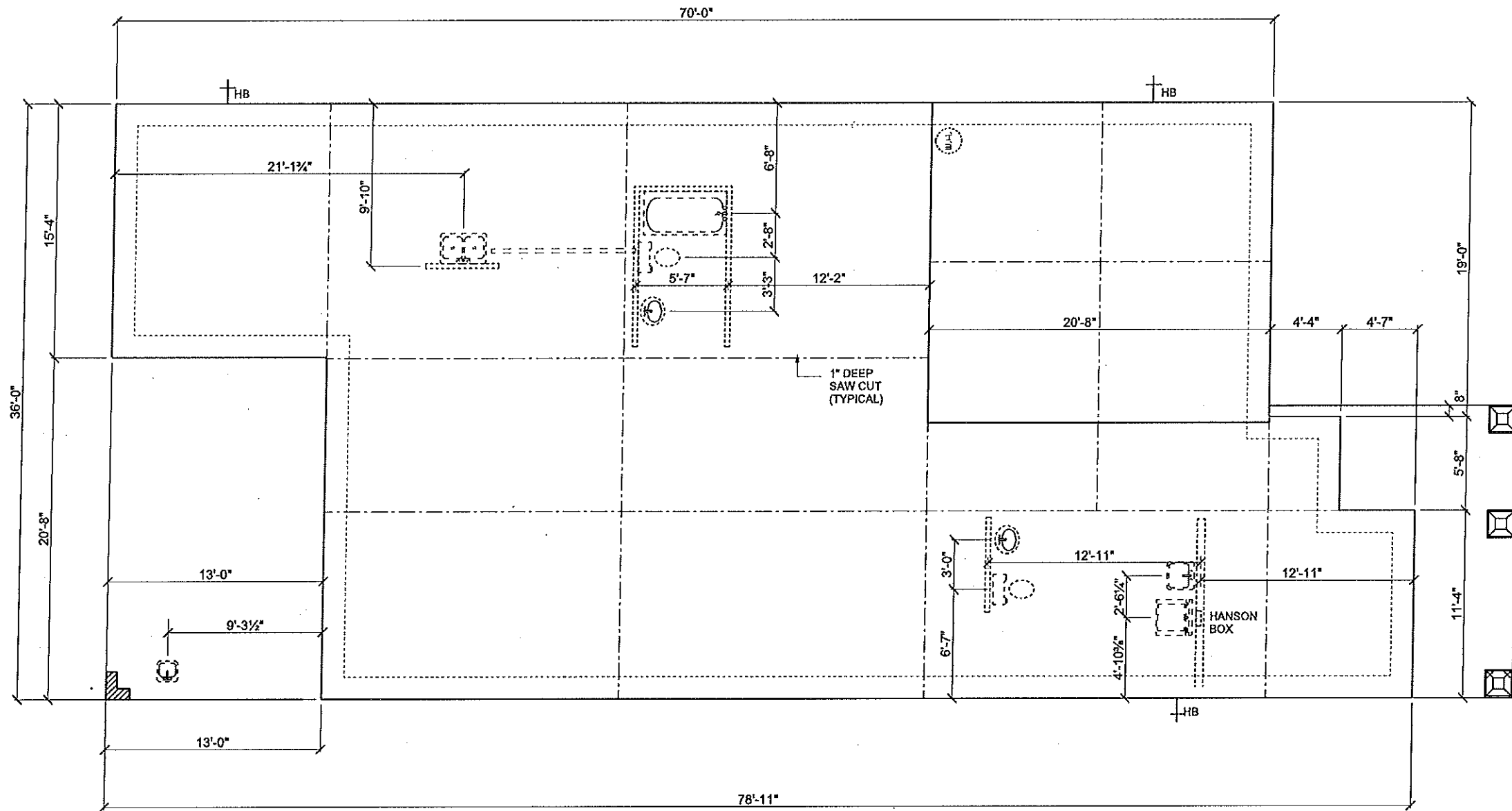
**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

PLAN DATE	
1. 02-16-2017	
2. 03-15-2017	

LOT 17  
**SAFETY HARBOR**  
 354 HAMILTON AVENUE  
 1 & 2: REVISED PLANS FOR LOT 17

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 145 MPH ULTIMATE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH SECTION 301 OF BUILDING FLORIDA RESIDENTIAL CODE FOR STRUCTURE ONE.  
 SEALED FOR THE STRUCTURE ONE.  
 RICH ALLEN  
 P.E. #56920 C.A. #9542  
 8809 SCYMASTER DRIVE  
 NEW PORT RICHEY, FL 34654  
 727-942-6100  
 richallenpe@gmail.com

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FOUNDATION PLUMBING & EXPANSION

SCALE: 1/8" = 1'-0"

PLAN 3762

**1A**

DEEB FAMILY  
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9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

PLAN DATE
1. 02-16-2017
2. 03-15-2017

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE

1 & 2- REVISED PLANS FOR LOT 17

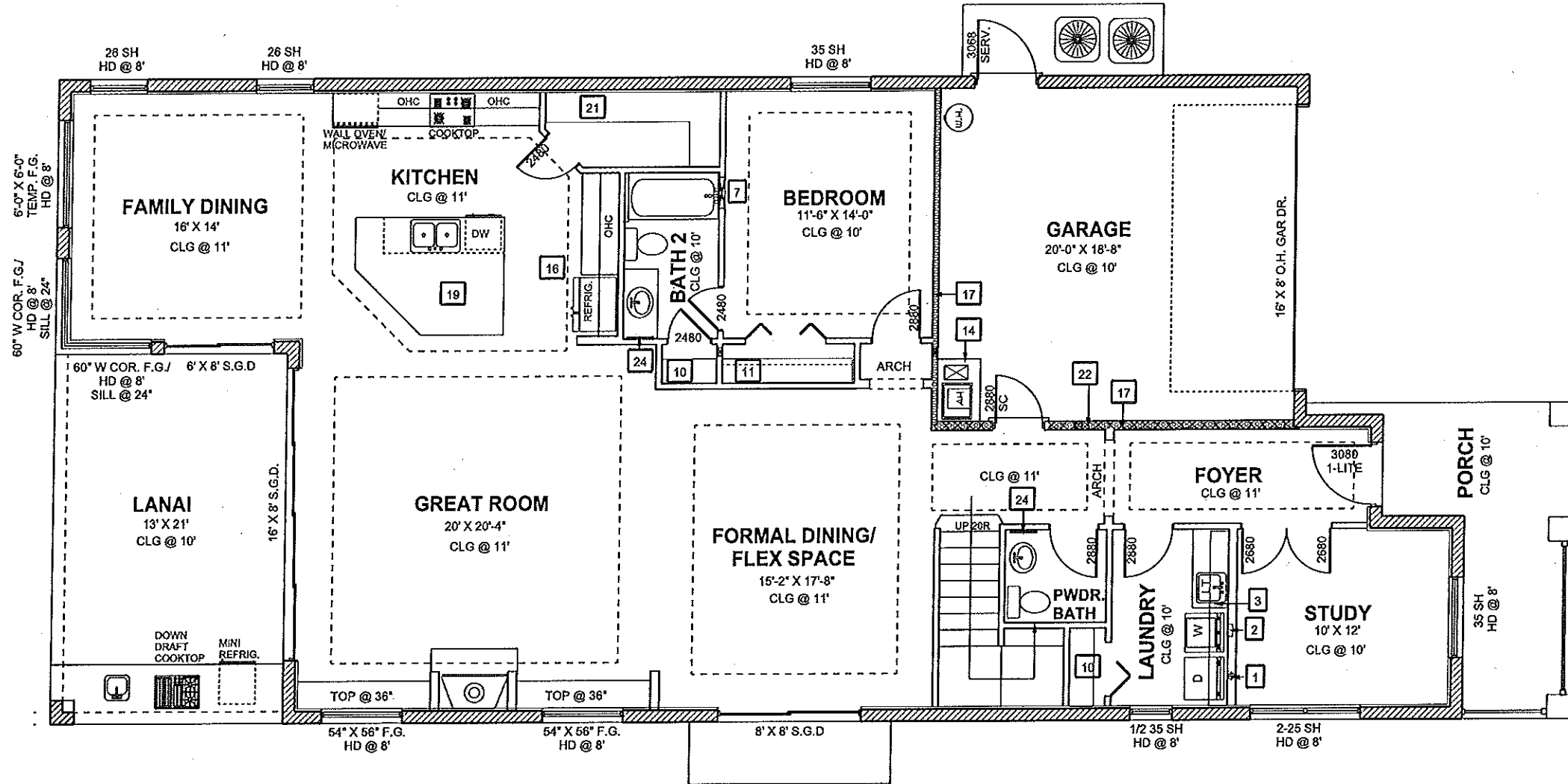
**FLOOR PLAN NOTES**

- 1 DRYER VTR IN 6" WALL
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF

- 12 TOP OF BAR @ 42" AFF
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 14 AIR HANDLER UNIT ON PLATFORM
- 15 AREA OF A/C TRUSSES
- 16 INSTALL 1/4" WATER LINE FOR ICEMAKER
- 17 R-13 BATT INSULATION
- 18 16" W X 6" D FIREPLACE COLUMNS TYP.
- 19 COUNTERTOP @ 36" AFF/OPEN BELOW
- 20 2850 TEMPERED F.G. HD @ 8" AFF
- 21 (4) 20" SHELVES
- 22 LOAD BEARING WALL
- 23 CHIMNEY CHASE
- 24 MEDICINE CABINET

**SQUARE FOOTAGES**

MAIN FLR. LIVING AREA:	1976 S.F.
2ND FLR. LIVING AREA:	1786 SF
TOTAL LIVING AREA:	3762 SF
GARAGE:	398 S.F.
2ND FLR COV. DECK	200 S.F.
LANAI:	268 S.F.
ENTRY:	134 SF
TOTAL:	4762 SF



NOTED FLOOR PLAN

SCALE: 1/8" = 1'-0"

PLAN 3762

**DEEB FAMILY HOMES, LTD.**  
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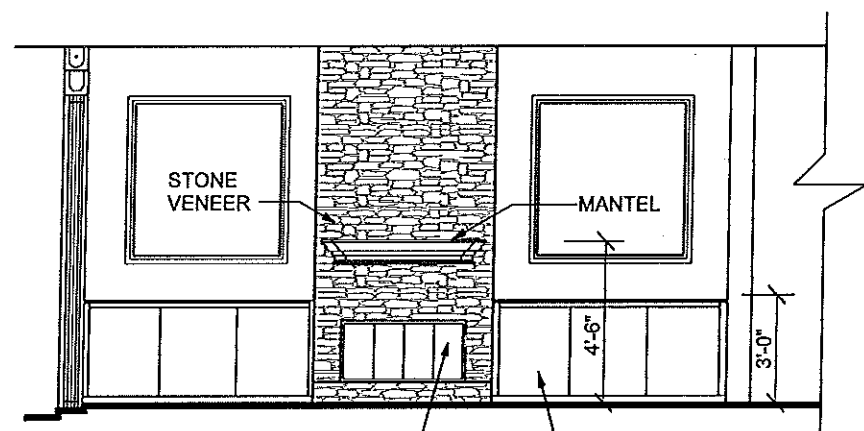
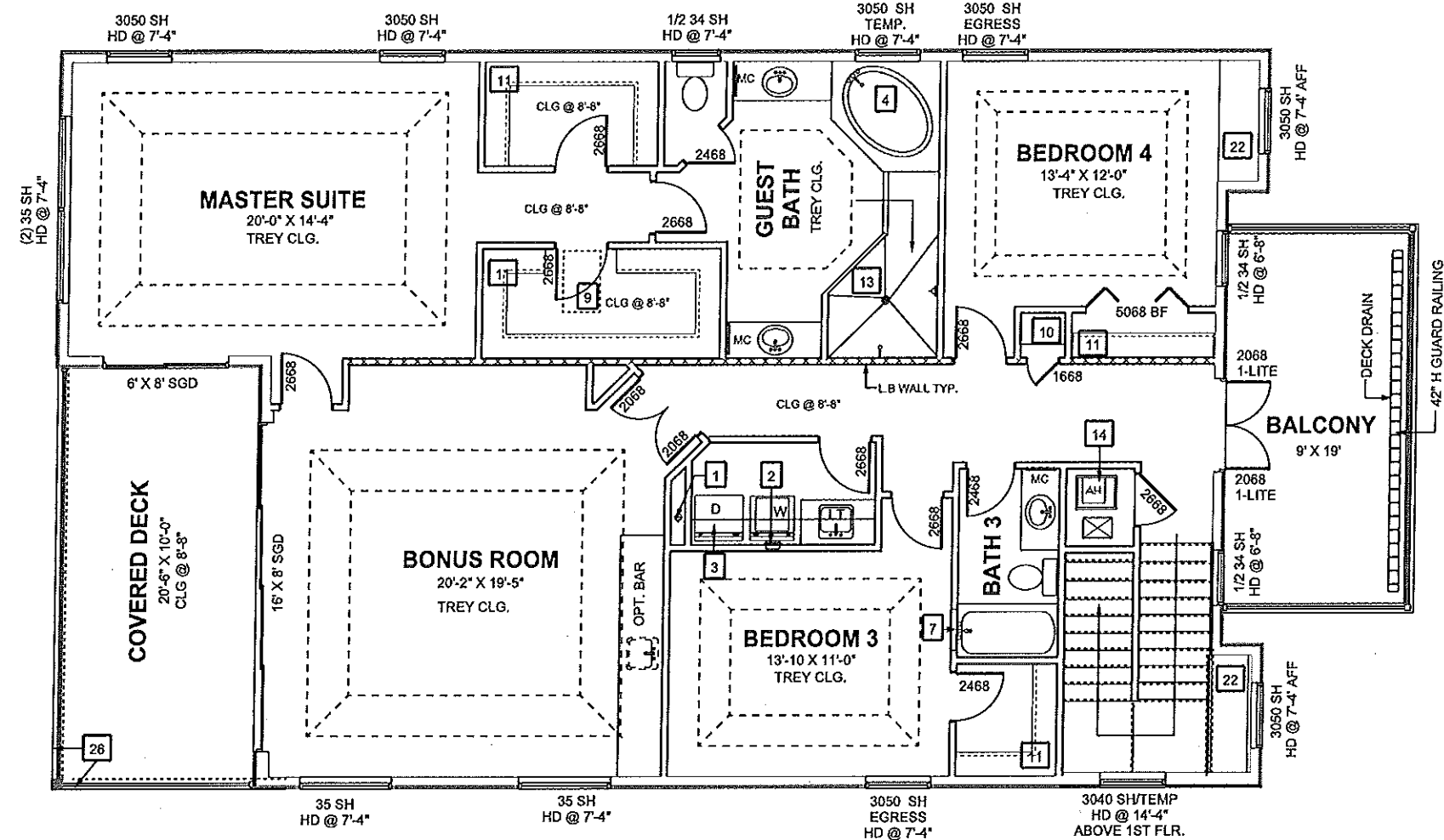
PLAN DATE	
1. 02-16-2017	
2. 03-15-2017	

**LOT 17**  
**SAFETY HARBOR**  
 354 HAMILTON AVENUE  
 1 & 2: REVISED PLANS FOR LOT 17

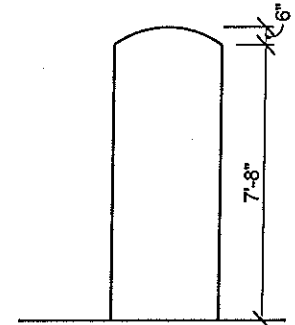
2

**FLOOR PLAN NOTES**

- 1 DRYER VTR IN WALL CHASE
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF
- 12 TOP OF BAR @ 42" AFF
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 14 AIR HANDLER UNIT ON PLATFORM
- 15 AREA OF A/C TRUSSES
- 16 INSTALL 1/4" WATER LINE FOR ICEMAKER
- 17 R-13 BATT INSULATION
- 18 16" W X 6" D FIREPLACE COLUMNS TYP.
- 19 2X CHASE FRAMING FOR GRILLE VENT BELOW
- 20 2850 TEMPERED F.G. HD @ 8' AFF
- 21 (4) 20" SHELVES
- 22 WINDOW SEAT
- 23 STAIR RAIL (SEE DETAIL)
- 24 CHIMNEY CHASE
- 25 RECESSED WALL NICHE: TOP @ 42" AFF  
W/WALL BELOW, HEAD @ 7' AFF
- 26 42"H GUARDRAIL



**FAMILY ROOM WALL ELEVATION**  
3/16" = 1'-0"



**TYPICAL ARCHED HEADER DETAIL**  
3/16" = 1'-0"

PLAN 3762

SCALE: 1/8" = 1'-0"

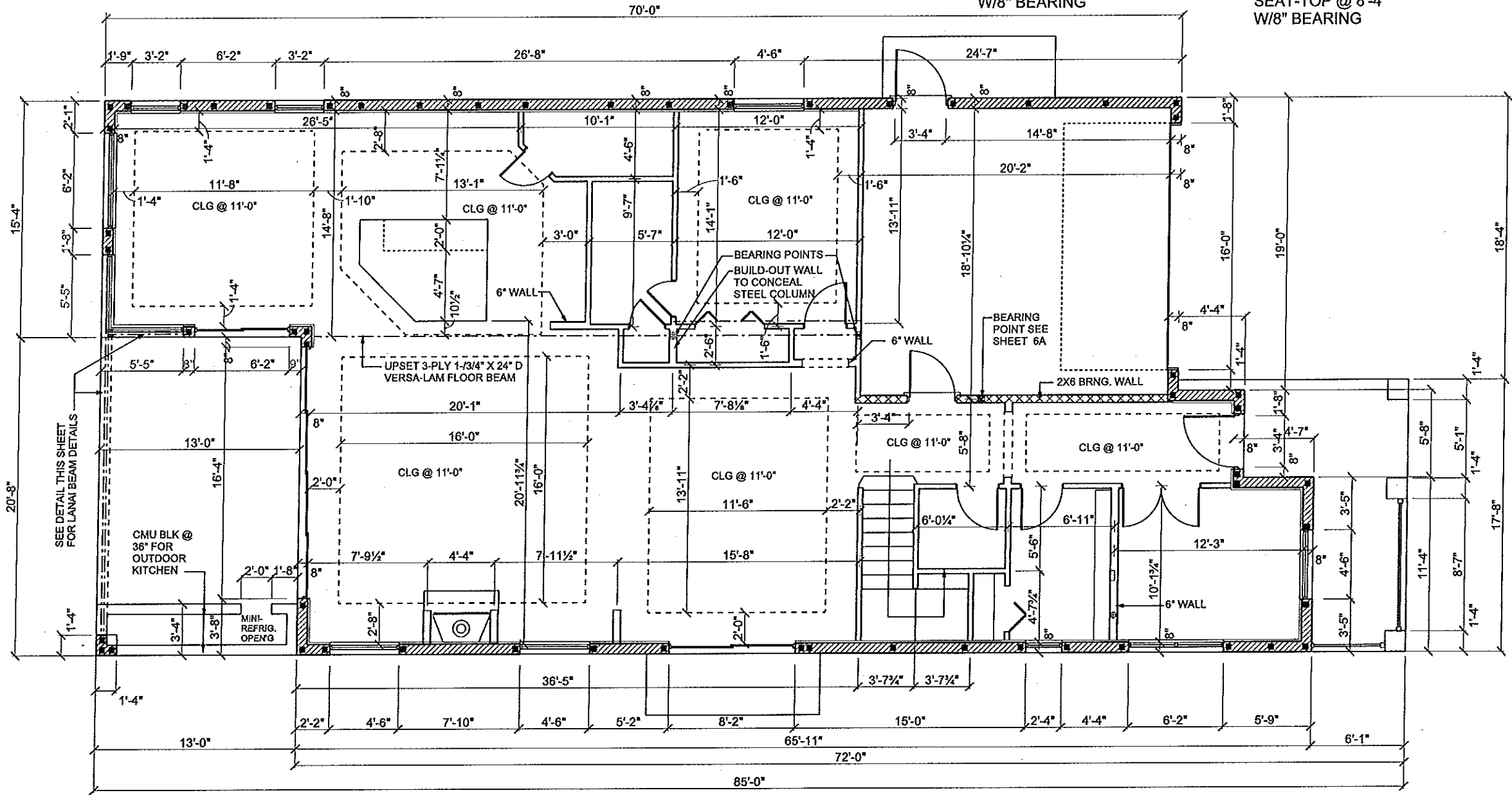
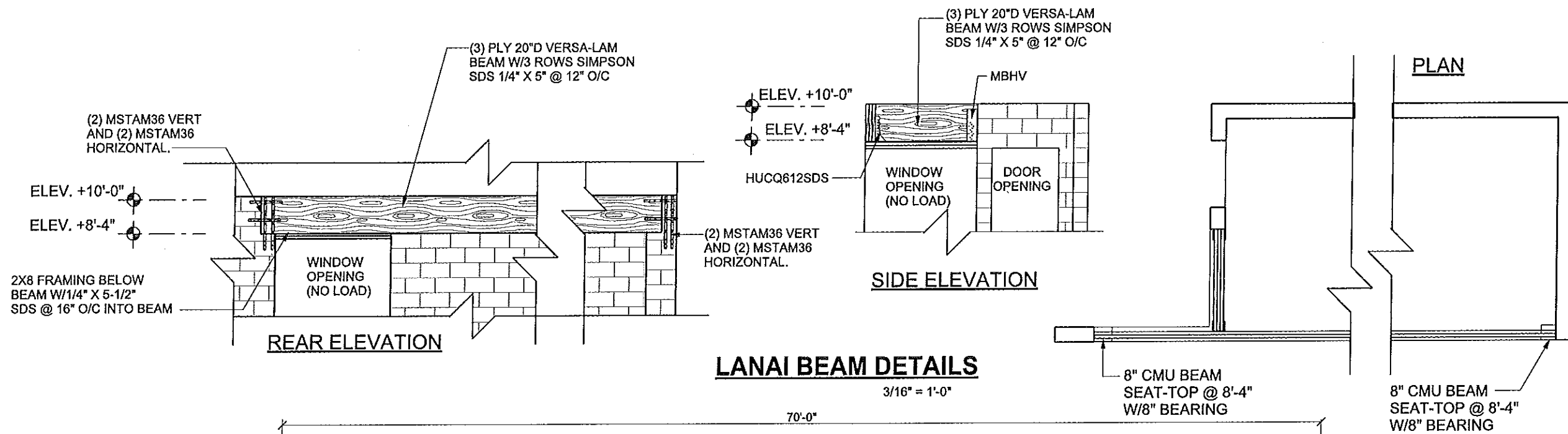
NOTED 2ND FLOOR PLAN

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

PLAN DATE  
1. 02-16-2017  
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DEEB FAMILY  
HOMES, LTD.  
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NEW PORT RICHEY, FL. 34655

**2A**



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 richallenpe@gmail.com

**A.E.C.S. #16084**  
 PLAN 3762

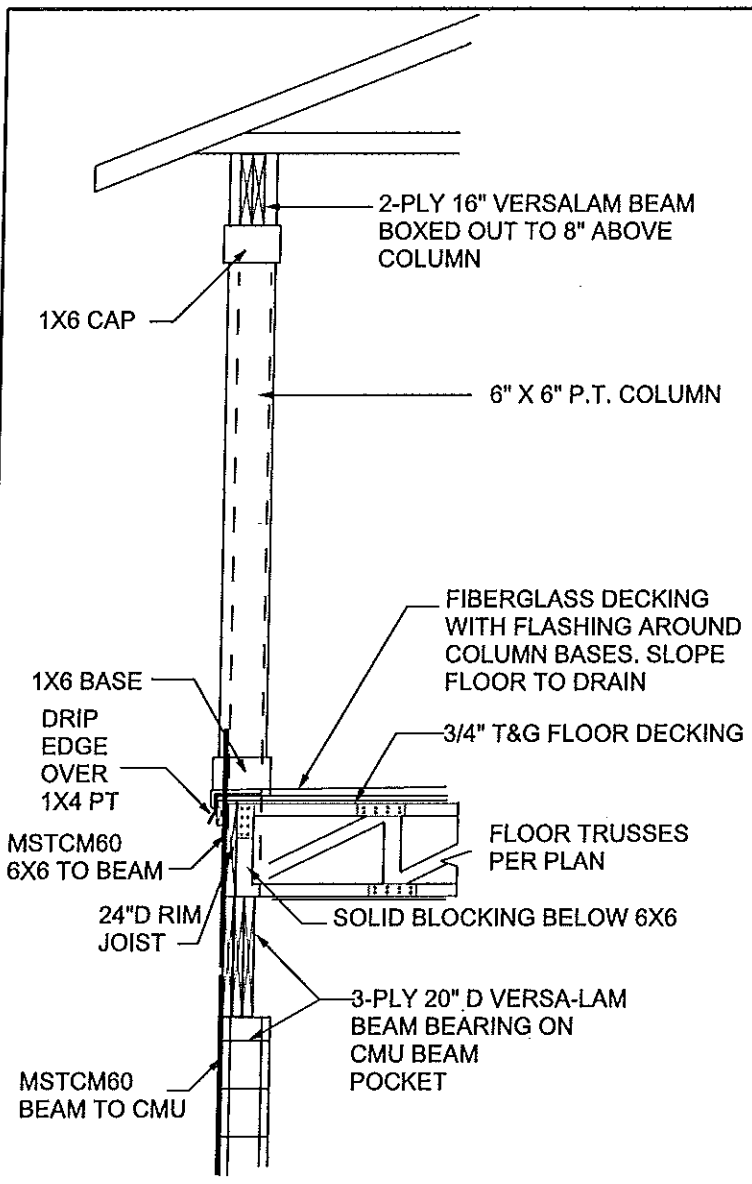
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE AND LOCAL, STATE AND FEDERAL BUILDING CODES. THIS DESIGN IS FOR THE STRUCTURE ONLY. SIGNED: *[Signature]* RICHARD E. ALLEN, P.E. #56920

**LOT 17 SAFETY HARBOR**  
 354 HAMILTON AVENUE  
 1 & 2: REVISED PLANS FOR LOT 17

PLAN DATE  
 1. 02-16-2017  
 2. 03-15-2017

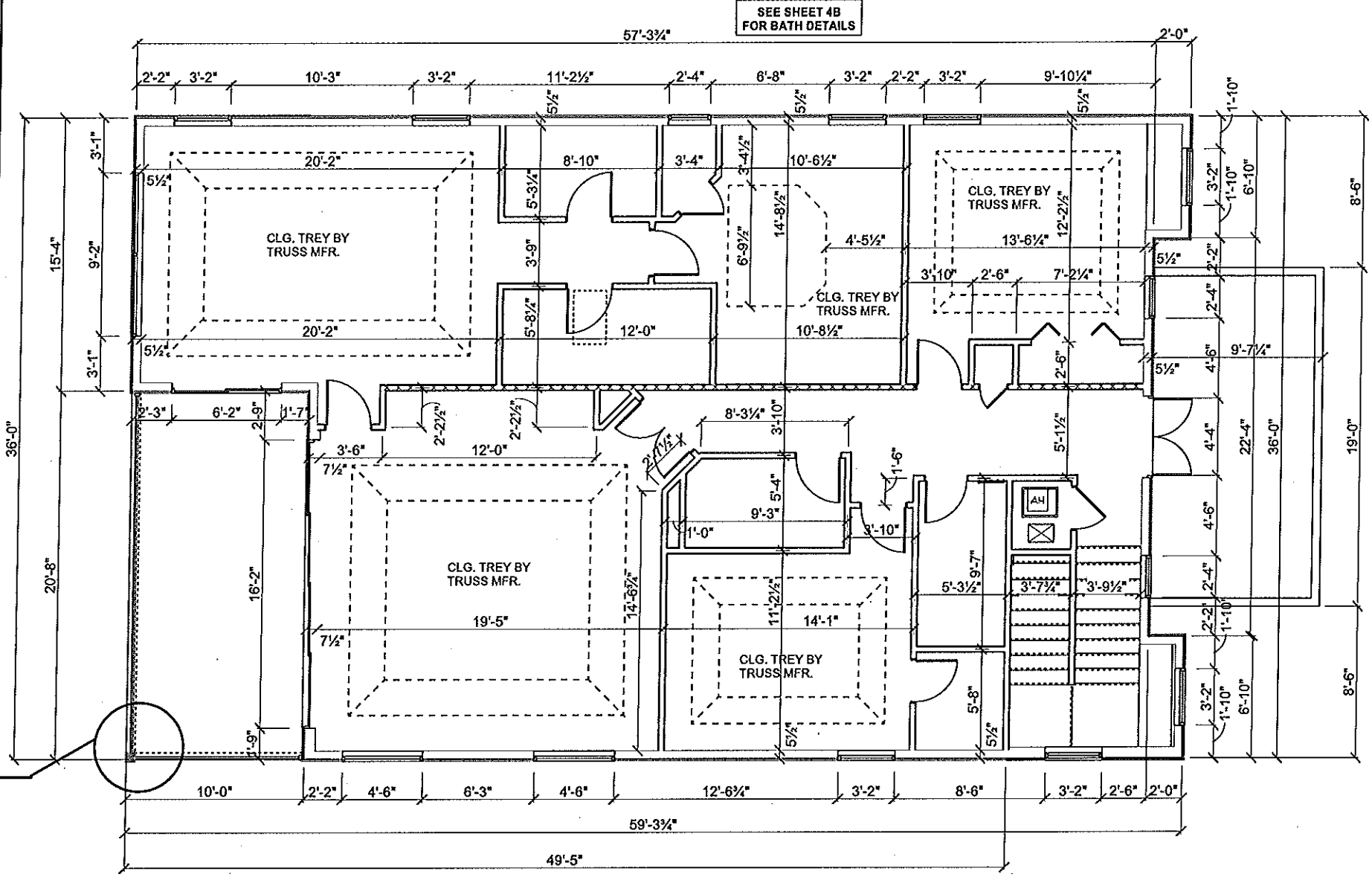
**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL 34655

**3**



**PORCH COLUMN DETAIL**

3/8" = 1'-0"



**SECOND FLOOR DIMENSIONED FLOOR PLAN** SCALE: 1/8" = 1'-0"  
**PLAN 3762**  
**A.E.C.S. #16084**

3A

DEEB FAMILY HOMES, LTD.

9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

PLAN DATE
1. 02-16-2017
2. 03-15-2017

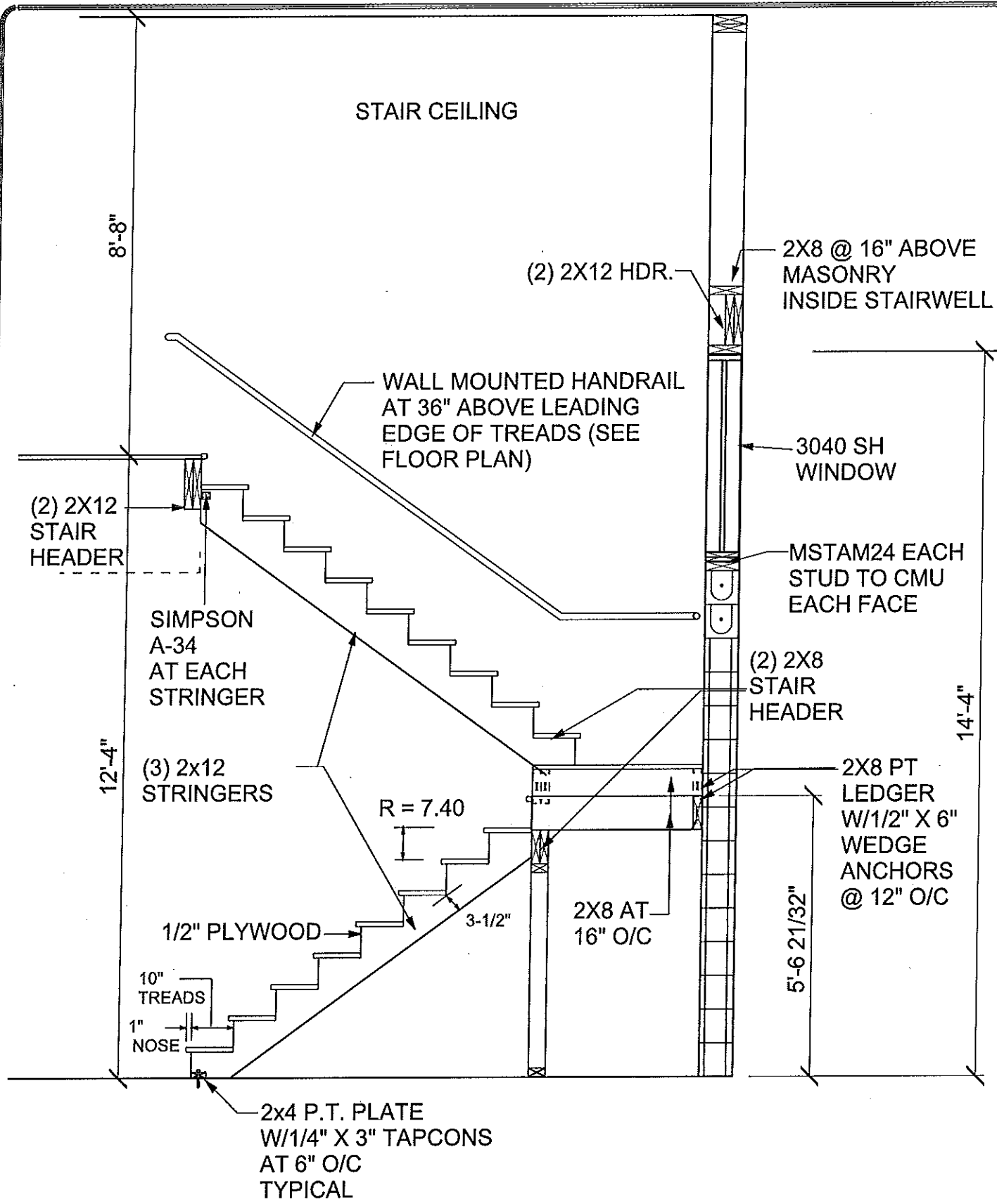
**LOT 17**  
**SAFETY HARBOR**  
 354 HAMILTON AVENUE  
 1 & 2: REVISED PLANS FOR LOT 17

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH THE ULTIMATE WIND LOADS, EXPOSURE B AND IT'S IN COMPLIANCE WITH SECTION 901 OF THE FLORIDA BUILDING CODE FOR RESIDENTIAL BUILDINGS. THIS IS A STRUCTURE ONLY.

SIGNED:   
 RICHARD E. ALLEN P.E. #63626

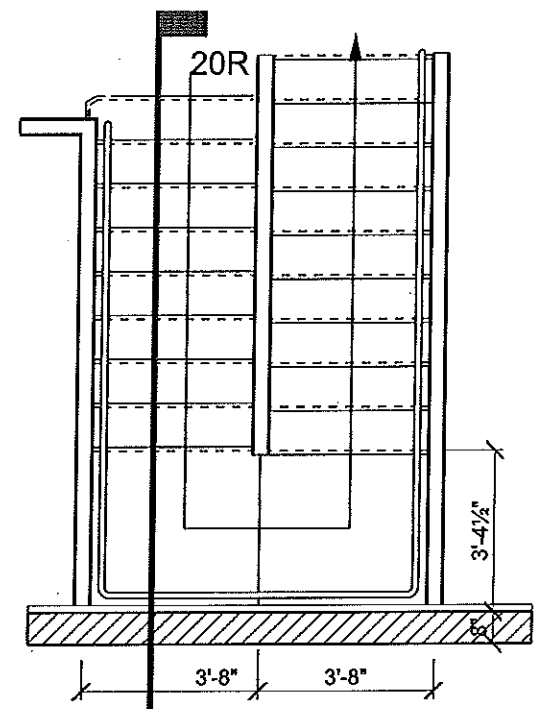
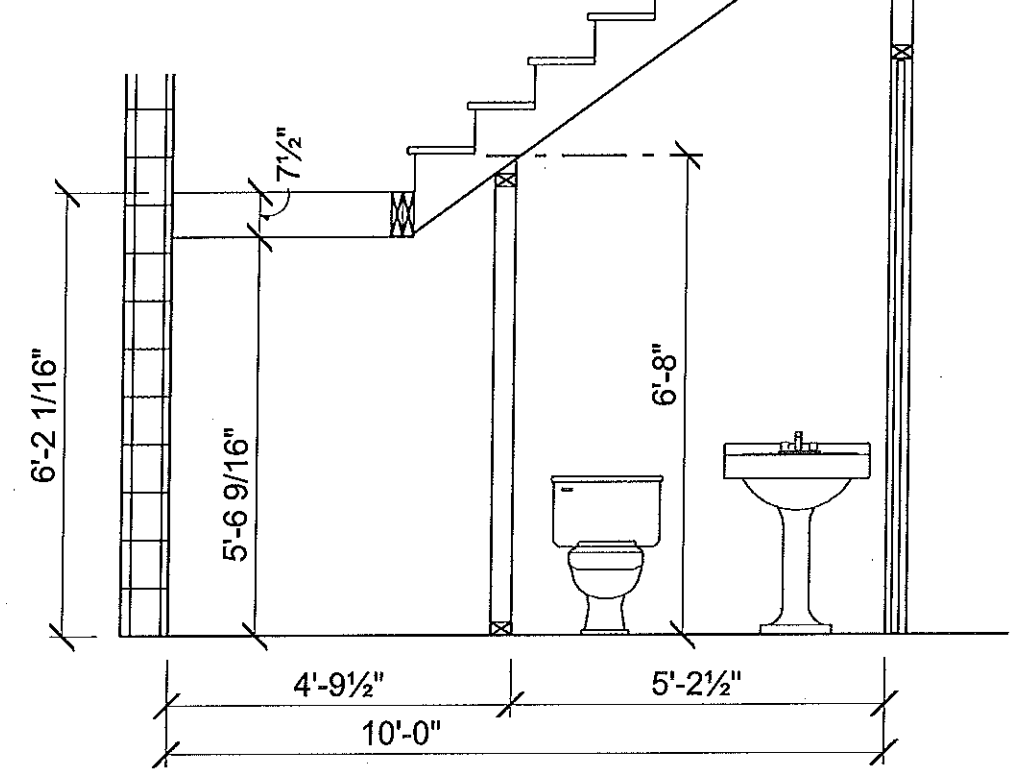
ALLEN ENGINEERING & CONSTRUCTION SERVICES

RICH ALLEN PROFESSIONAL ENGINEER  
 P.E. #66920 C.A. #9542  
 8809 SKYMASTER DRIVE  
 NEW PORT RICHEY, FL 34654  
 727-842-6100  
 richallenpe@gmail.com



**STAIR SECTION 'A-A'**  
3/8" = 1'-0"

**POWDER BATH ELEVATION**  
3/8" = 1'-0"



**STAIR PLAN**  
1/4" = 1'-0"

AA  
3B

PLAN 3762  
**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #56920 C.A. #9542  
8805 SKYMASTER DRIVE  
NEW PORT RICHEY, FL 34654  
727-842-6100  
richallenpe@gmail.com

SCALE: PER DRAWING  
A.E.C.S. #16084  
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS AND IT IS THE DESIGNER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO BE BOUND BY THE BUILDING CODES AND REGULATIONS OF THE JURISDICTION IN WHICH THE PROJECT IS LOCATED.  
SIGNED FOR THE PROJECT ONLY:  
RICHARD E. ALLEN P.E. #56920

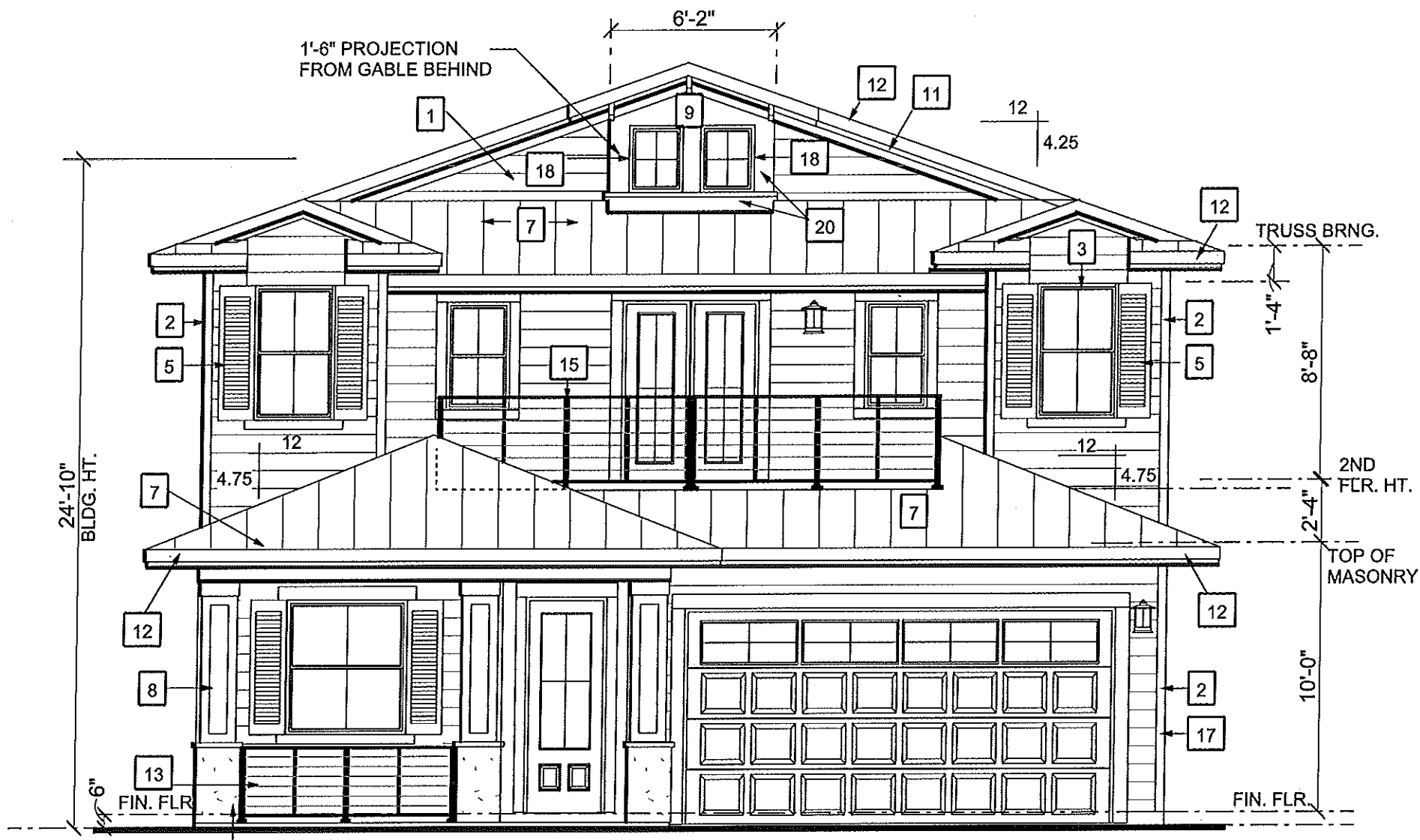
LOT 17  
**SAFETY HARBOR**  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

PLAN DATE
1. 02-16-2017
2. 03-15-2017

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NEW PORT RICHEY, FL 34655

**3B**

PLAN DETAILS



**FRONT ELEVATION**

3/16" = 1'-0"



**REAR ELEVATION**

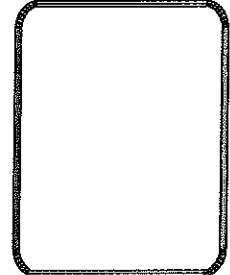
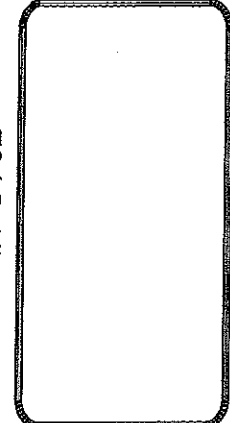
**ELEVATION NOTES**

- 1 HORIZONTAL 8" LAP CEMENT BOARD SIDING
- 2 CEMENT BOARD CORNER TRIM
- 3 4" CEMENT BOARD TRIM
- 4 5/8" STUCCO OVER CMU
- 5 16" W PLASTIC DECORATIVE WINDOW SHUTTERS
- 6 DIMENSIONAL FIBERGLASS SHINGLES
- 7 5V CRIMP GALV. METAL ROOF OVER 5/8" OSB WITH 'PEEL AND STICK' TYPE SWB
- 8 14" SQ. CEMENT BOARD COLUMN BUILD-OUT W/4" CEMENT BOARD CORNER TRIM (4) SIDES
- 9 DECORATIVE PLASTIC BRACKET (SEE DETAIL THIS SHEET)
- 10 7/8" STUCCO FINISH PER ASTM C-926-11a ON PAPER BACKED METAL LATH OVER TYVEK (OR EQUIVALENT) VINYL VAPOR BARRIER ON EXTERIOR WOOD SHEATHING
- 11 CEMENT BOARD FRIEZE W/4" REVEAL
- 12 3-LAYER FASCIA
- 13 PRE-FAB DECO METAL PORCH RAILING
- 14 8" CEMENT BOARD FRIEZE
- 15 42" H METAL GUARD RAILING
- 16 2-LAYER FASCIA
- 17 8" HORIZ. LAP CEMENT BOARD SIDING W/P.T FURRING @ 16" O/C OVER CMU
- 18 24" X 30" FIXED GLASS (BLACKED OUT)
- 19 24" X 24" FIXED GLASS (BLACKED OUT)
- 20 CEMENT BOARD TRIM TYP.

PLAN 3762

SCALE: 1/8" = 1'-0"

FRONT AND REAR ELEVATIONS



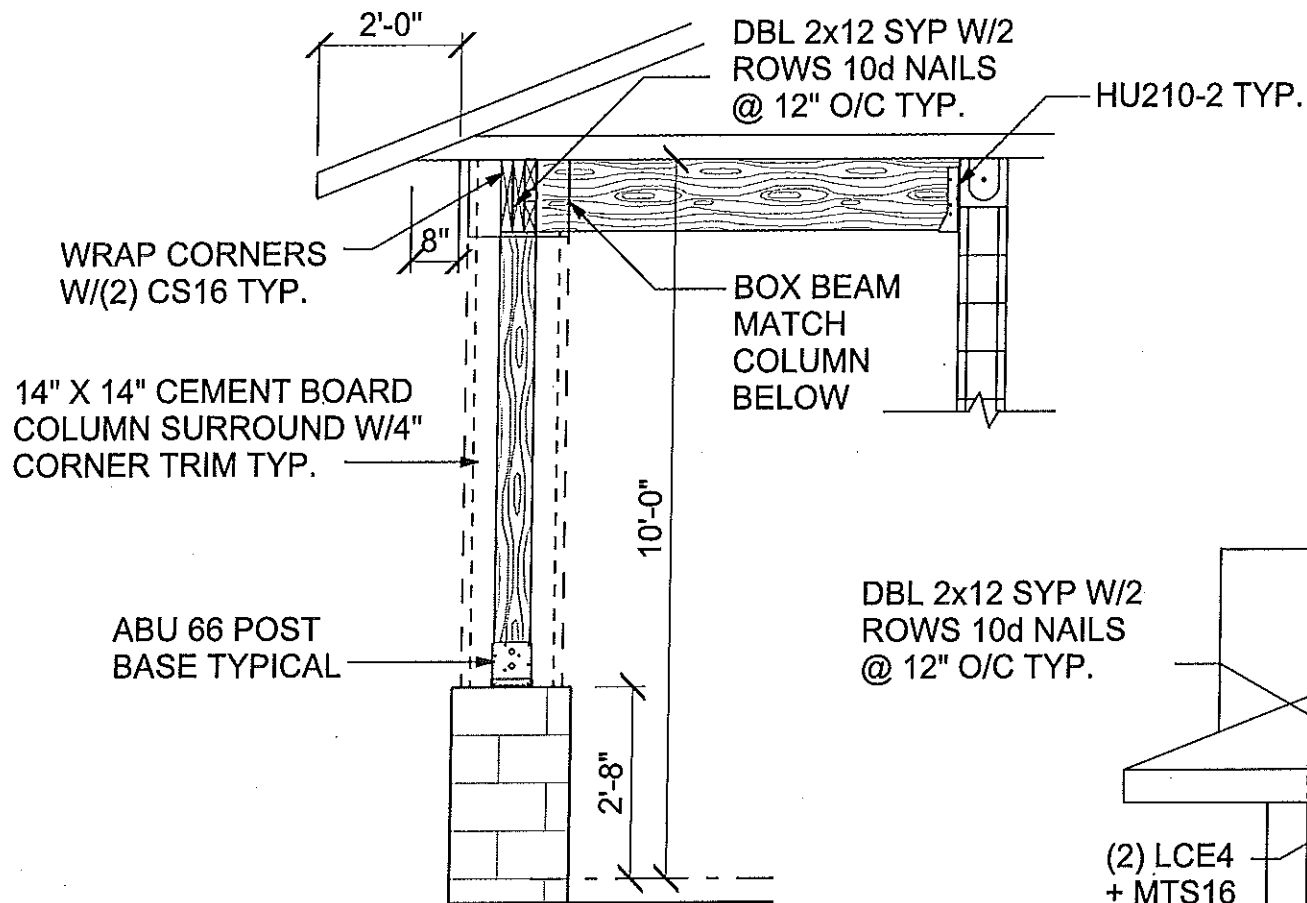
LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

PLAN DATE	
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DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655



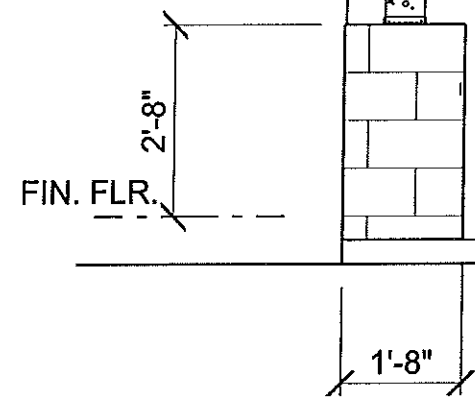




**'AA/4A' SECTION AT COLUMN**

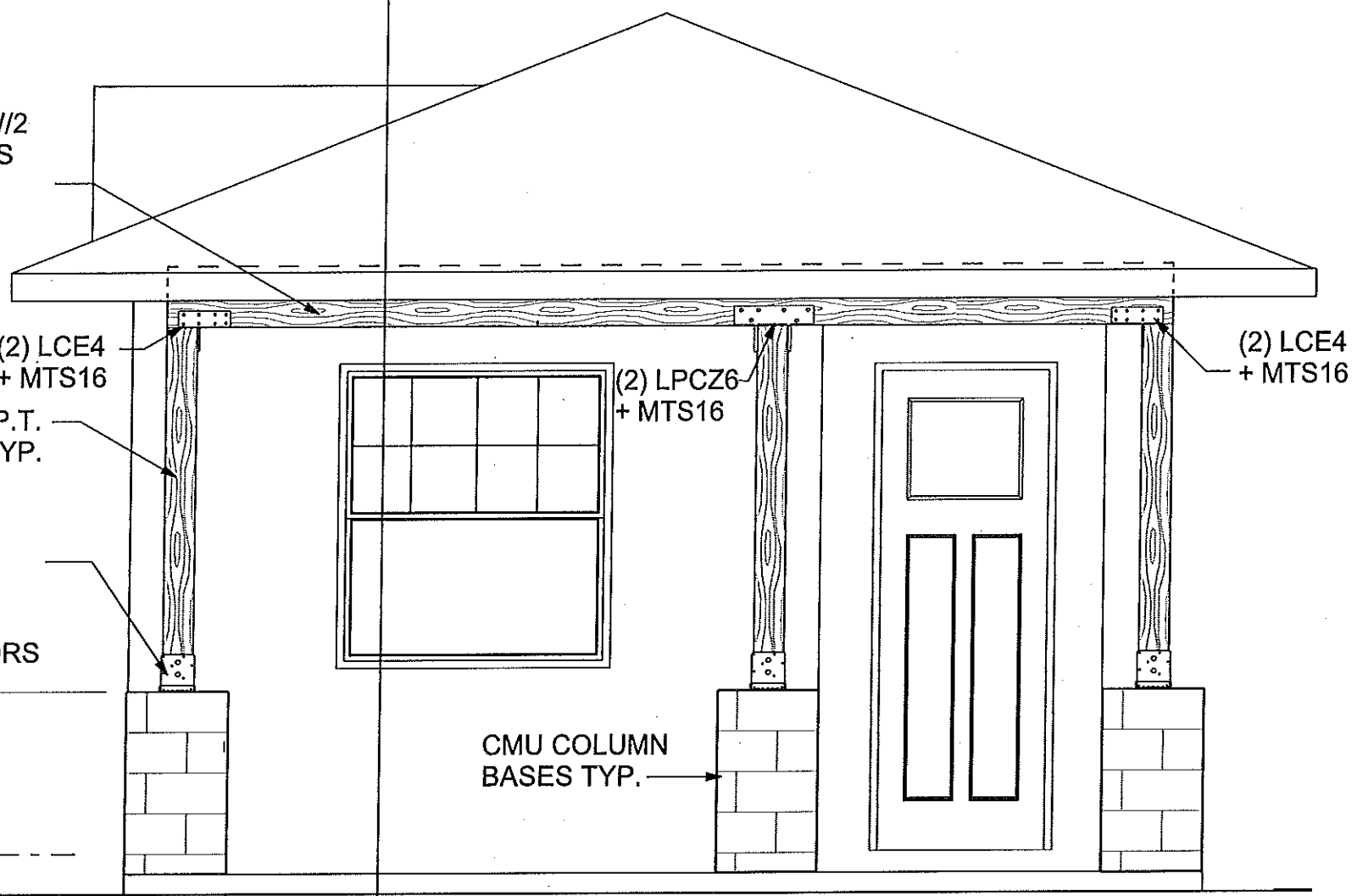
NOTE: ALL NON STRUCTURAL LUMBER IS TO BE SOUTHERN PINE FIR U.N.O.

ABU 66 POST BASE TYPICAL W/ 5/8" X 6" WEDGE ANCHORS



**NAILING SCHEDULE**

- SP1: 4- 10d TO PLATE  
6 -10d TO STUD
- H10: 8-8d X 1 1/2" TO TRUSS & TOP PLATE
- H2: 5-8d
- META16: 6-16d
- CS16: 20-10d
- HTS20: 20-10d
- MSTAM36: 4-1/4" x 1 3/4" TAPCONS



**PORCH COLUMN ELEVATION**

PORCH COLUMN DETAILS

PLAN 3762

A.E.C.S. #16084

SCALE: 3/8" = 1'-0"

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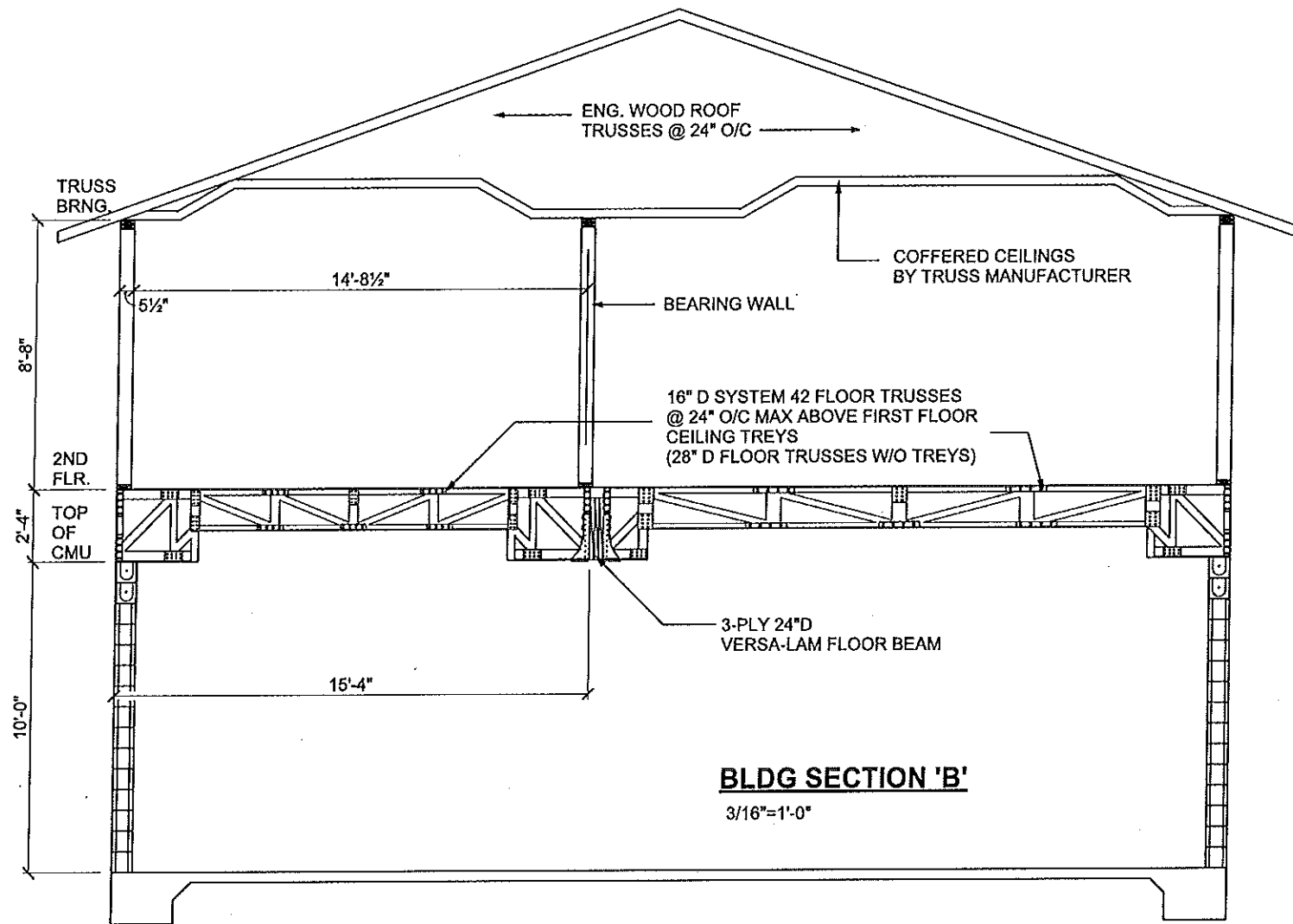
I HEREBY CERTIFY THAT I HAVE REVIEWED THE ATTACHED DESIGN FOR CONFORMANCE WITH THE ULTIMATE AND I AGREE TO BE RESPONSIBLE IN COMPLIANCE WITH SECTION 907 OF THE 2013 FLORIDA RESIDENTIAL BUILDING CODE. THIS SEAL IS VALID FOR STRUCTURE ONLY.  
 RICHARD ENGLISH P.E. #16896

LOT 17  
 SAFETY HARBOR  
 354 HAMILTON AVENUE  
 1 & 2: REVISED PLANS FOR LOT 17

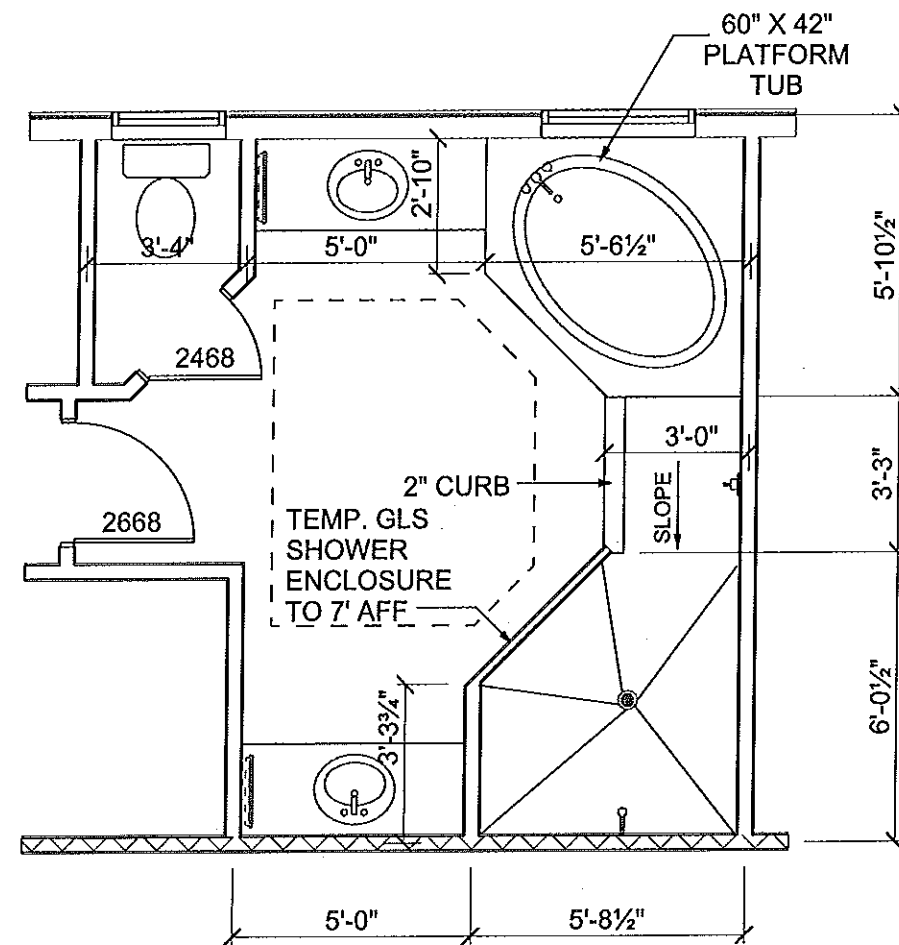
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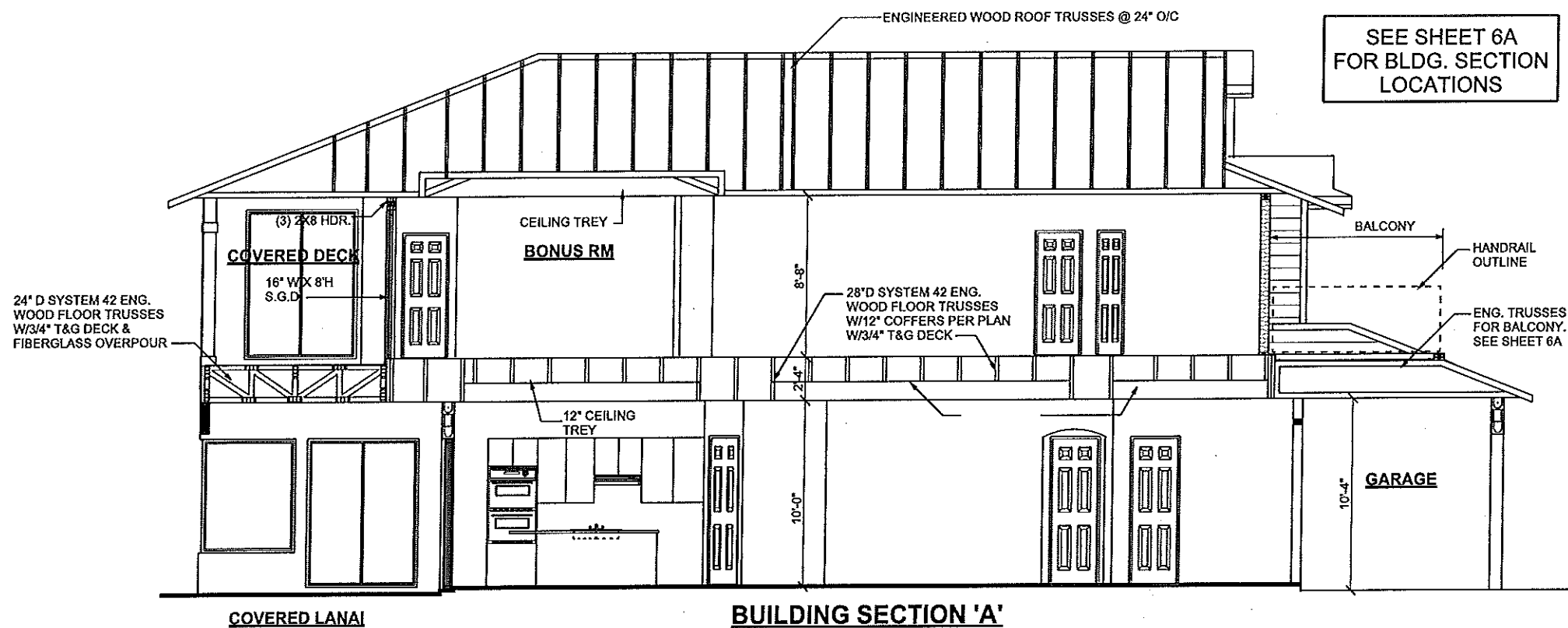
**4A**



**BLDG SECTION 'B'**  
3/16" = 1'-0"



**MASTER BATH PLAN**  
1/4" = 1'-0"



**BUILDING SECTION 'A'**

SEE SHEET 6A  
FOR BLDG. SECTION  
LOCATIONS

PLAN 3762

SCALE: 1/8" = 1'-0"

BUILDING SECTION

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

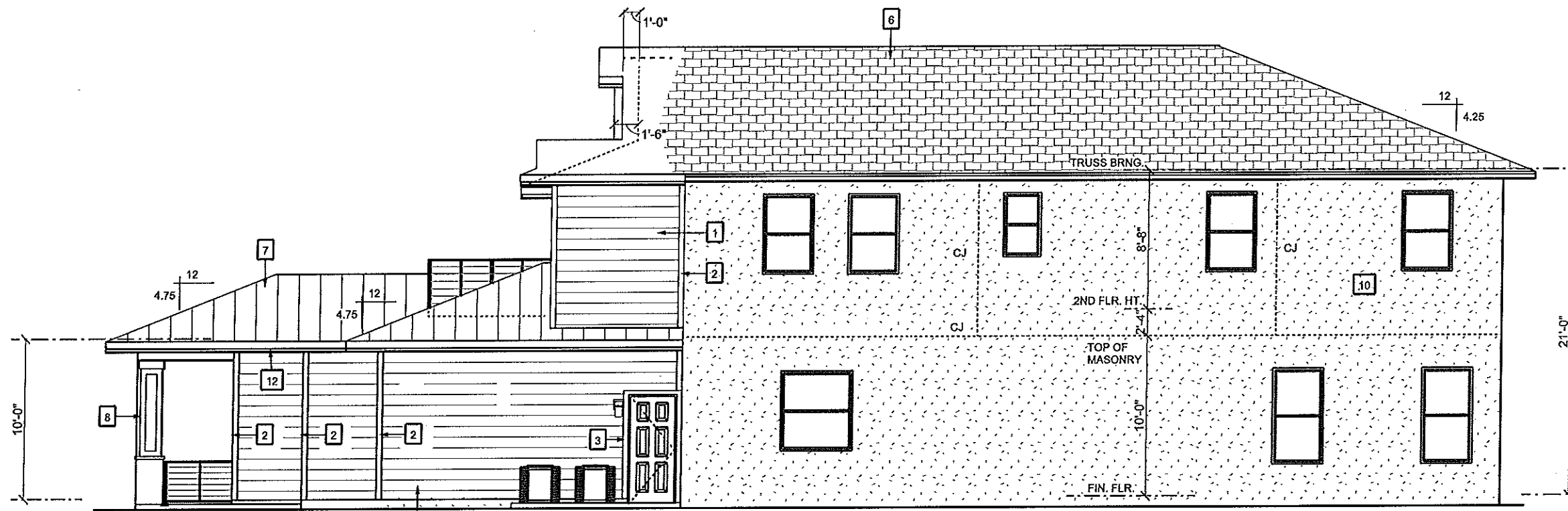
PLAN DATE
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DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

**4B**



**LEFT ELEVATION**



**RIGHT ELEVATION**

PLAN 3762

SCALE: 1/8" = 1'-0"

SIDE ELEVATIONS

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE

1 & 2: REVISED PLANS FOR LOT 17

PLAN DATE

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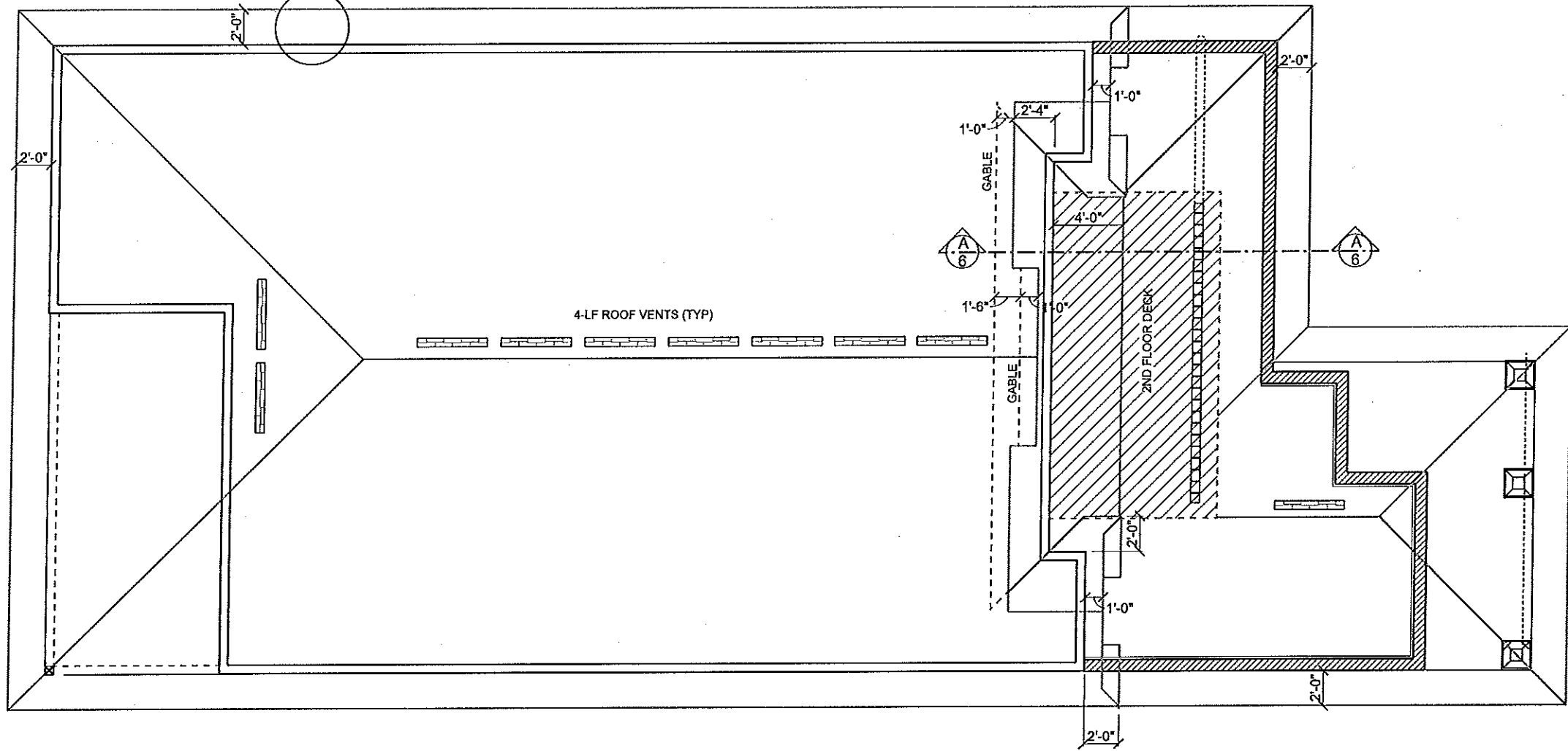
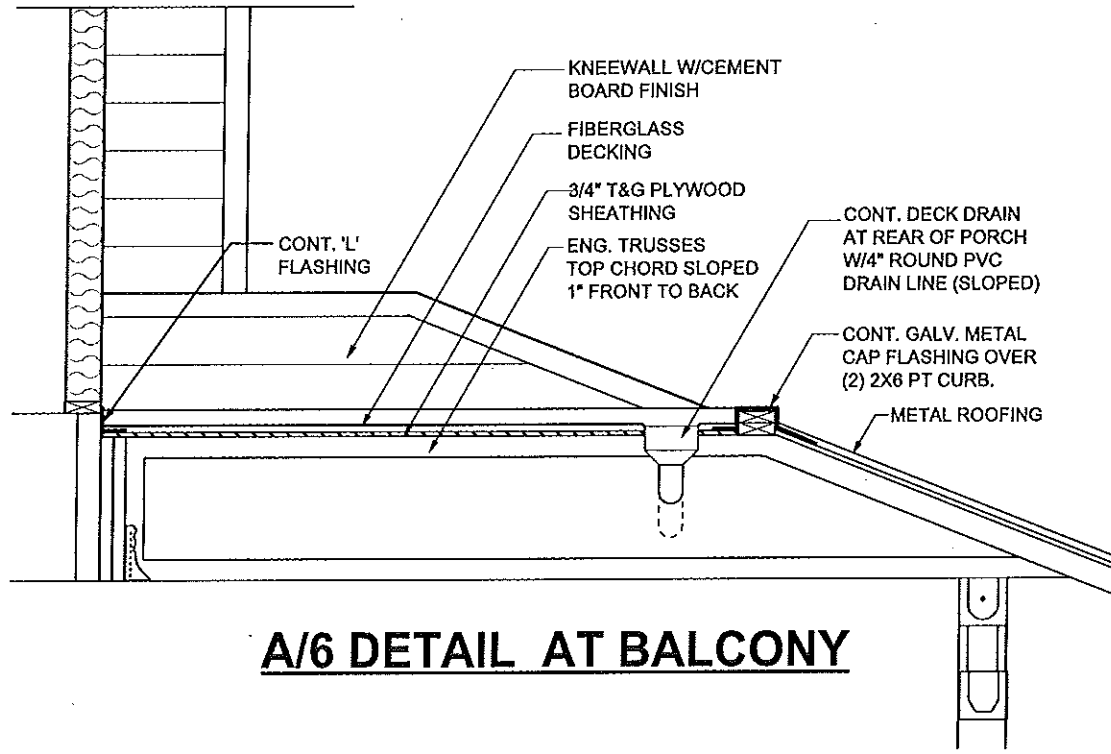
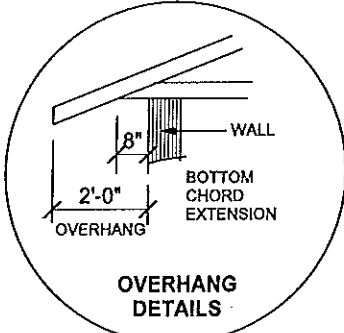
5

TOTAL AREA TO BE VENTILATED = 2976 S.F.  
 2976/300 = 9.92 S.F OR 1429 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 1429 S.I. / 36 S.I. = 40 LINEAL FEET REQUIRED.

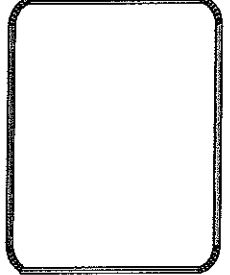
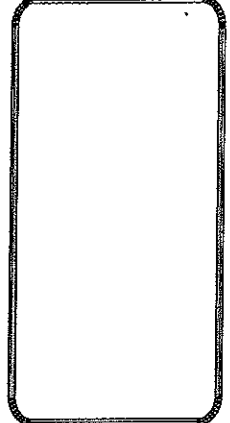
INSTALLATION FOR THIS ROOF IS (10) - 4 FOOT VENTS,  
 TOTALING 40 LINEAL FEET.

TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2



PLAN 3762

SCALE: 1/8" = 1'-0"



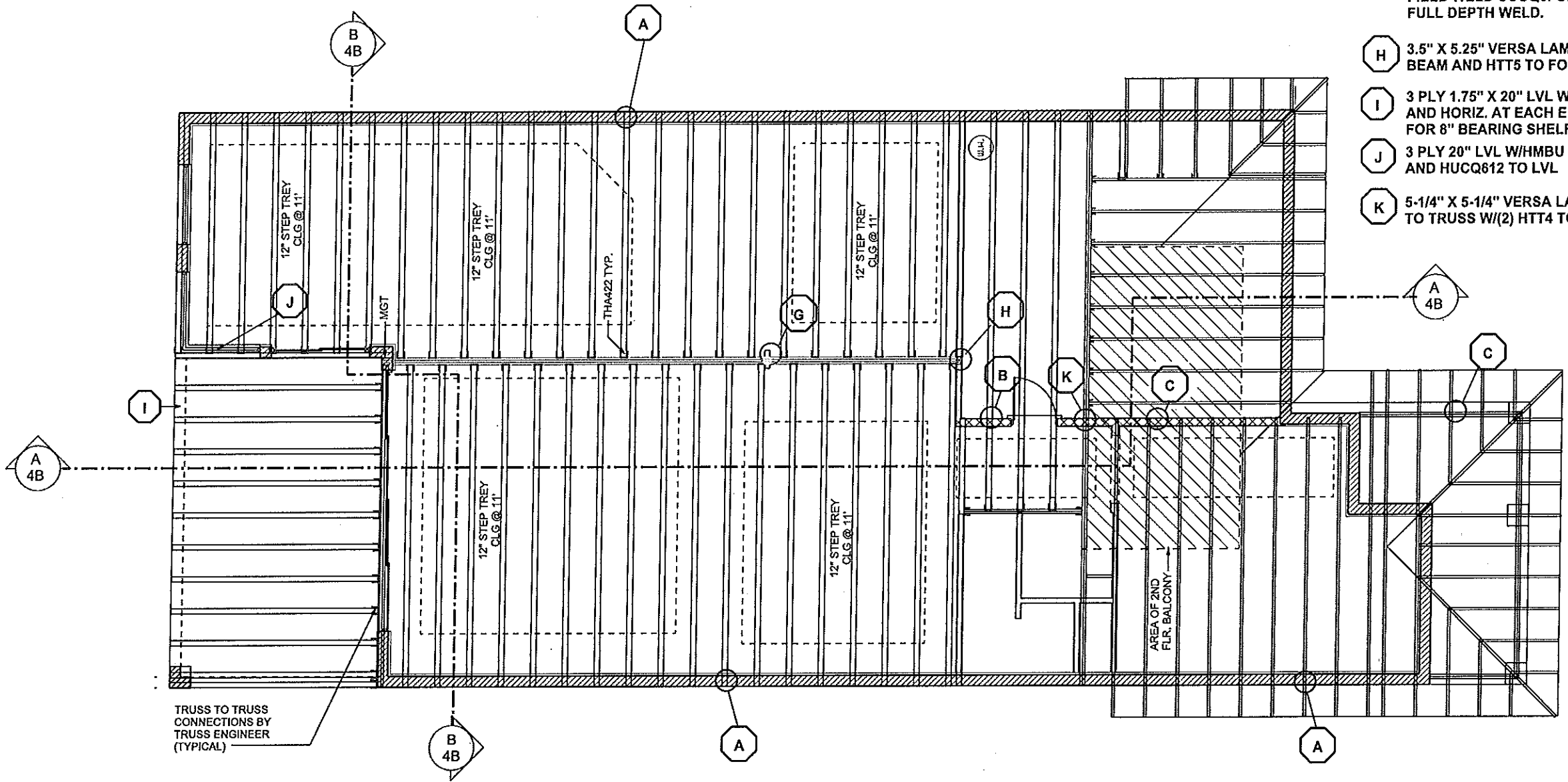
LOT 17  
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 1 & 2, REVISED PLANS FOR LOT 17

PLAN DATE  
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 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

6

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.



- A META24 TYPICAL
- B H3 TYPICAL
- C H10 TYPICAL
- D 4-PLY 20" VERSALAM W/3 ROWS  
7" SDS SCREWS @ 12" O/C
- E HUCQ412-SDS
- F 4X4 PT COLUMN W/ABU44  
W/(2) MTS16 TO BEAM
- G ROUND HSS 6.0" X 0.5" THICK A560 GR STEEL COLUMN  
W/ 12" SQ. X 1/2" THICK BOTTOM PLATE W/(4) 5/8" ATR  
W/6" EMBED & EPOXY W/FULL DEPTH WELD AT TOP.  
FIELD WELD CCOQ6FOR LVL CONNECTION,  
FULL DEPTH WELD.
- H 3.5" X 5.25" VERSA LAM COLUMN W/(2) CS16 TO  
BEAM AND HTT5 TO FOUNDATION
- I 3 PLY 1.75" X 20" LVL W/(2) MSTAM36 VERTICAL  
AND HORIZ. AT EACH END. HOLD CMU DOWN  
FOR 8" BEARING SHELF.
- J 3 PLY 20" LVL W/HMBU TO CMU  
AND HUCQ612 TO LVL
- K 5-1/4" X 5-1/4" VERSA LAM COLUMN W/ (4) CS16  
TO TRUSS W/(2) HTT4 TO FOUNDATION.

TRUSS PLAN

**6A**

DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

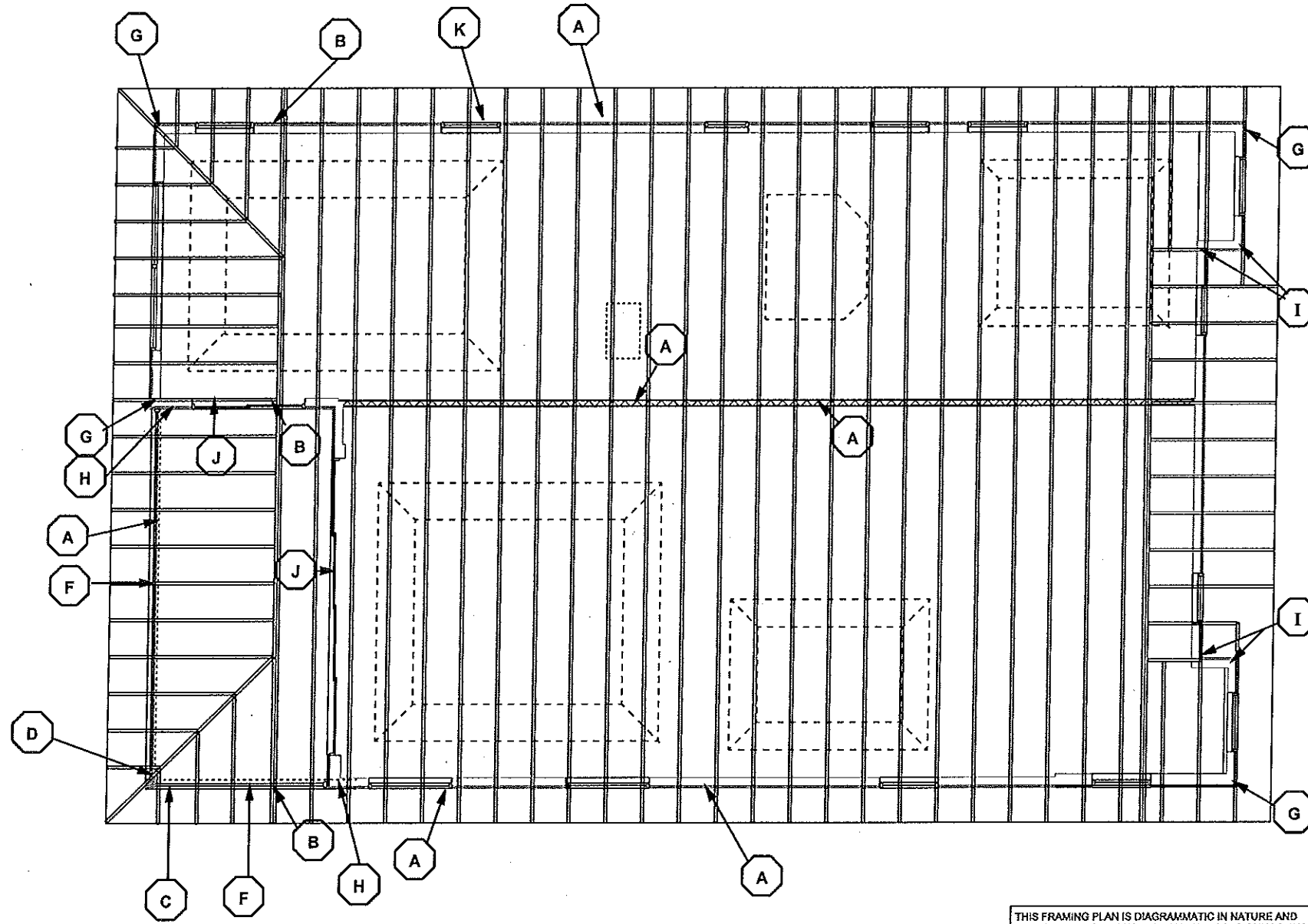
PLAN DATE  
1. 02-16-2017  
2. 03-15-2017

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

I HEREBY CERTIFY THAT I HAVE  
PERFORMED THE ATTACHED DESIGN  
IN ACCORDANCE WITH THE ULTIMATE  
WIND LOADS, EXPOSURE, AND SITE  
IN COMPLIANCE WITH SECTION 601 OF  
THE 2014 FLORIDA RESIDENTIAL  
BUILDING CODE. THIS STRUCTURE IS ONLY  
SEALED BY ME AS A PROFESSIONAL ENGINEER.  
SIGNATURE: *[Signature]*  
RICH ALLEN, P.E. LICENSE # 136836

ALLEN ENGINEERING &  
CONSTRUCTION SERVICES  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #66970 C.A. #9542  
8809 SKYMASTER DRIVE  
NEW PORT RICHEY, FL 34654  
727-842-5100  
richallenpe@gmail.com

A.E.C.S. #16084  
PLAN 3762



- A** 2ND FLOOR LOAD BEARING WALL, 2X4 SYP @ 16" O/C W/H10 TO TRUSS, SP2 TO TOP PLATES, SPH4R TO BOTTOM PLATES, BOTTOM PLATE TO FLOOR TRUSS MTS16
- B** LGT2
- C** 6x6 P.T. COLUMN W/(2) HTS16 & MSTCM60 TO CMU
- D** WRAP BEAM & COLUMNS W/(2) CS16 TYP.
- E** 6x6 P.T. COLUMN W/(2) ACE4 & (2) HTS16 TYP.
- F** 2-PLY 16" VERSALAM W/2 ROWS 10d @ 12" O/C

- G** 5-STUD CORNER COLUMN W/(1) MSTCM60 TO CMU
- H** POCKET FRAME 5-STUD CORNER COLUMN W/(3) JACKS FOR BEAM + (2) KINGS W/(2) MSTCM60 TO CMU W/(3) CS16 TO BEAM

- I** 5-STUD CORNER COLUMN W/(2) CS16 TO FLOOR TRUSS BELOW
- J** TRIPLE 1.75" X 7.25" LVL HEADER W/(2) CS16 EACH END TO DBL JACK DBL KING KING STUD PACKS W/(2) CS16 TO LVL BELOW AND (2) MSTAM36 TO CMU BELOW.

- K** TYPICAL 2ND FLOOR HEADER DBL 2X12 SYP. W/(2) JACKS & (2) KING STUDS W/MSTCM60 TO CMU EACH STUD PACK

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

2ND FLR TRUSS PLAN

**6B**

DEEB FAMILY HOMES, LTD.  
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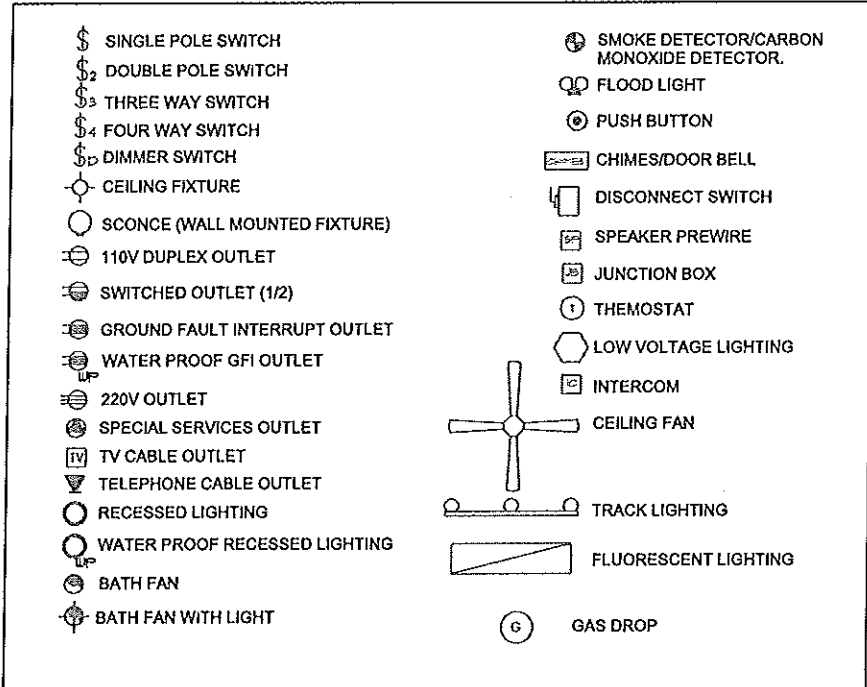
LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
I & 2: REVISED PLANS FOR LOT 17

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH AS APH ULTIMATE WIND LOADS, EXPOSURE B, AND IT IS IN COMPLIANCE WITH SECTION 901 OF THE FLORIDA BUILDING CODE FOR A RESIDENTIAL STRUCTURE ONLY.  
SIGNED: RICHARD ALLEN P.E. #6920

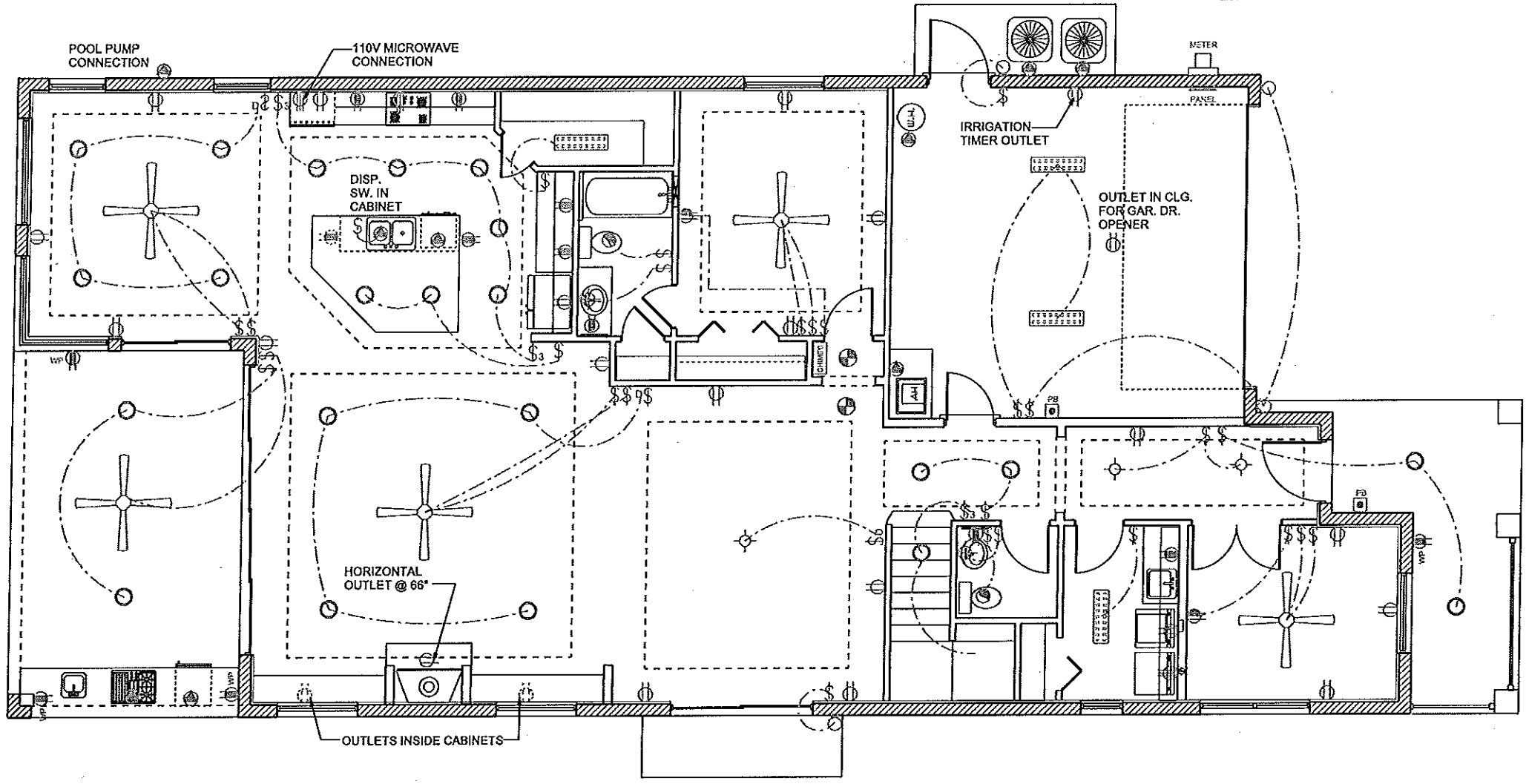
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PLAN 3762

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RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #56920 C.A. #9542  
8809 SKYMASTER DRIVE  
NEW PORT RICHEY, FL 34654  
727-842-6100  
richallenpe@gmail.com



- UNLESS OTHERWISE NOTED:
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)
  2. ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
  3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
  4. ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
  5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2014 FLORIDA RESIDENTIAL CODE, SECTION 314, AND WITH UL 317 AND NFPA 772.
  6. PROVIDE ARC FAULT INTERRUPTERS PER 2008 NEC. 210.12
  7. ALL RECEPTACLES TO BE TAMPER PROOF PER NEC. SECT. 406.11
- KITCHEN: 42"  
 BATHROOM: 42"  
 LAUNDRY: 36" WASHER/24" DRYER/  
 WALL OUTLETS @ 45"  
 EXTERIOR: WATERPROOF @ 12"  
 GARAGE: GFI @ 45"  
 RANGE: 220V @ 4"



PLAN 3762

SCALE: 1/8" = 1'-0"

LOT 17  
SAFETY HARBOR

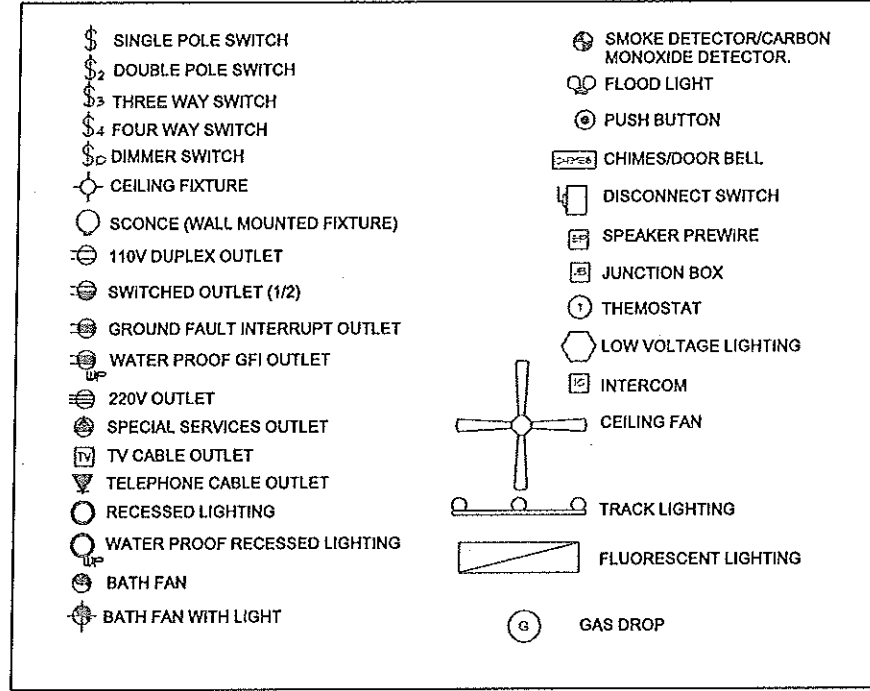
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1 & 2: REVISED PLANS FOR LOT 17

PLAN DATE	1. 02-16-2017
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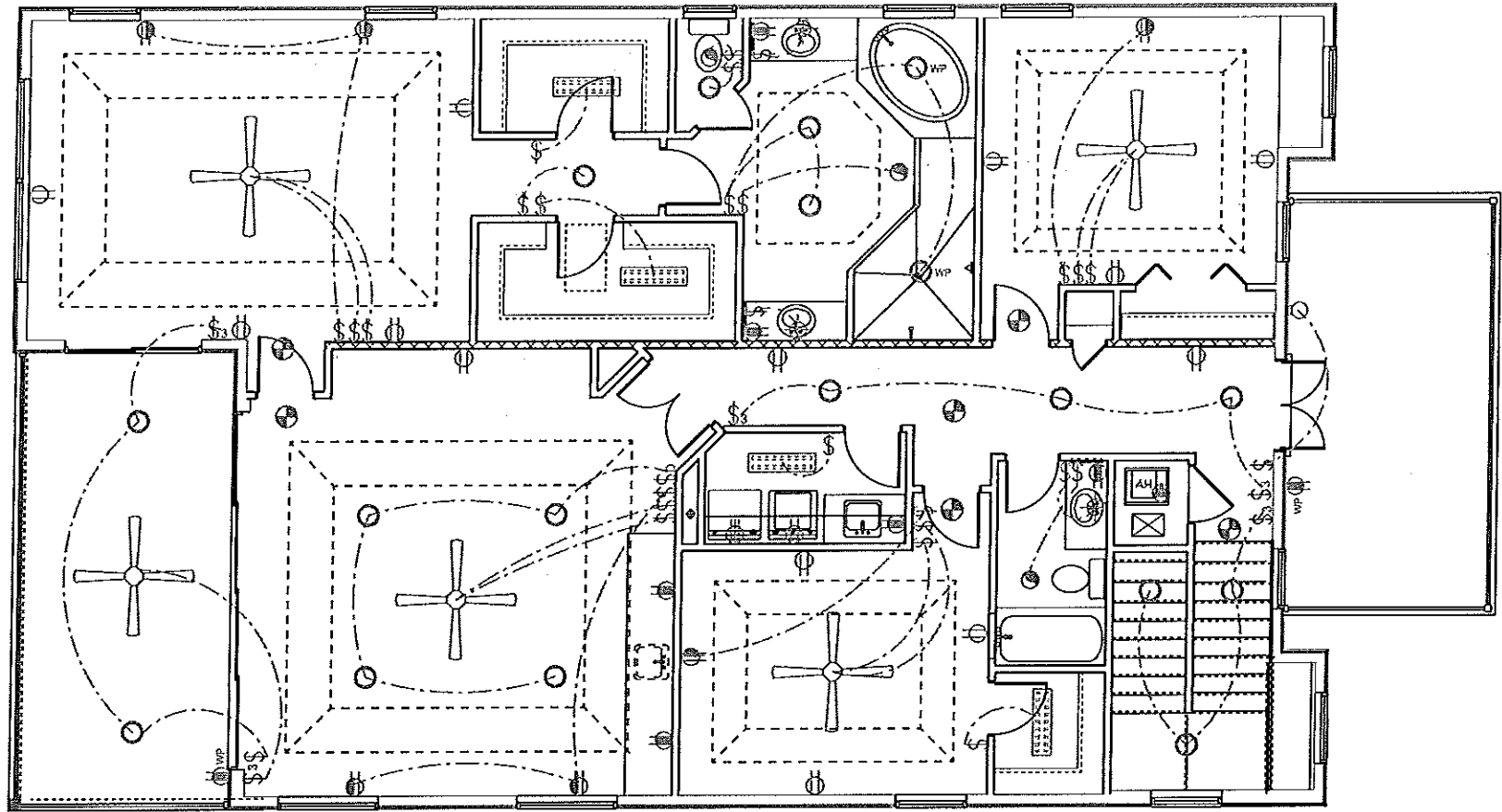
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9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

ELECTRICAL PLAN

7



- UNLESS OTHERWISE NOTED:
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)
  2. ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
  3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
  4. ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
  5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2014 FLORIDA RESIDENTIAL CODE, SECTION 314, AND WITH UL 317 AND NFPA 772.
  6. PROVIDE ARC FAULT INTERRUPTERS PER 2008 NEC. 210.12
  7. ALL RECEPTACLES TO BE TAMPER PROOF PER NEC. SECT. 406.11
- KITCHEN: 42"  
 BATHROOM: 42"  
 LAUNDRY: 36" WASHER/24" DRYER/  
 WALL OUTLETS @ 45"  
 EXTERIOR: WATERPROOF @ 12"  
 GARAGE: GFI @ 45"  
 RANGE: 220V @ 4"



2ND FLR. ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

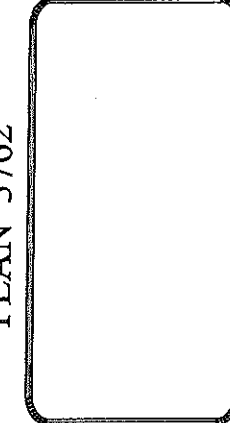
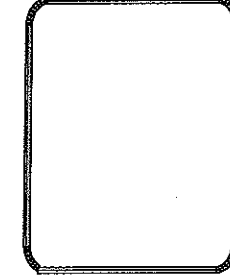
PLAN 3762

**7A**

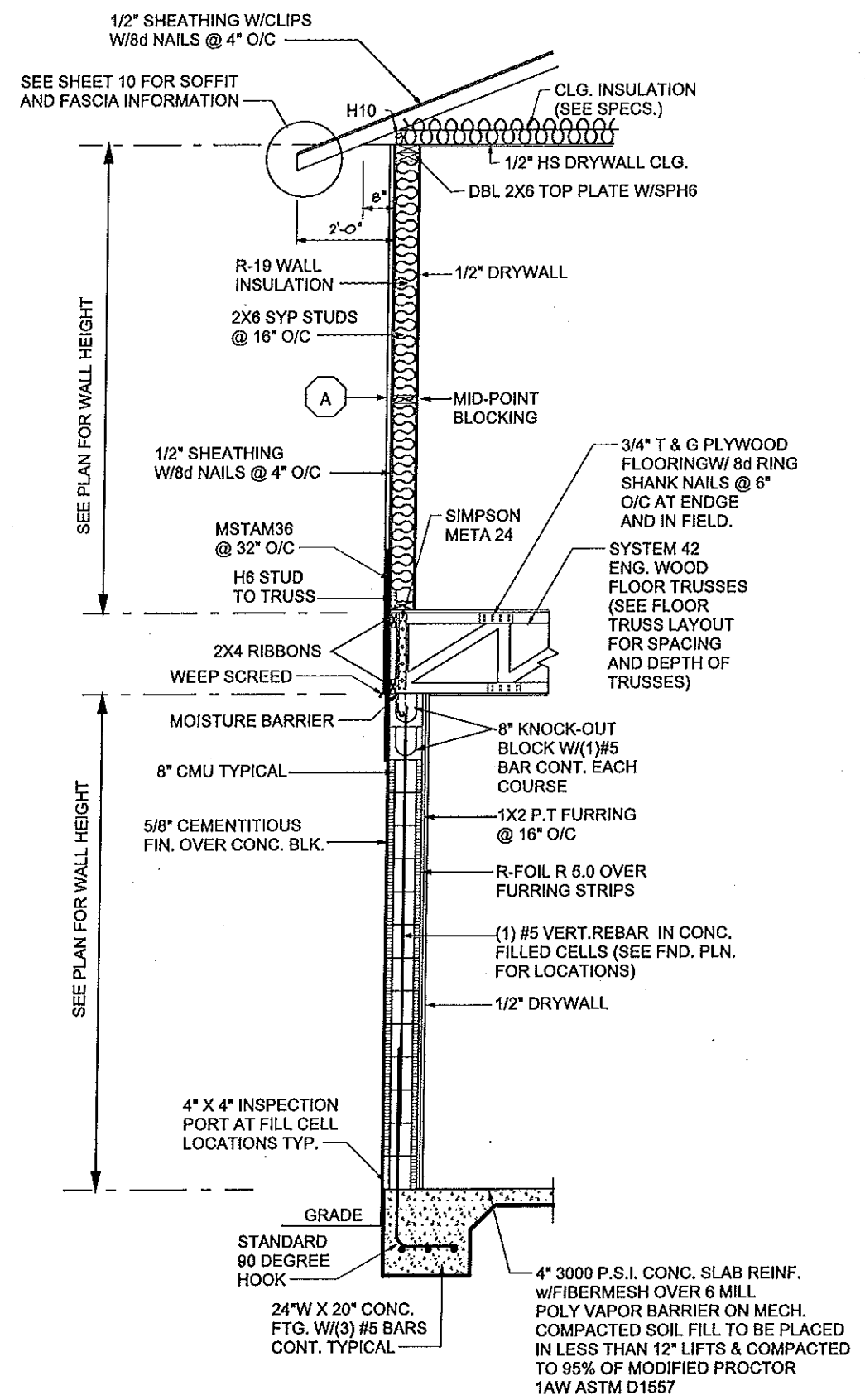
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LOT 17  
 SAFETY HARBOR  
 354 HAMILTON AVENUE  
 1 & 2 REVISED PLANS FOR LOT 17







A 7/8" STUCCO FINISH PER ASTM C-926-11a ON PAPER BACKED METAL LATH OVER TYVEK (OR EQUIVALENT) VINYL VAPOR BARRIER ON EXTERIOR WOOD SHEATHING.

1 TYP. 2-STORY WALL SECT.

CONSTRUCTION DETAILS

10A

DEEB FAMILY HOMES, LTD.  
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LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
1 & 2: REVISED PLANS FOR LOT 17

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH THE APPLICABLE CODES, ORDINANCES, AND REGULATIONS. I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF FLORIDA. I HAVE REVIEWED THE PLANS AND I AM SIGNED AND SEALED FOR THE PROJECT. ONLY.  
SIGNED: RICHARD E. ALLEN P.E. #6926  
DATE: 03/15/17

A.E.C.S. #16084

PLAN 3762

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