

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB ON GRADE SHALL COMPLY WITH FBC SECT. 1911.2 (EXCEPTION 1)

**FOOTING LEGEND**

- 1 RECESSED 16" X 16" CONC. FTG. W/(2) #5 BARS CONT. BETWEEN COLUMN PADS
- 2 24" X 24" X 20" CONC. PAD W/3 #5 REBARS EACH WAY
- 3 30" X 30" X 20" DEEP CONC. FTG. W/(3) #5 BARS EACH WAY
- 4 36" X 36" X 20" CONC. PAD W/4 #5 REBARS EACH WAY
- 5 40" X 40" X 20" CONC. PAD W/5 BARS AT 6" O.C EACH WAY
- 6 48" X 48" X 20" D CONC. PAD W/5 BARS @ 6" O/C EACH WAY

**TERMITE SPECIFICATIONS**

INSTALL 'BORA-CARE' TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

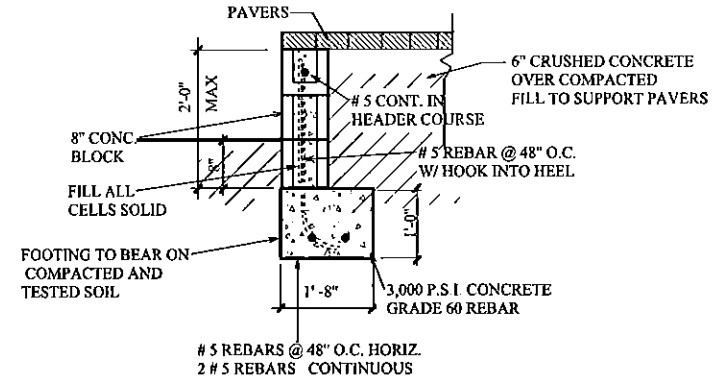
**SEE SHEET 1A FOR FOUNDATION PLUMBING AND EXPANSION PLAN**

**NOTES**

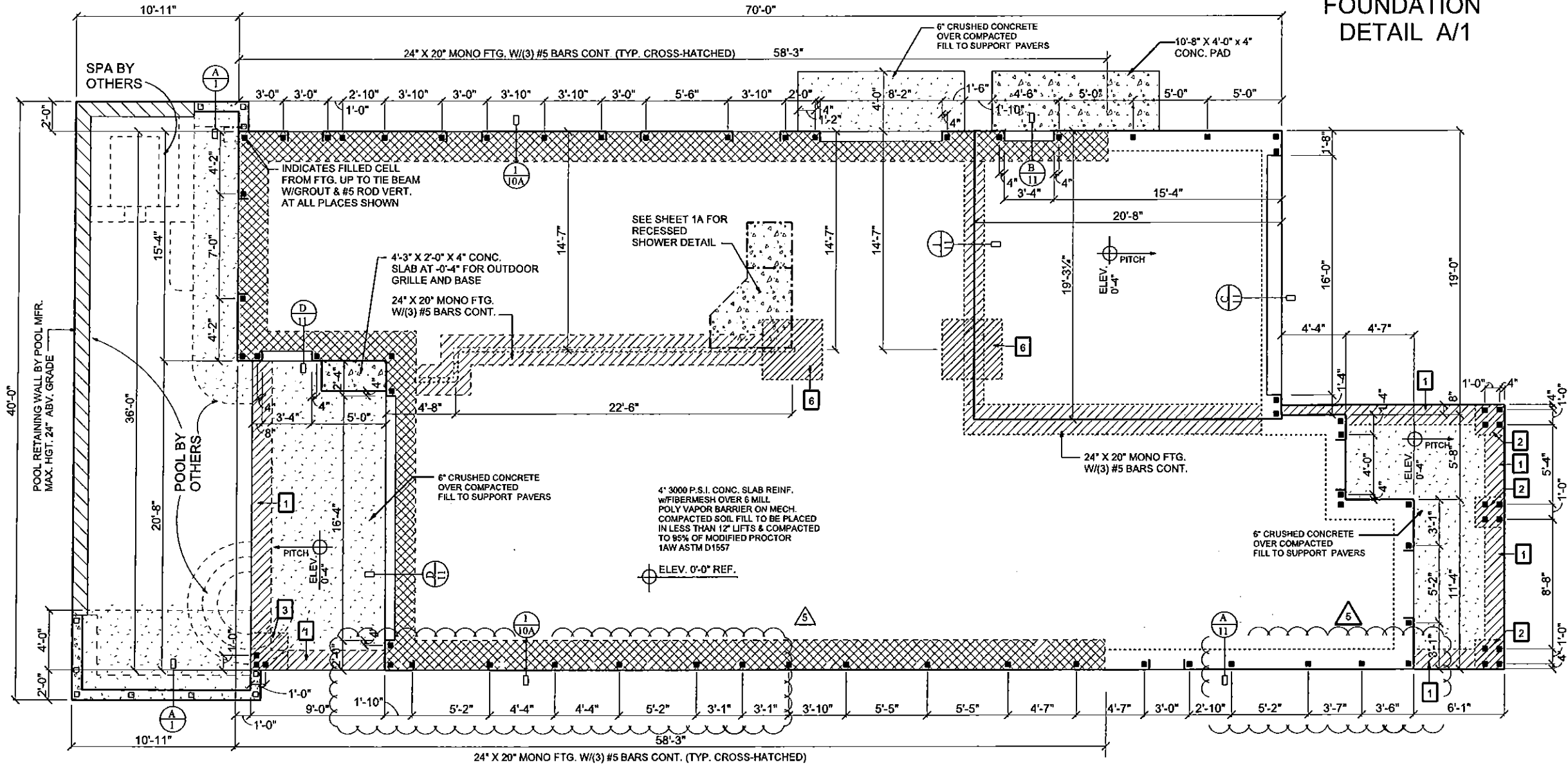
- 1) NO SOILS INFORMATION PROVIDED. PRESUMED ALLOWABLE SOIL BEARING CAPACITY IS 2,000 P.S.F.
- 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
- 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
- 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 5) REFER TO STRUCTURAL ENGINEER NOTES.

DRIVEWAY SPEC:  
DRIVEWAY NOT IN RIGHT OF WAY TO BE BRICK PAVERS.

DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT



**FOUNDATION DETAIL A/1**



PLAN 3834

A.E.C.S. #16084

SCALE: 1/8" = 1'-0"

FOUNDATION PLAN

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #56920 C.A. #9542  
NEW PORT RICHEY, FL 34654  
727-842-6100  
richallenpe@gmail.com

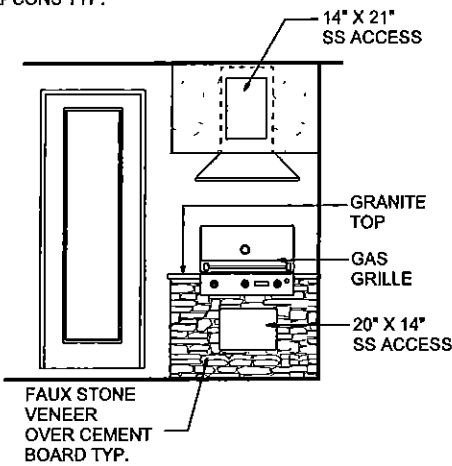
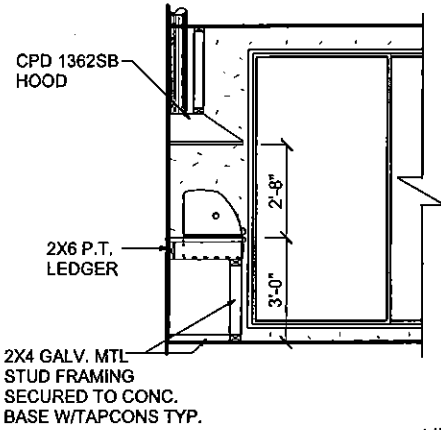
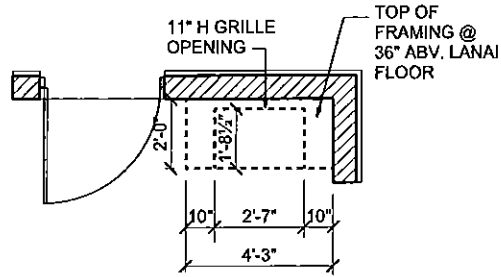
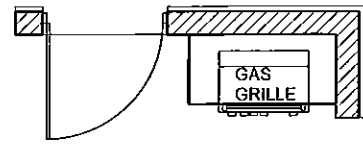
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE, SEALS AND SIGNATURE ONLY.  
SIGNATURE: *[Signature]*  
RICH ALLEN, P.E. #56920

LOT 17  
**SAFETY HARBOR**  
354 HAMILTON AVENUE  
2. PLANS FOR ENG.  
3. ENG. PLANS  
4. 2ND FLOOR SLIDER CHANGES  
5. WINDOW/2ND FLR. A/C REVS.

PLAN DATE
1. 11-18-2016
2. 12-05-2016
3. 12-12-2016

**DEEB FAMILY HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL 34655

**1**



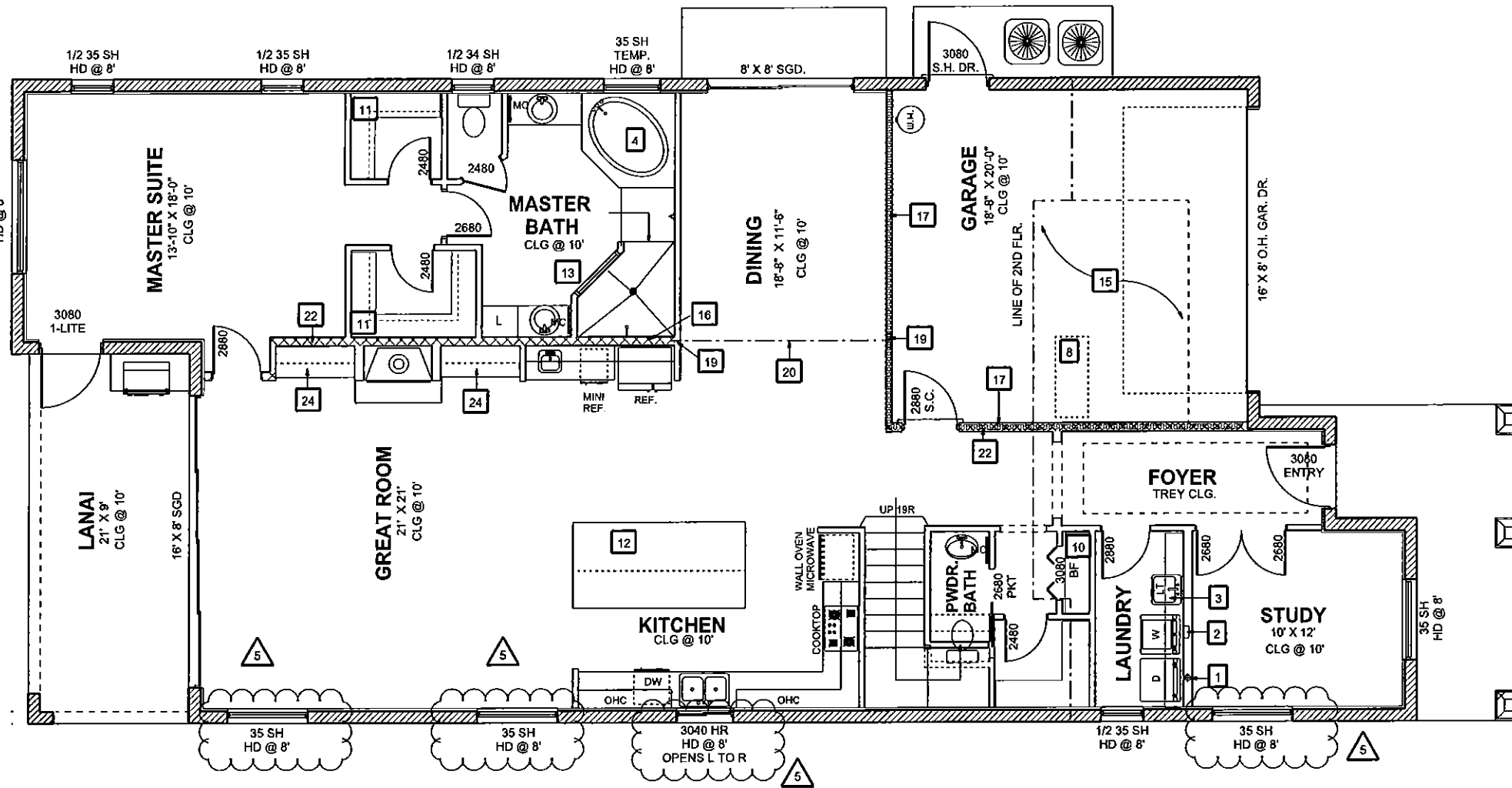
**FLOOR PLAN NOTES**

- 1 DRYER VTR IN 6" WALL
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF

- 12 TOP OF BAR @ 36" AFF
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 14 AIR HANDLER UNIT ON PLATFORM
- 15 AREA OF A/C TRUSSES
- 16 INSTALL 1/4" WATER LINE FOR ICEMAKER
- 17 R-13 BATT INSULATION
- 18 16" W X 6" D FIREPLACE COLUMNS TYP.
- 19 BEARING POINT
- 20 ENG. FLOOR GIRDER TRUSS
- 21 (4) 20" SHELVES
- 22 LOAD BEARING WALL
- 23 CHIMNEY CHASE
- 24 22"D X 36" H BASE CABINET W/12" D BOOKCASE ABOVE TO 8' AFF.

**SQUARE FOOTAGES**

MAIN FLR. LIVING AREA:	2038 S.F.
2ND FLR. LIVING AREA:	1796 SF
TOTAL LIVING AREA:	3834 SF
GARAGE:	398 S.F.
2ND FLR COV. DECK	184 S.F.
LANAI:	189 S.F.
ENTRY:	134 SF
TOTAL:	4739 SF



**OUTDOOR GRILLE DETAILS**

3/16" = 1'-0"

PLAN 3834

SCALE: 1/8" = 1'-0"

NOTED FLOOR PLAN

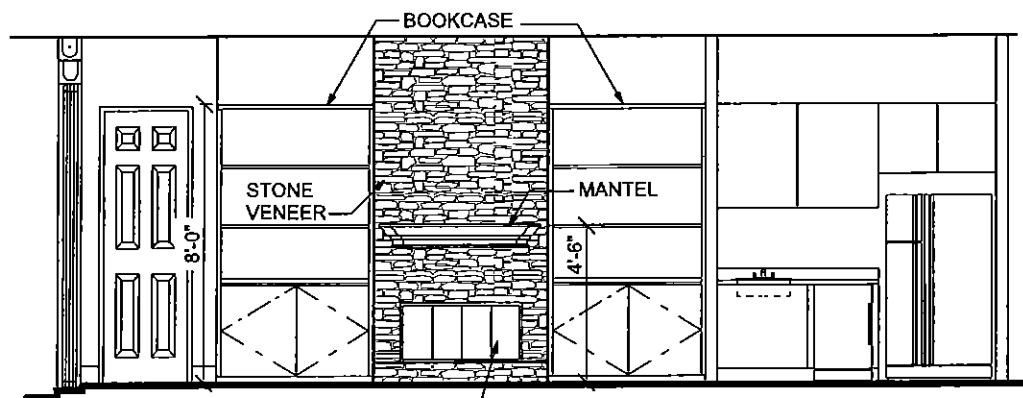
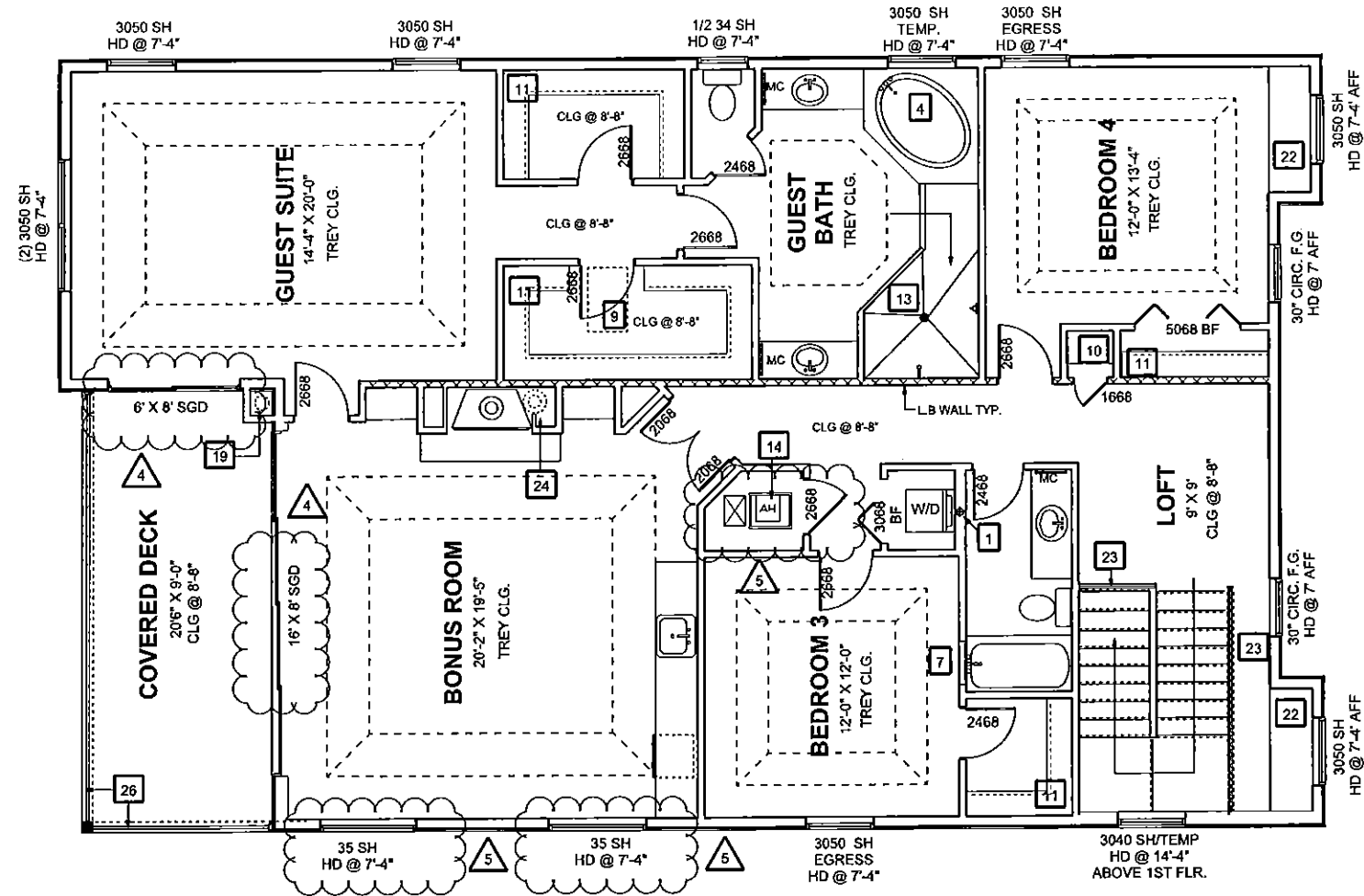
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SAFETY HARBOR  
354 HAMILTON AVENUE  
PLANS FOR ENG.  
2. PLANS FOR ENG.  
3. STRUCT. ENG.  
4. 2ND FLOOR SLIDER CHANGE  
5. WINDOW & 2ND FLR A/C REV'S.

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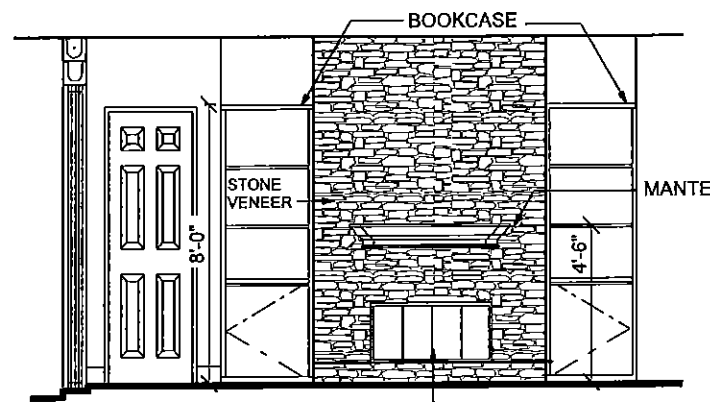
**FLOOR PLAN NOTES**

- 1 DRYER VTR IN 6" WALL
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF
- 12 TOP OF BAR @ 42" AFF
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 14 AIR HANDLER UNIT ON PLATFORM
- 15 AREA OF A/C TRUSSES
- 16 INSTALL 1/4" WATER LINE FOR ICEMAKER
- 17 R-13 BATT INSULATION
- 18 16" W X 6" D FIREPLACE COLUMNS TYP.
- 19 2X CHASE FRAMING FOR GRILLE VENT BELOW
- 20 2850 TEMPERED F.G. HD @ 8' AFF
- 21 (4) 20" SHELVES
- 22 WINDOW SEAT
- 23 STAIR RAIL (SEE DETAIL)
- 24 CHIMNEY CHASE
- 25 RECESSED WALL NICHE: TOP @ 42" AFF  
W/WALL BELOW, HEAD @ 7' AFF
- 26 42"H GUARDRAIL



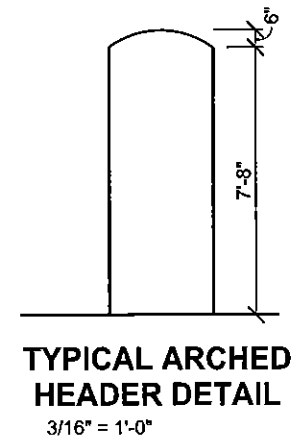
INSTALL 42" PREFAB  
FIREPLACE OVER 8" CMU  
BLOCK PER MANUFACTURE'S  
INSTALLATION INSTRUCTIONS

**FAMILY ROOM WALL ELEVATION**  
3/16" = 1'-0"



INSTALL 42" PREFAB  
FIREPLACE OVER 8" CMU  
BLOCK PER MANUFACTURE'S  
INSTALLATION INSTRUCTIONS

**BONUS ROOM WALL ELEVATION**  
3/16" = 1'-0"



**TYPICAL ARCHED  
HEADER DETAIL**  
3/16" = 1'-0"

PLAN 3834

SCALE: 1/8" = 1'-0"

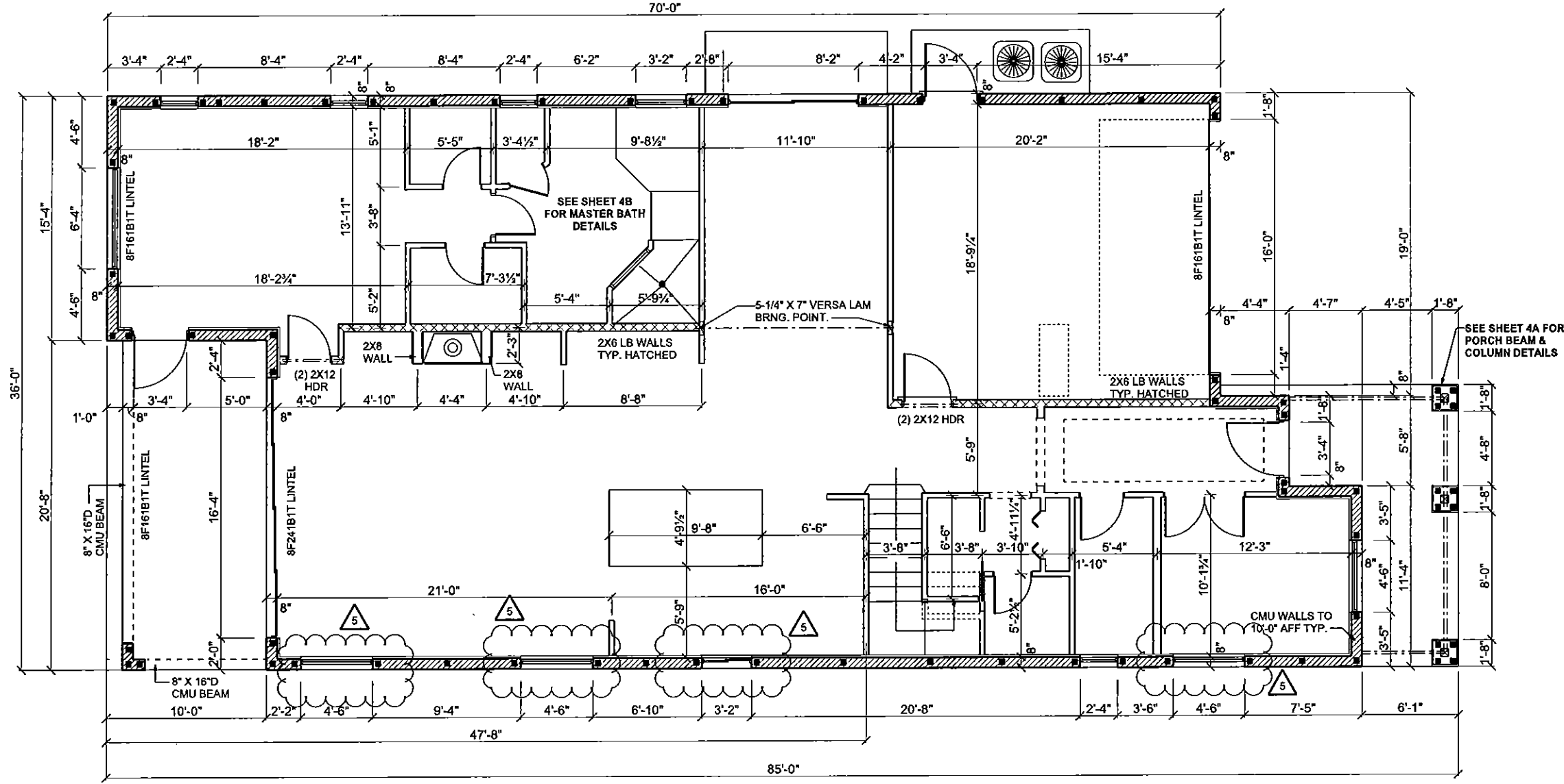
NOTED 2ND FLOOR PLAN

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE  
2. PLANS FOR ENG.  
3. STRUCT. ENG.  
4. 2ND FLOOR SLIDER CHANGE  
5. WINDOW & 2ND FLR A/C REVS.

PLAN DATE
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**2A**



DIMENSIONED FLOOR PLAN

SCALE: 1/8" = 1'-0"

A.E.C.S. #16084

PLAN 3834

3

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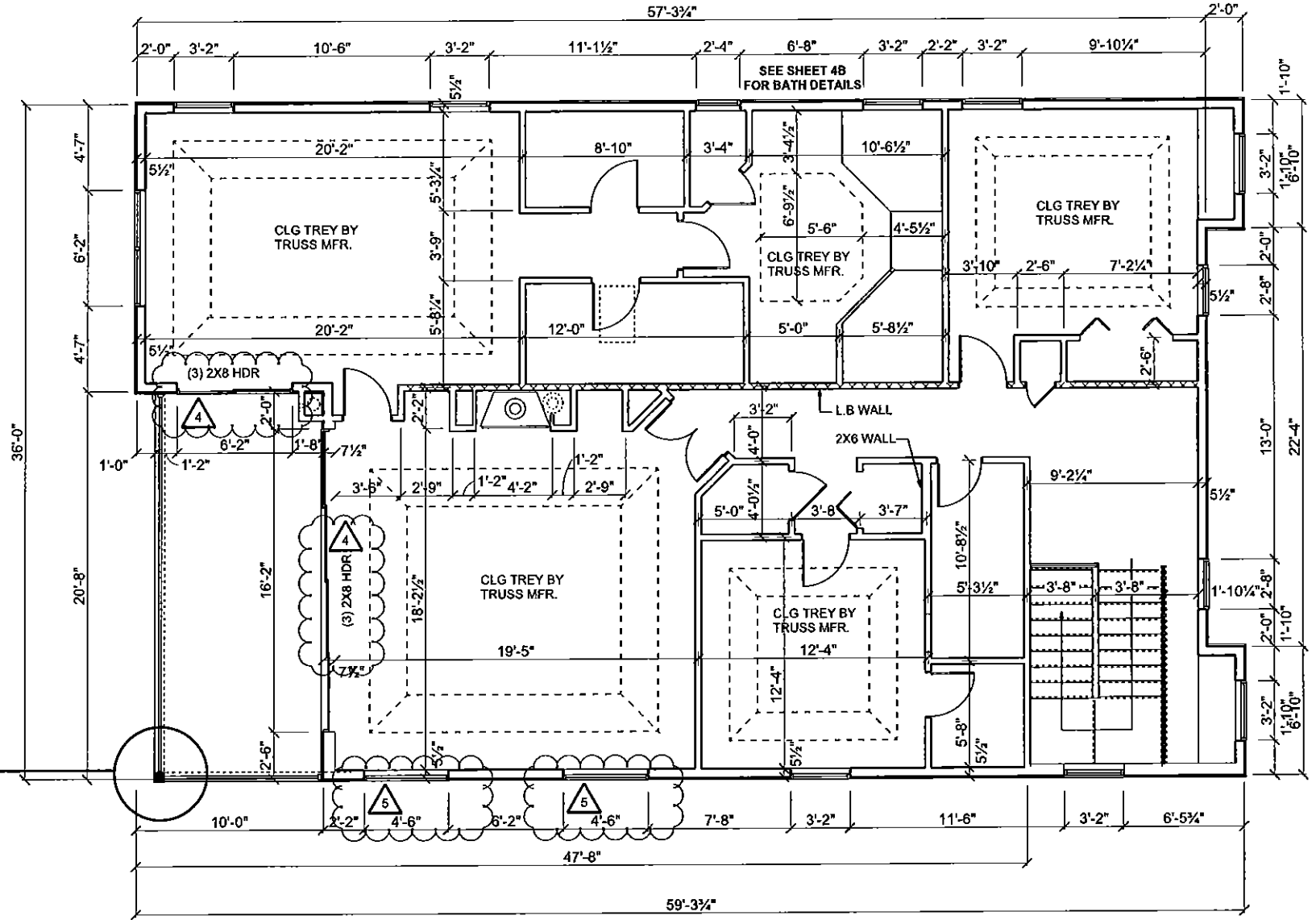
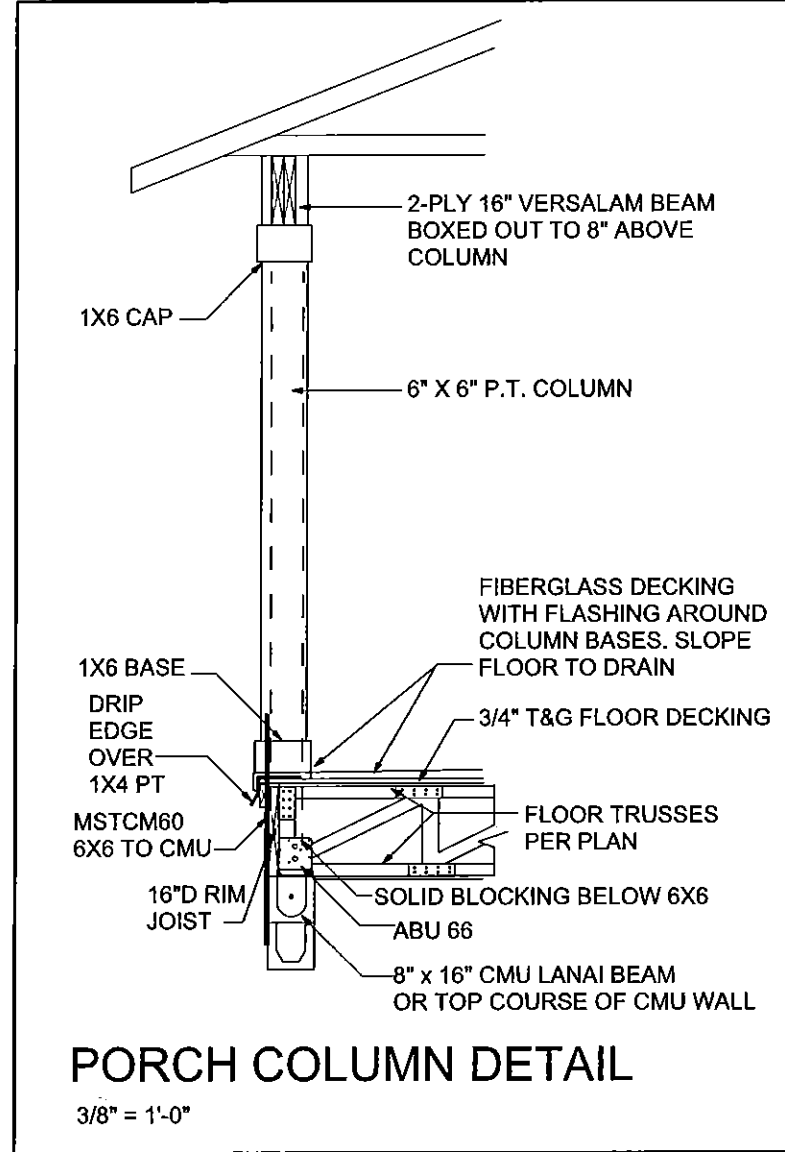
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- LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE
- PLANS FOR ENG.
  - ENG. PLANS
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  - WINDOW/2ND FLR. A/C REVS.

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 165 MPH ULTIMATE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE, SEALED FOR STRUCTURE ONLY.

SIGNATURE: *[Signature]*  
RICHARD E. ALLEN, P.E. 16582

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RICH ALLEN PROFESSIONAL ENGINEER  
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richallenpe@gmail.com



SECOND FLOOR DIMENSIONED FLOOR PLAN SCALE: 1/8" = 1'-0" PLAN 3834

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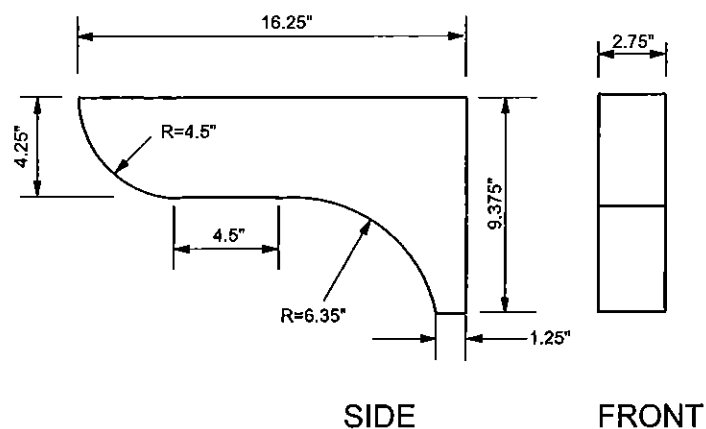
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 RICHARD T. ALLEN P.E. #56920

**LOT 17 SAFETY HARBOR**  
 354 HAMILTON AVENUE  
 2. PLANS FOR ENG.  
 3. ENG. PLANS  
 4. 2ND FLOOR SLIDER CHANGES  
 5. WINDOW/2ND FLR. A/C REVS.

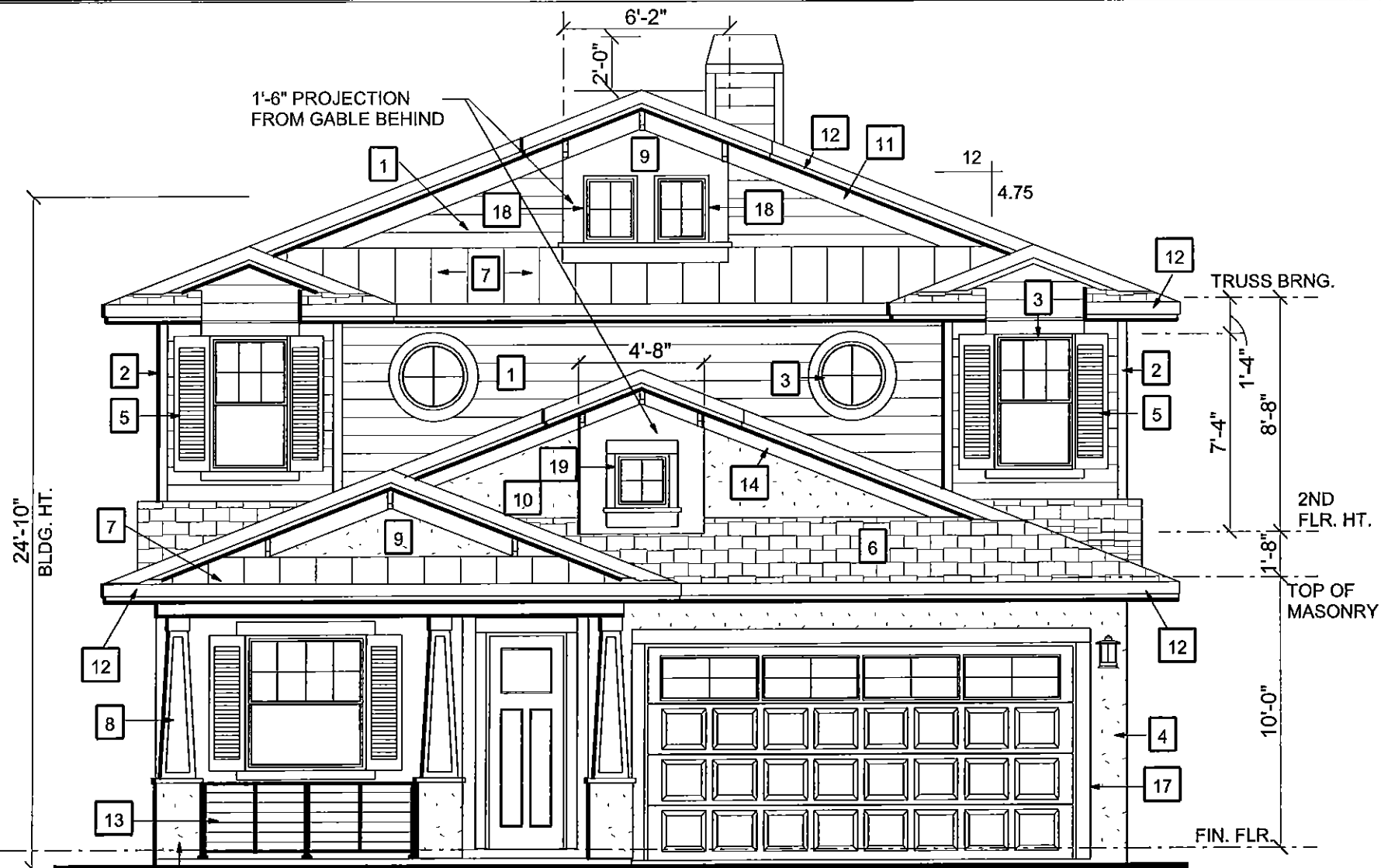
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**3A**



SIDE FRONT  
**BRACKET DETAILS**



**FRONT ELEVATION**

3/16" = 1'-0"

**ELEVATION NOTES**

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>1 HORIZONTAL 8" LAP CEMENT BOARD SIDING</li> <li>2 CEMENT BOARD CORNER TRIM</li> <li>3 4" CEMENT BOARD TRIM</li> <li>4 5/8" STUCCO OVER CMU</li> <li>5 16" W PLASTIC DECORATIVE WINDOW SHUTTERS</li> <li>6 DIMENSIONAL FIBERGLASS SHINGLES</li> <li>7 5V CRIMP GALV. METAL ROOF OVER 5/8" OSB WITH 'PEEL AND STICK' TYPE SWB</li> <li>8 TAPERED SYNTHETIC CRAFTSMAN STYLE COLUMN</li> <li>9 DECORATIVE PLASTIC BRACKET (SEE DETAIL THIS SHEET)</li> </ul> | <ul style="list-style-type: none"> <li>10 7/8" STUCCO FINISH PER ASTM C-926-11a ON PAPER BACKED METAL LATH OVER TYVEK (OR EQUIVALENT) VINYL VAPOR BARRIER ON EXTERIOR WOOD SHEATHING</li> <li>11 FRIEZE BOARD W/8" REVEAL</li> <li>12 3-LAYER FASCIA</li> <li>13 PRE-FAB DECO METAL PORCH RAILING</li> <li>14 SMOOTH BANDING W/8" REVEAL</li> <li>15 42" H METAL GUARD RAILING</li> <li>16 2-LAYER FASCIA</li> <li>17 6" BANDING</li> <li>18 24" X 30" FIXED GLASS (BLACKED OUT)</li> <li>19 24" X 24" FIXED GLASS (BLACKED OUT)</li> </ul> |
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**REAR ELEVATION**

PLAN 3834

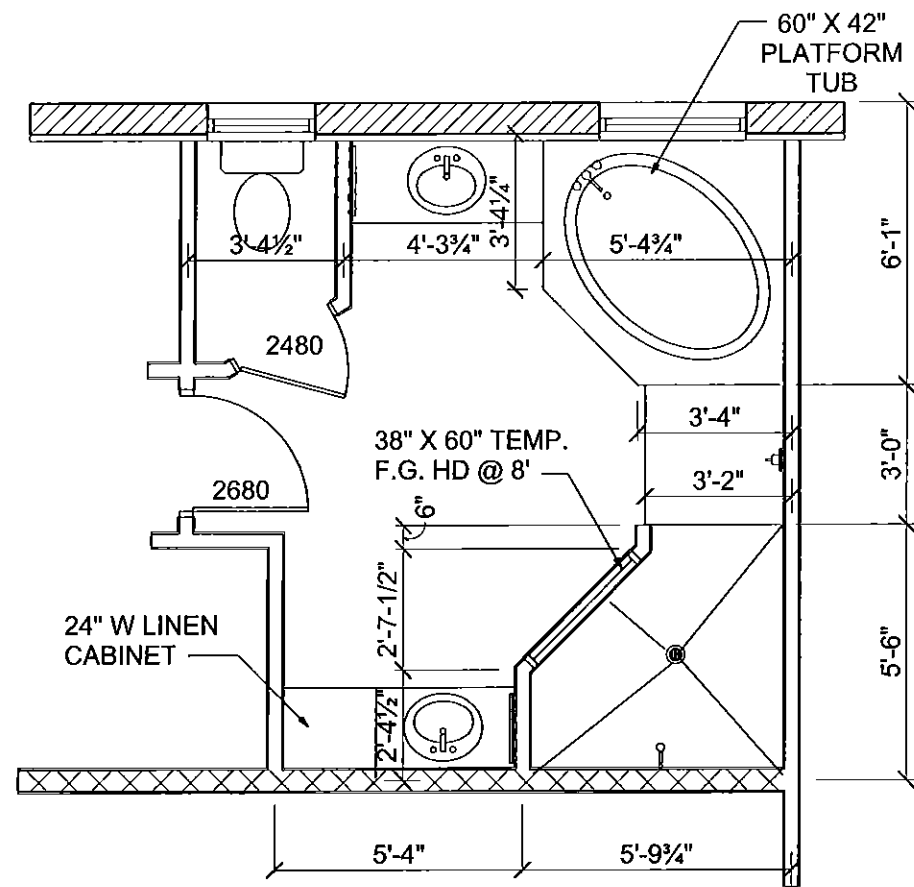
SCALE: 1/8" = 1'-0"

FRONT AND REAR ELEVATIONS

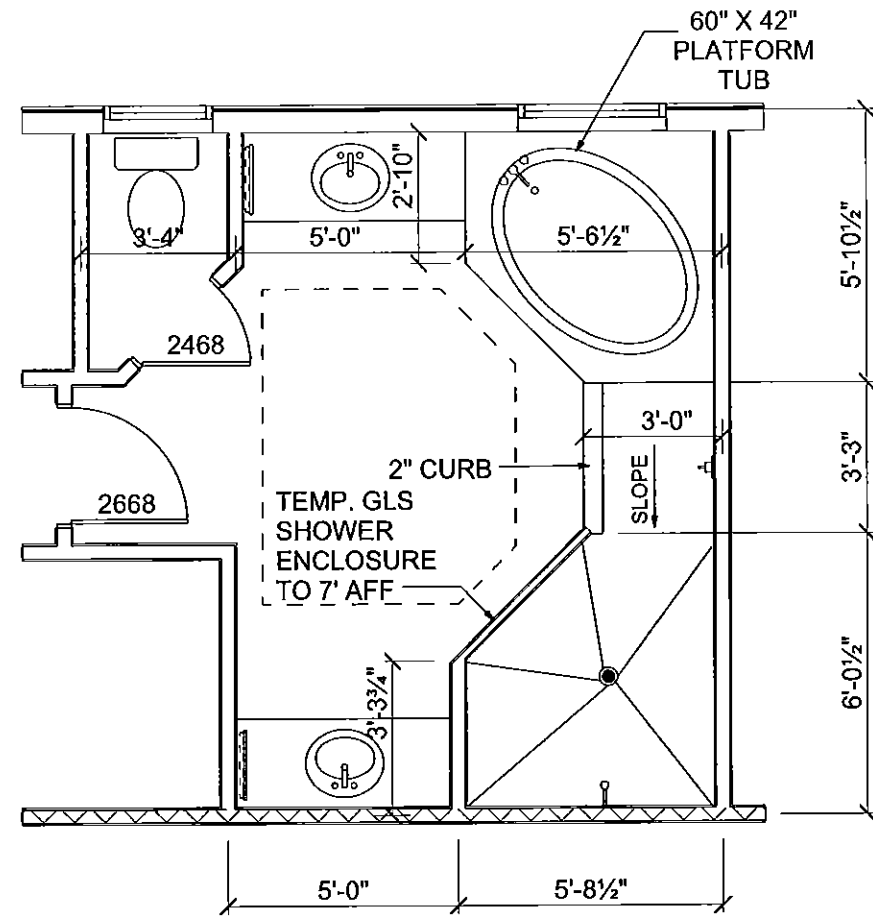
LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE

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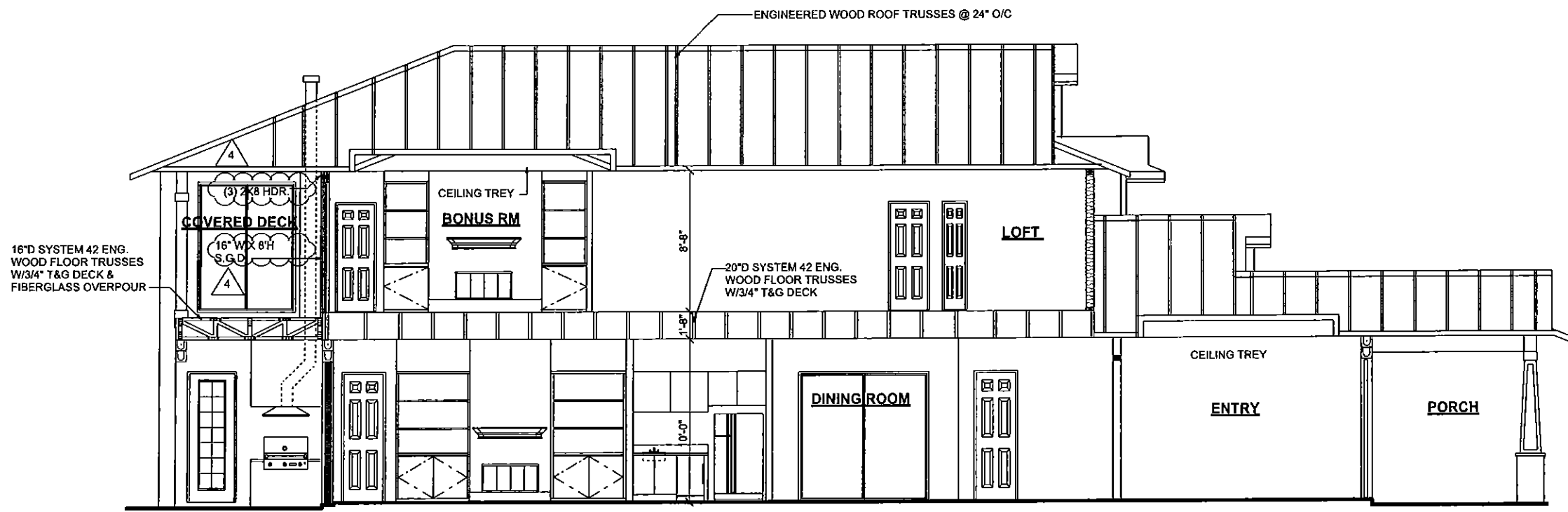
DEEB FAMILY  
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**MASTER BATH PLAN**  
1/4" = 1'-0"



**GUEST BATH PLAN**  
1/4" = 1'-0"



**BUILDING SECTION 'A'**

PLAN 3834

SCALE: 1/8" = 1'-0"

BUILDING SECTION

LOT 17  
SAFETY HARBOR  
354 HAMILTON AVENUE

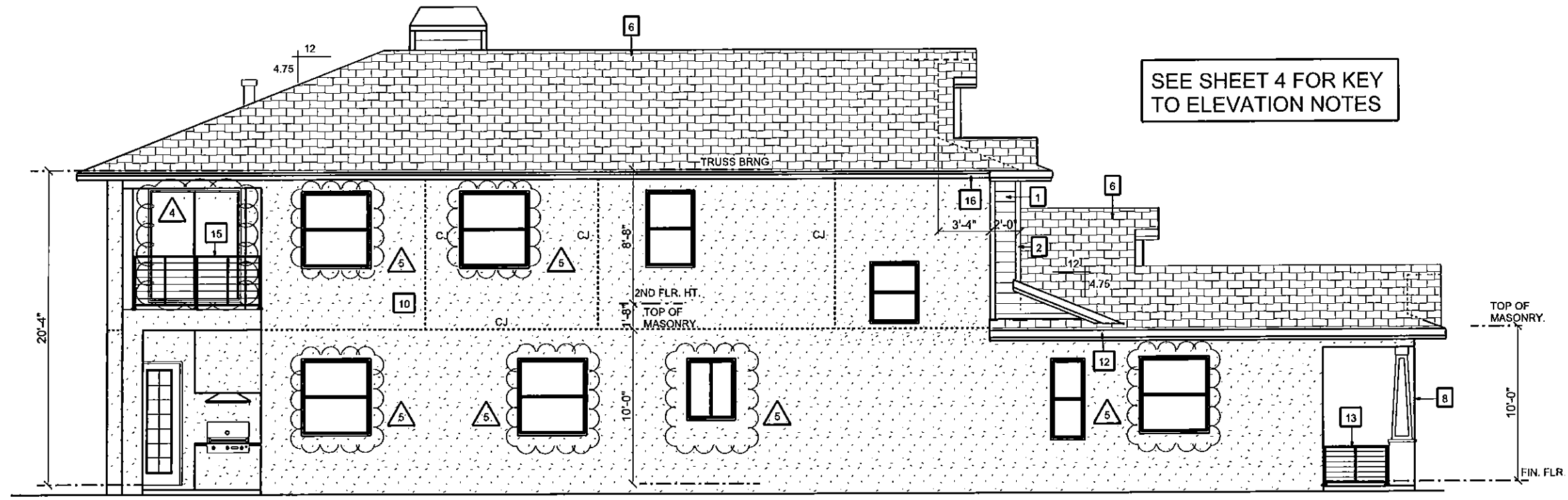
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5. WINDOW & 2ND FLR A/C REYS.

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**4B**



**LEFT ELEVATION**



**RIGHT ELEVATION**

PLAN 3834

SCALE: 1/8" = 1'-0"

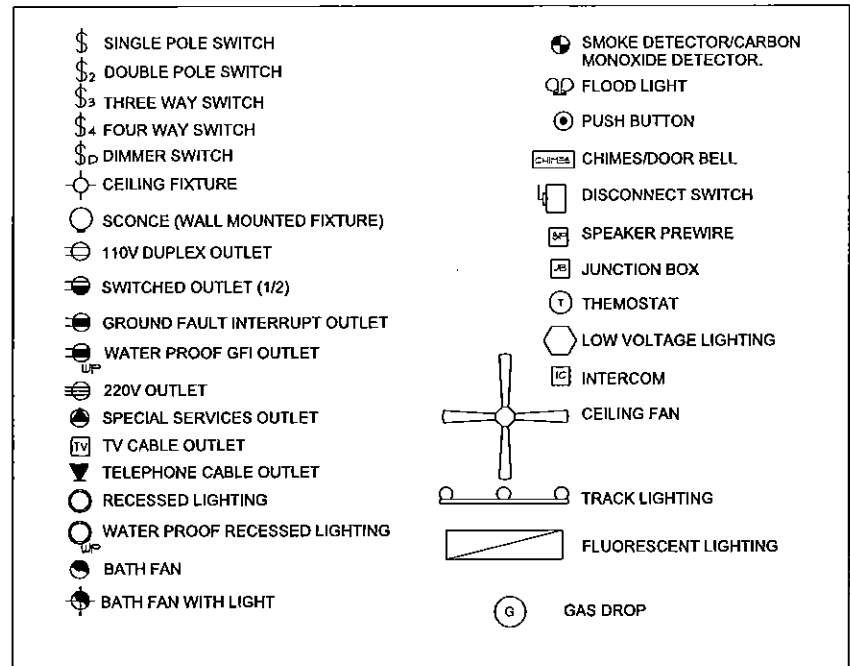
SIDE ELEVATIONS

LOT 17  
**SAFETY HARBOR**  
 354 HAMILTON AVENUE  
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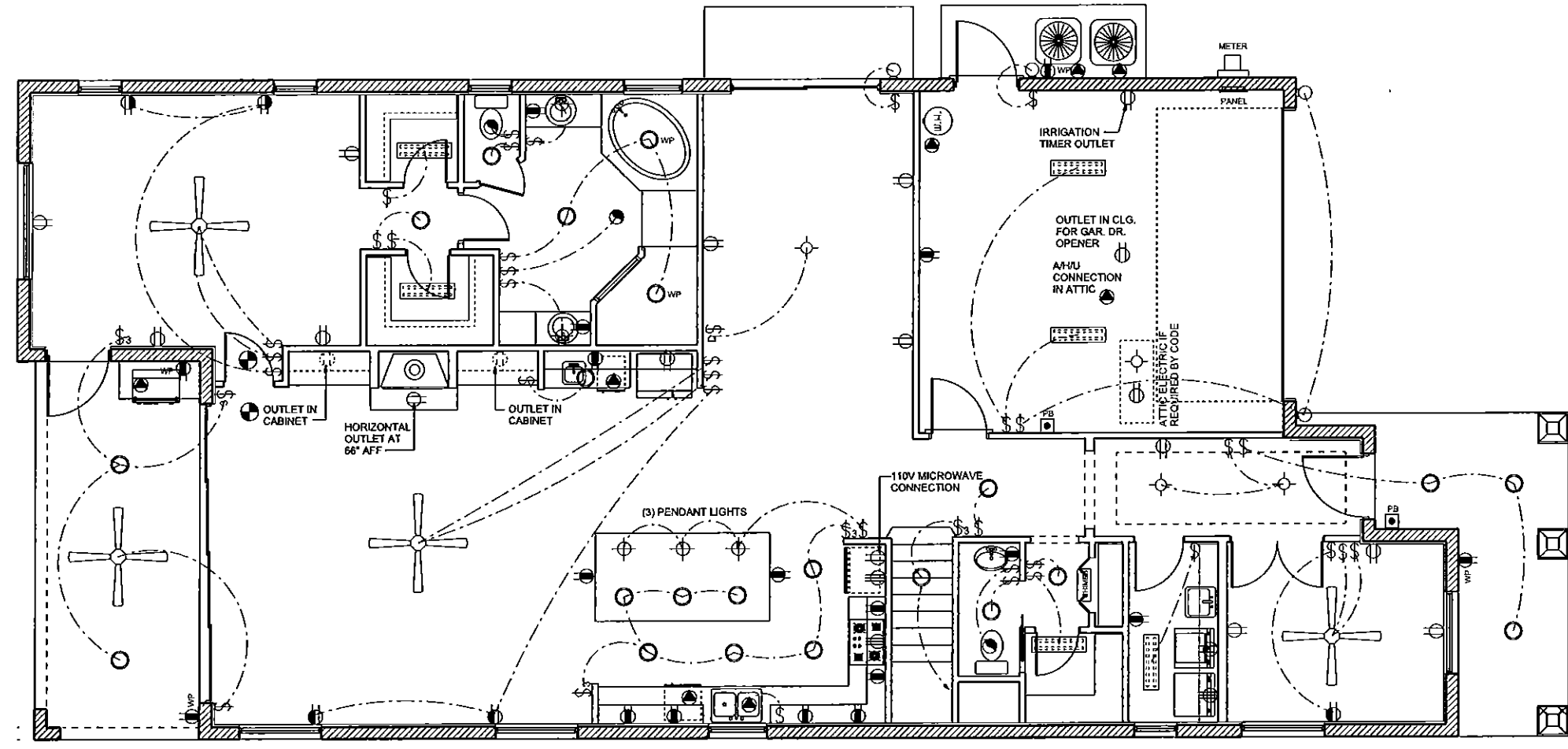
**DEEB FAMILY HOMES, LTD.**  
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UNLESS OTHERWISE NOTED:

- ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)  
 KITCHEN: 42"  
 BATHROOM: 42"  
 LAUNDRY: 36" WASHER/24" DRYER/  
 WALL OUTLETS @ 45"  
 EXTERIOR: WATERPROOF @ 12"  
 GARAGE: GFI @ 45"  
 RANGE: 220V @ 4"
- ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
- ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
- ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
- SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2014 FLORIDA RESIDENTIAL CODE, SECTION 314, AND WITH UL 317 AND NFPA 772.
- PROVIDE ARC FAULT INTERRUPTERS PER 2008 NEC. 210.12
- ALL RECEPTACLES TO BE TAMPER PROOF PER NEC. SECT. 406.11



SCALE: 1/8" = 1'-0"

ELECTRICAL PLAN

PLAN 3834

LOT 17

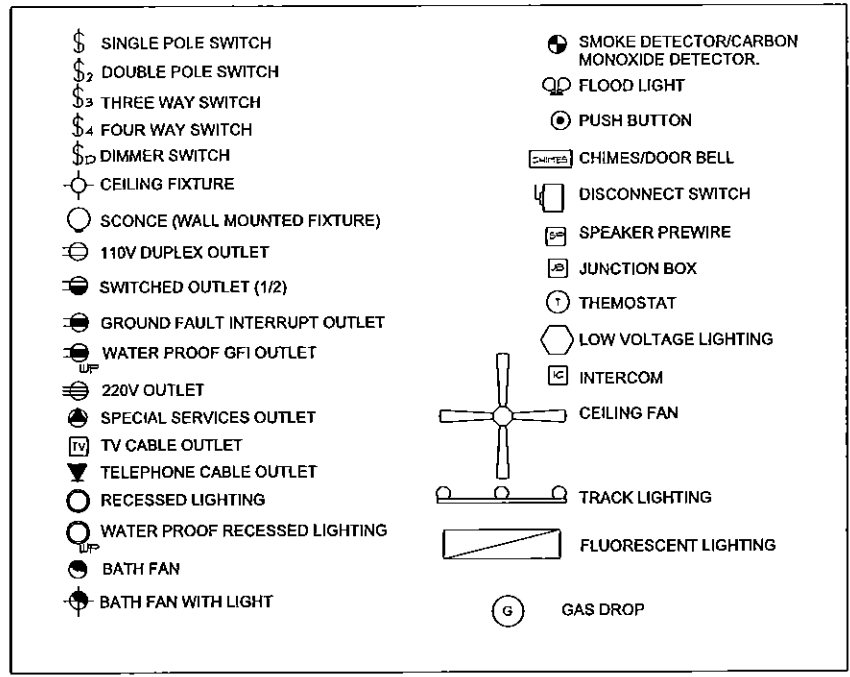
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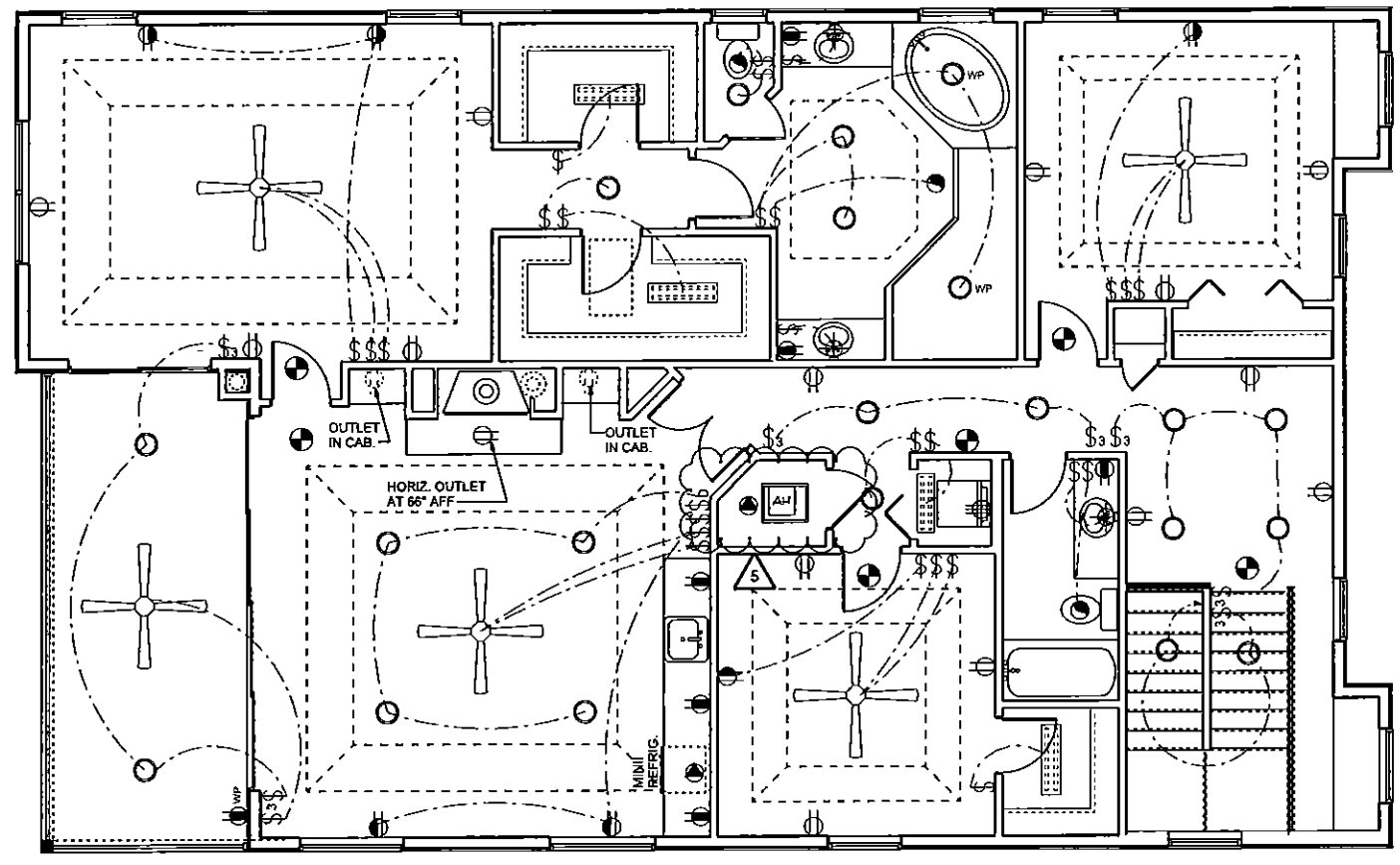
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 BATHROOM: 42"  
 LAUNDRY: 36" WASHER/24" DRYER/  
 WALL OUTLETS @ 45"  
 EXTERIOR: WATERPROOF @ 12"  
 GARAGE: GFI @ 45"  
 RANGE: 220V @ 4"



2ND FLR. ELECTRICAL PLAN

SCALE: 1/8" = 1'-0"

PLAN 3834

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7A