

**NOTICE TO SUBCONTRACTORS :**

DUE TO SPACE LIMITATIONS IN THIS 11"X 17" PLAN FORMAT, AND TO ELIMINATE CLUTTER AND TEXT READABILITY ISSUES , SOME DETAILS AND NOTATIONS MAY OR MAY NOT BE LOCATED ON THE SAME SHEETS OR IN THE SAME LOCATIONS AS PROVIDED FOR BY OTHER CONTRACTORS OR ARCHITECTS. IT WOULD BE IN YOUR BEST INTEREST TO REVIEW THESE PLANS AND LOCATE THE APPROPRIATE INFORMATION REQUIRED TO COMPLETE YOUR SPECIFIC PORTION OF THE JOB BEFORE BEGINNING CONSTRUCTION.

**NOTICE TO BUILDER**

IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION, STOP AND CALL THE DESIGNER LISTED IN THIS TITLE PAGE. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL THAT IS CONSTRUCTING THIS PROJECT TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS AND ANY AND ALL CORRECTIONS, IF NEEDED, TO BE MADE BEFORE ANY WORK IS DONE.

**WINDOW INSTALLATION NOTES:**

1. WINDOWS MUST BE FASTENED INTO STRUCTURAL MEMBERS PER MFG'S. DETAIL REQUIREMENTS PER DESIGN CRITERIA NOTED ON THESE DRAWINGS.
2. WINDOWS ARE NOT IMPACT RESISTANT TYPE. STORM SHUTTERS OR PANELS ARE REQUIRED.
3. ROOF , WALLS AND WINDOW FASTENINGS MUST BE ENGINEERED AND SPECIFIED FOR CUMULATIVE INTERNAL PRESSURE AND EXTERNAL NEGATIVE ( SUCTION ) PRESSURES WHICH VARIES ACCORDING TO AREAS AS NOTED IN THE DESIGN CRITERIA AS NOTED ON THIS PAGE.

**GENERAL NOTES:**

THE FOLLOWING TECHNICAL CODES SHALL APPLY:

2007 FLORIDA BUILDING CODE, RESIDENTIAL EDITION.  
PLUMBING , MECHANICAL, FUEL GAS, ENERGY EFFICIENCY, ACCESSIBILITY, AND NATIONAL ELECTRICAL CODES TO FBC PLUMBING 2007 CODE.

1. TANK TYPE WATER CLOSET VOLUME 1.6 GALLONS
2. WALL MOUNT WATER CLOSET VOLUME 3.5 GALLONS
3. WATER - FLOW RATE.  
PUBLIC FACILITIES 0.5 G.P.M.  
PRIVATE FACILITIES 2.2 G.P.M.  
SHOWER HEADS 2.5 G.P.M.

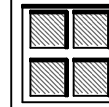
VTR LOCATIONS ARE APPROXIMATE AND MAY CHANGE DUE TO JOBSITE CONDITIONS

THE FOLLOWING SHALL COMPLY WITH THE 2004 FBC.

- PORCHES AND BALCONIES
  - HANDRAILS
  - GUARDRAILS
  - STAIRS
  - CHIMNEY & FIREPLACE
  - EGRESS WINDOWS
4. ALL OPENINGS SHALL COMPLY WITH 2007 FBC WIND LOADS AS STATED BELOW. ATTACHMENTS OF WINDOWS, DOORS, SLIDING GLASS DOORS AND O.H. GARAGE DOORS ARE DELEGATED THE MANUFACTURER OF THESE ITEMS. THE MANUFACTURER OF THESE ITEMS SHALL SUBMIT ATTACHMENTS TO ENGINEER OF RECORD FOR REVIEW PRIOR TO INSTALLATION. SEE ATTACHED SPECIFICATION SHEETS FOR MANUFACTURERS DESIGN CRITERIA AND INSTALLATION METHODS FOR WINDOWS, DOORS, SLIDING GLASS DOORS, OVERHEAD GARAGE DOORS, AND ROOFING.
  5. ALL DOORS INTERIOR & EXTERIOR ARE 8' 0" UNLESS OTHERWISE NOTED  
ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS
  6. ALL WINDOWS WITHIN 24" OF DOORS (INTERIOR & EXTERIOR) AND WITHIN 18" OFF FLR TO BE TEMPERED GLASS.



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Suite 201  
Washington DC 20012



**ROBBIAN DESIGN**  
AL ROBBIAN A.I.B.D.  
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NEW PORT RICHEY, FL. 34653  
(772) 848-2259  
MAIL-@robbiandesign.com

ALLEN ENGINEERING AND CONSTRUCTION SERVICES, INC. (AECS) IS NOT RESPONSIBLE FOR THE ARCHITECTURAL DESIGN, ITS FEATURES AND ASSOCIATED DIMENSIONS. THE ARCHITECTURAL INFORMATION IS ACCEPTED AS BEING ACCURATE AND IS USED BY AECS SOLELY FOR THE PURPOSE OF DETERMINING STRENGTH , FIRE PROTECTION, AND FLOOD RESISTANCE CONSTRUCTION REQUIREMENTS.



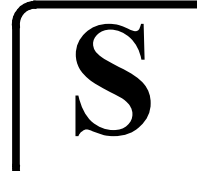
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**COVER SHEET**

**PEBBLE BEACH 2171**

A.E.C.S. 00000



**DEEB FAMILY HOMES, LTD.**  
9400 RIVER CROSSING BLVD.  
NEW PORT RICHEY, FL. 34655

| PLAN DATE |
|-----------|
| 12-20-11  |
| 01-09-12  |

**JOB ADDRESS**

I HEREBY CERTIFY THAT I HAVE REVIEWED THESE PLANS AND DESIGN TO COMPLY WITH ALL APPLICABLE LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2007 FLORIDA RESIDENTIAL BUILDING CODE W/ 2009 SUPPLEMENTS SEALED FOR STRUCTURE ONLY.  
SIGNED:  
RICHARD E. ALLEN P.E. #56920

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. # 56920 C.A. # 9542  
P.O. BOX 1870  
NEW PORT RICHEY, FL. 34656  
727-842-6100 Fax:727-825-3973  
richi@alleneengineering.com

34. WATERPROOFING [GENERAL]:

34.1 ANY RENDERING OR NOTES OF WATERPROOFING MEASURES FOR BASEMENTS OR HALF-BASEMENTS SHOWN IN THESE PLANS WHERE A SPECIFIC CONSTRUCTION DETAIL IS NOT SHOWN IN THE STRUCTURAL DESIGN IS AN ARCHITECTURAL ILLUSTRATION ONLY AND IS NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

34.2 WATERPROOFING MEASURES ABOVE GRADE [E.G., FLASHING, CAULKING, SHAPE, AND LOCATION OF CRICKETS] ARE ASSOCIATED WITH ARCHITECTURAL FINISHES AND ARE NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

35. FIRE RESISTANT DESIGN [GENERAL]

35.1 FIRE RESISTANT DESIGN OF STRUCTURAL ELEMENTS SHALL BE INCIDENTAL TO THEIR STRUCTURAL DESIGN AND SHALL BE BASED ON UNDERWRITER'S LABORATORY OR GYPSUM ASSOCIATION DESIGN FOR FIRE RATED FLOOR, WALL, AND ROOF ASSEMBLIES.

36. FLOOD RESISTANT DESIGN [GENERAL]:

36.1 FLOOD RESISTANT DESIGN OF STRUCTURAL ELEMENTS SHALL BE INCIDENTAL TO THEIR STRUCTURAL DESIGN AND SHALL BE BASED ON THE REQUIREMENTS STATED IN TITLE 44 CFR SECTIONS 59 AND 60, AND ON THOSE OF THE INDIVIDUAL COMMUNITY RATING AGENCIES FOR THE GOVERNMENTAL

JURISDICTION WHERE THE CONSTRUCTION IS TO BE DONE.

36.2 HOWEVER, THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR IDENTIFYING AND SHOWING ON THE PLANS THE FLOOD ZONE CATEGORY, BASE FLOOD ELEVATION, AND THE FLOOR AND STORY HEIGHTS OF THE BUILDING IN RELATION TO THE BASE FLOOD ELEVATION. THIS INFORMATION IS CONSIDERED ARCHITECTURAL AND SITE RELATED AND SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER BY THE CONTRACTING CLIENT OR HIS AGENT.

37. SPECIAL CONSTRUCTION [GENERAL]:

37.1 ALUMINUM STRUCTURES OTHER THAN STRUCTURAL ALUMINUM COLUMNS.

I. ANY ALUMINUM STRUCTURES SHOWN IN THESE PLANS SUCH AS PORCH AND POOL ENCLOSURES OR GUARDRAILS AND HANDRAILS ARE FOR ARCHITECTURAL ILLUSTRATION ONLY AND ARE NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

II. WHERE THE ALUMINUM STRUCTURE ATTACHES TO THE MAIN STRUCTURE OR IS INCORPORATED IN THE MAIN STRUCTURE, SHOP DRAWINGS FOR THESE STRUCTURES SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER TO DETERMINE THEIR EFFECT ON THE MAIN STRUCTURE.

37.2 SWIMMING POOLS

I. ANY SWIMMING POOLS OR HOT TUBS SHOWN IN THESE PLANS ARE FOR ARCHITECTURAL ILLUSTRATION ONLY AND ARE NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

37.3 FENCES AND RETAINING WALLS

I. ANY RENDERINGS OF FENCES, RETAINING WALLS, OR EXTERIOR PLANTERS SHOWN IN THESE PLANS WHERE A SPECIFIC STRUCTURAL DETAIL IS NOT SHOWN FOR THEIR CONSTRUCTION ARE FOR ARCHITECTURAL ILLUSTRATION ONLY AND ARE NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

37.4 DRIVEWAYS AND SIDEWALKS

I. ANY DRIVEWAYS OR SIDEWALKS SHOWN IN THESE PLANS ARE FOR ARCHITECTURAL ILLUSTRATION ONLY AND ARE NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

**WIND LOADING AND DESIGN PRESSURES:**

1. FLORIDA RESIDENTIAL BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENT, ASCE 7-05
2. BASIC DESIGN WIND SPEED: 123 MPH
3. WIND IMPORTANCE FACTOR: 1.0
4. BUILDING CATEGORY: II
5. WIND EXPOSURE: B= 1.0
6. INTERNAL PRESSURE COEFFICIENT: +/- .18 ENCLOSED
7. WIND BORNE DEBRIS ZONE – SHUTTERS REQUIRED
8. COMPONENTS AND CLADDING PRESSURES (PSF):
  - A. ROOF – ALL ZONE 3, 10 SQFT: +17.5, -58.7 PSF
  - B. WALLS – ALL ZONE 5, 10 SQFT: +30.4, -40.7 PSF
  - C. OVERHANGS – ALL ZONE 3, 10 SQFT: -95.3 PSF

MANUFACTURE TO PROVIDE SPECS OF MINIMUM PRESSURE RESISTANCE BASED UPON ABOVE COMPONENTS AND CLADDING PRESSURES AND INSTALLATION DETAILS.

WIND LOAD DESIGN DATA

| PLAN DATE |
|-----------|
| 12-20-11  |
| 01-09-12  |
|           |
|           |
|           |
|           |

DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLVD.  
NEW PORT RICHEY, FL. 34655



JOB ADDRESS

HEREBY CERTIFY THAT I HAVE REVIEWED THE DESIGN TO COMPLY WITH ALL APPLICABLE LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2007 FLORIDA RESIDENTIAL BUILDING CODE W/ 2009 SUPPLEMENTS SEALED FOR STRUCTURE ONLY  
SIGNED: RICHARD E. ALLEN P.E. #56920

A.E.C.S. 00000

PEBBLE BEACH 2171

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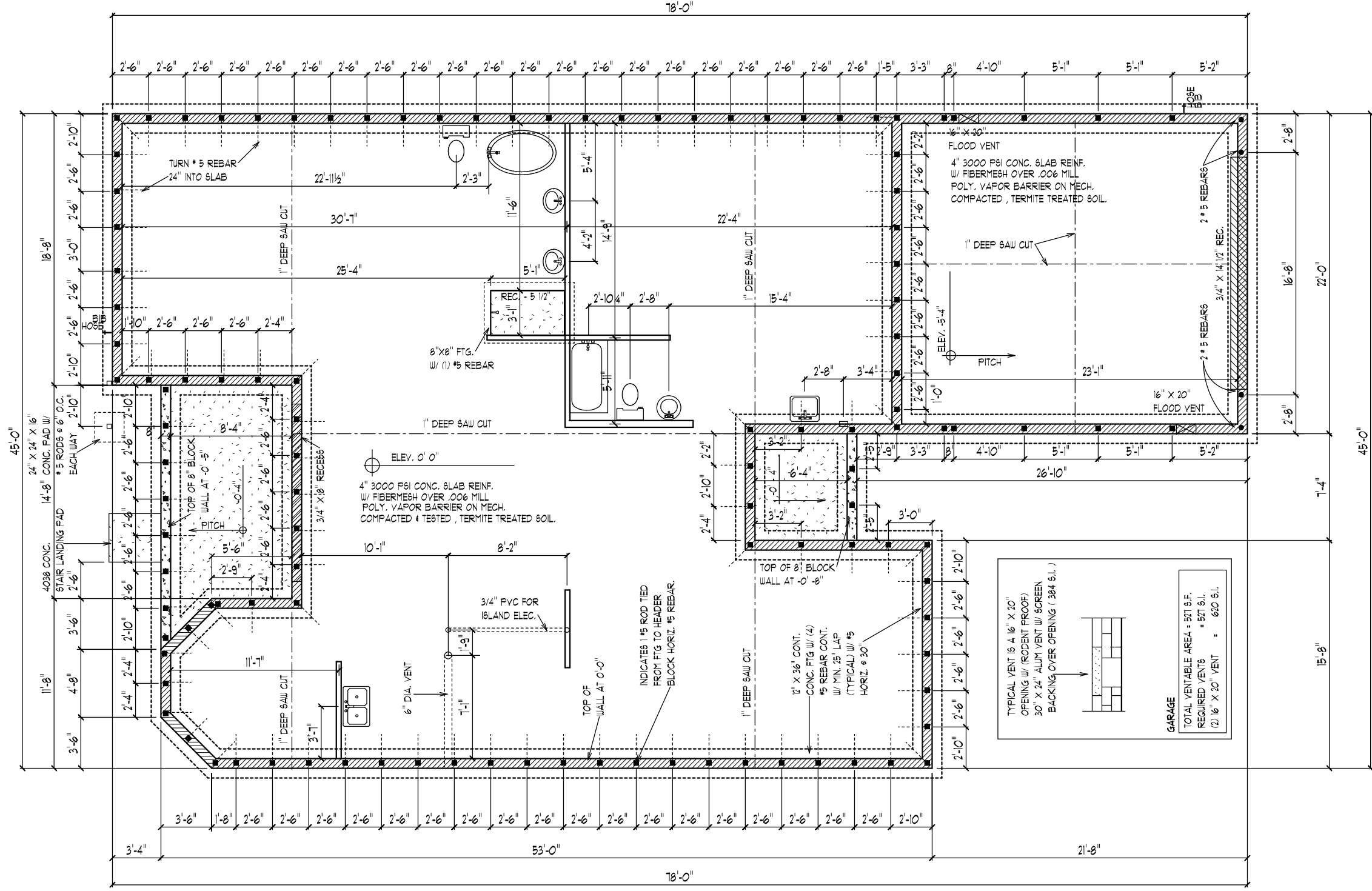
**NOTES**

- 1) THE FOUNDATION SYSTEM FOR THIS PLAN IS DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2000 P.S.F. WITH NO SOIL REPORT OR INFORMATION PROVIDED.
- 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE OR FILL COMPACTED TO 98% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
- 3) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 4) REFER TO STRUCTURAL ENGINEER NOTES.

NOTE: REBAR DIMENSIONS SHOWN ON THIS PAGE REFLECT VERT. PLACEMENT FROM FIG. TO SLAB ONLY. ON CENTER DIMENSIONS WILL DIFFER FROM SLAB TO THE BEAM AS NOTED ON SHEET 3.

NOTE: ALL WALLS CONSTRUCTED WITH REINFORCED MASONRY/ CONCRETE CONTRIBUTE TO SHEAR AND ARE CONSIDERED SHEAR WALLS.

DRIVEWAY 8FEET.  
 DRIVEWAY NOT IN RIGHT OF WAY AND ALL SIDEWALKS TO BE 4" 3000PSI CONC. W/ FIBERMESH.  
 DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT.



**FOUNDATION PLAN**

DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLVD.  
 NEW PORT RICHEY, FL. 34655

**1**

SCALE 1/8" = 1' 0" A.E.C.S. 00000

**JOB ADDRESS**

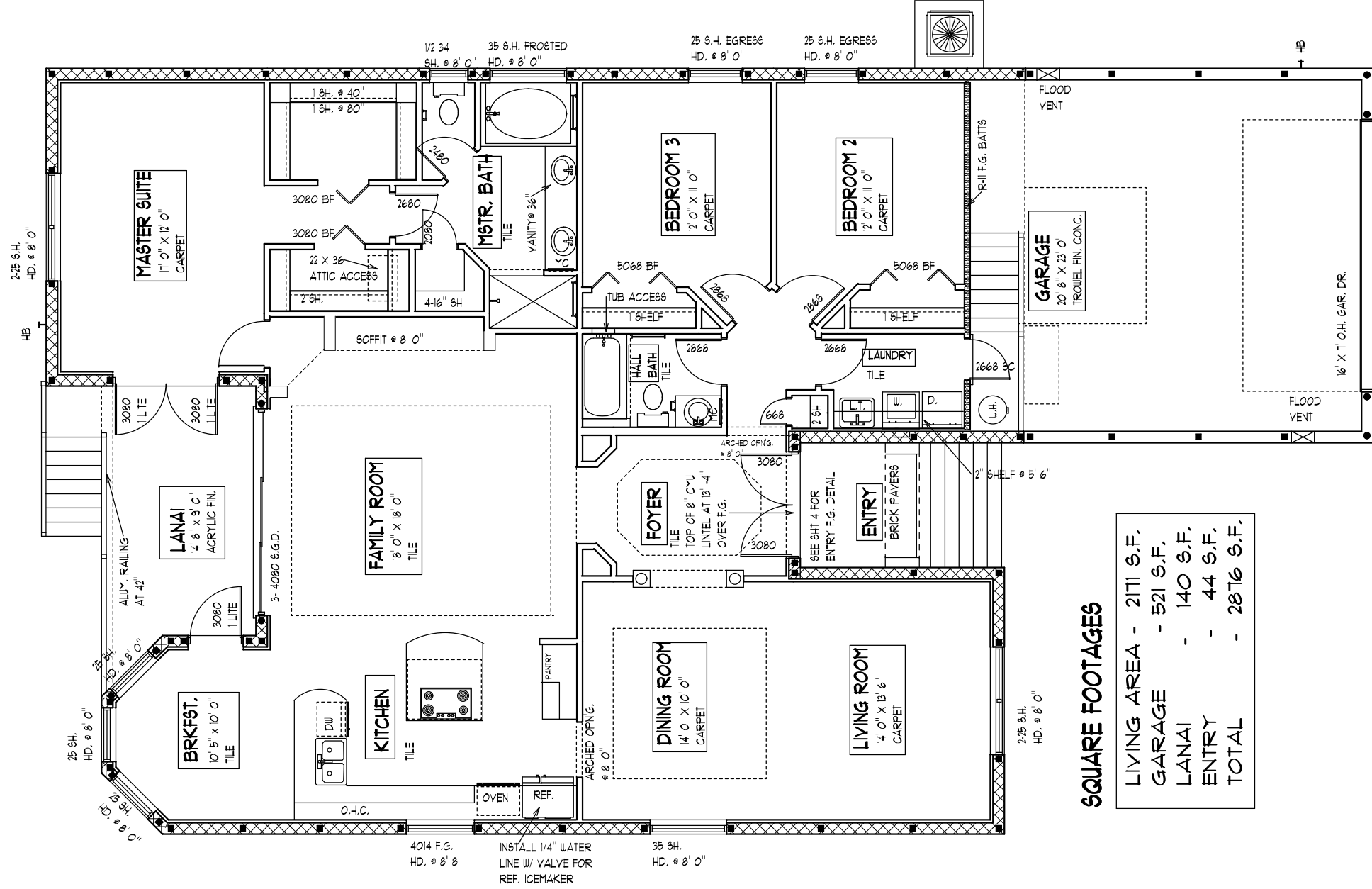
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 123 MPH 3 SEC. GUST LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2007 FLORIDA BUILDING CODE AS AMENDED BY 2009 SUPPLEMENTS SEALED FOR STRUCTURE ONLY.

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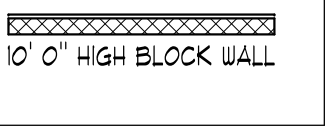
**PEBBLE BEACH 2171**



**SQUARE FOOTAGES**

|              |                    |
|--------------|--------------------|
| LIVING AREA  | - 2111 S.F.        |
| GARAGE       | - 521 S.F.         |
| LANAI        | - 140 S.F.         |
| ENTRY        | - 44 S.F.          |
| <b>TOTAL</b> | <b>- 2816 S.F.</b> |

**WALL LEGEND**



**FLOOR PLAN NOTES**

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|           |          |
|-----------|----------|
| PLAN DATE | 12-20-11 |
|           | 01-09-12 |
|           |          |

JOB ADDRESS

A.E.C.S. 00000

**PEBBLE BEACH 2171**

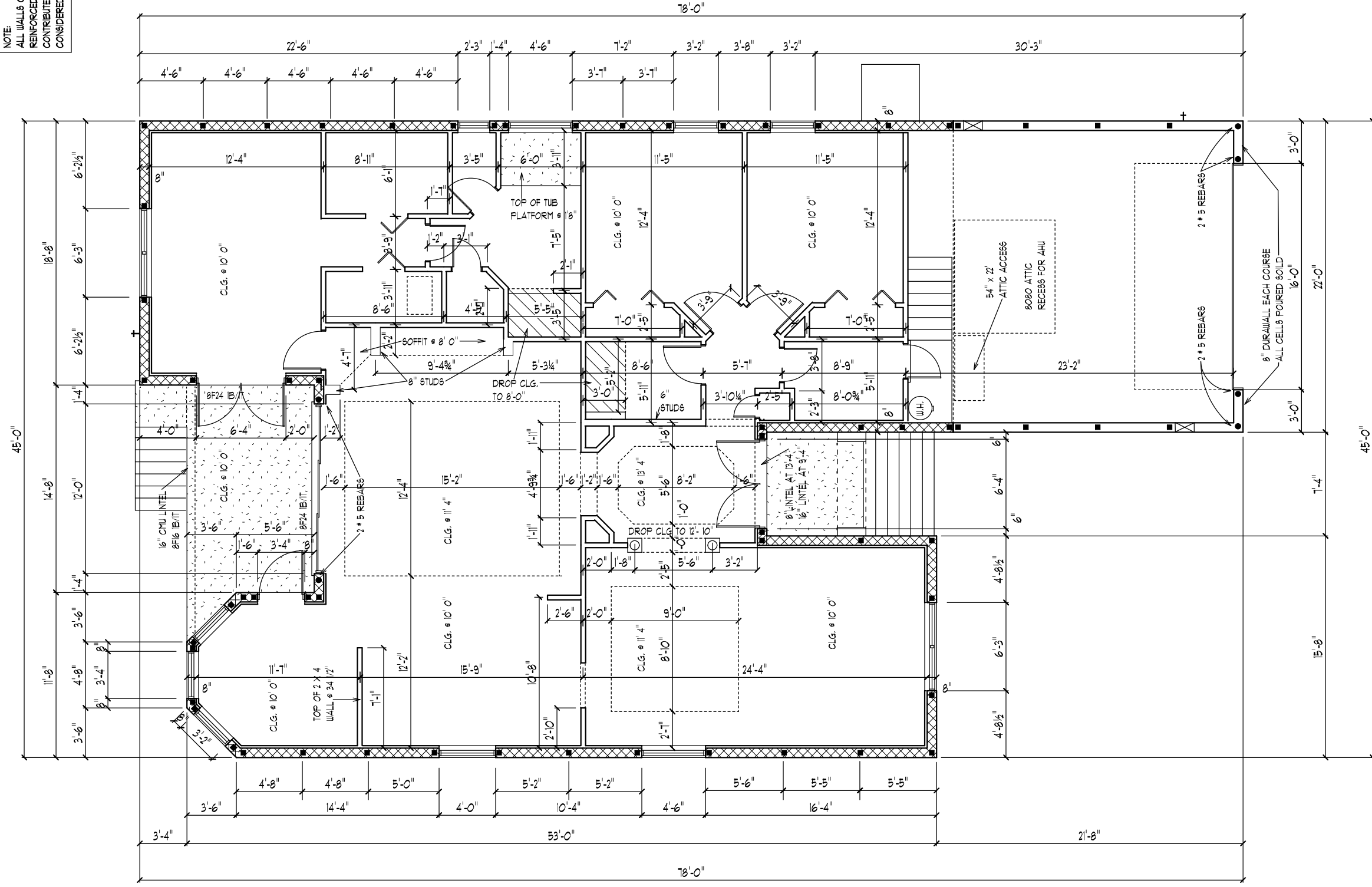
**2**

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SIGNED RICHARD E. ALLEN P.E. #56920

NOTE:  
ALL WALLS CONSTRUCTED WITH  
REINFORCED MASONRY/ CONCRETE  
CONTRIBUTE TO SHEAR AND ARE  
CONSIDERED SHEAR WALLS.



**DIMENSION PLAN**

SCALE 1/8" = 1' 0"

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**PEBBLE BEACH 2171**



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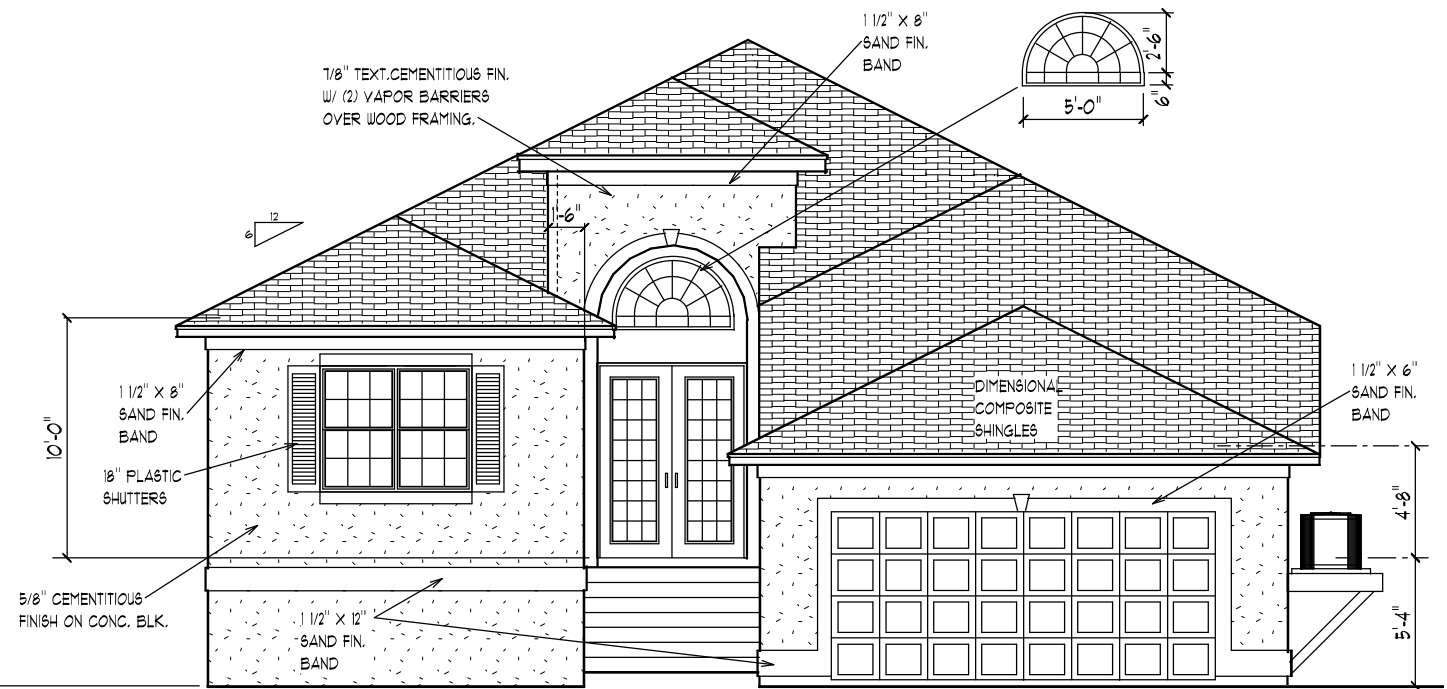
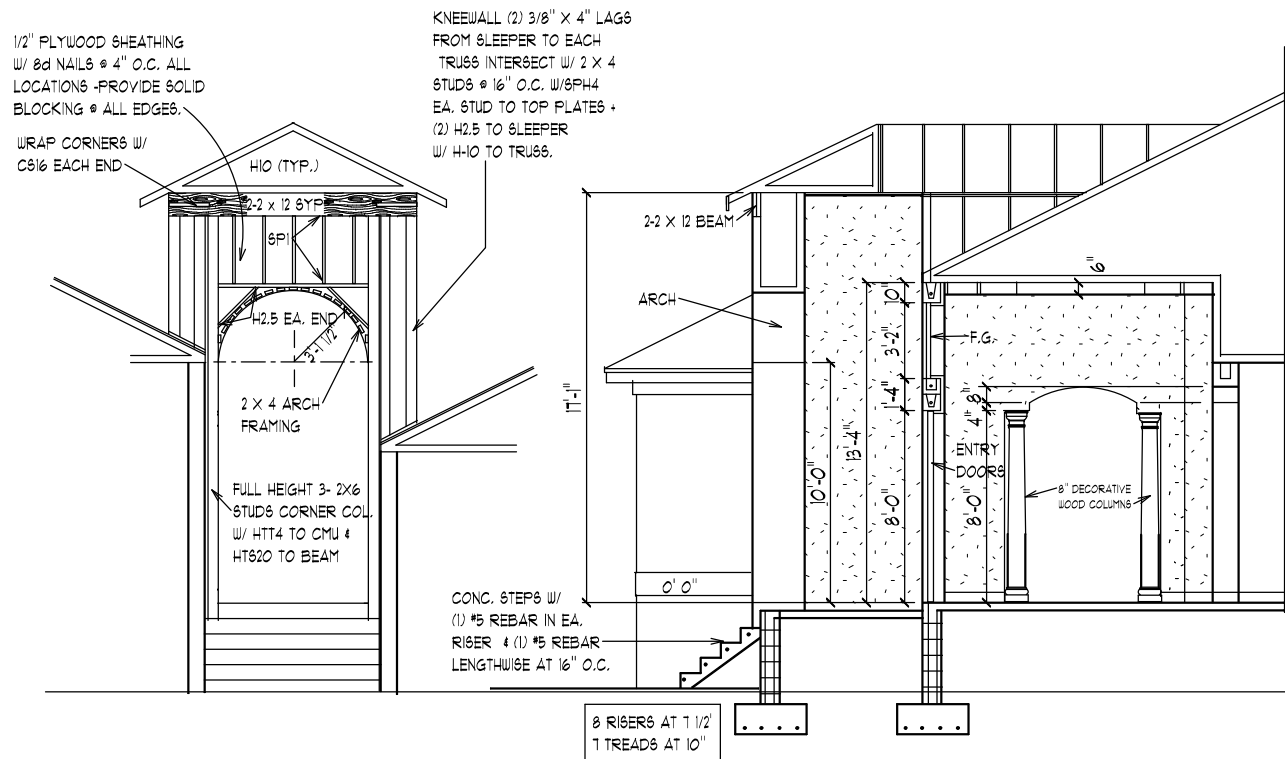
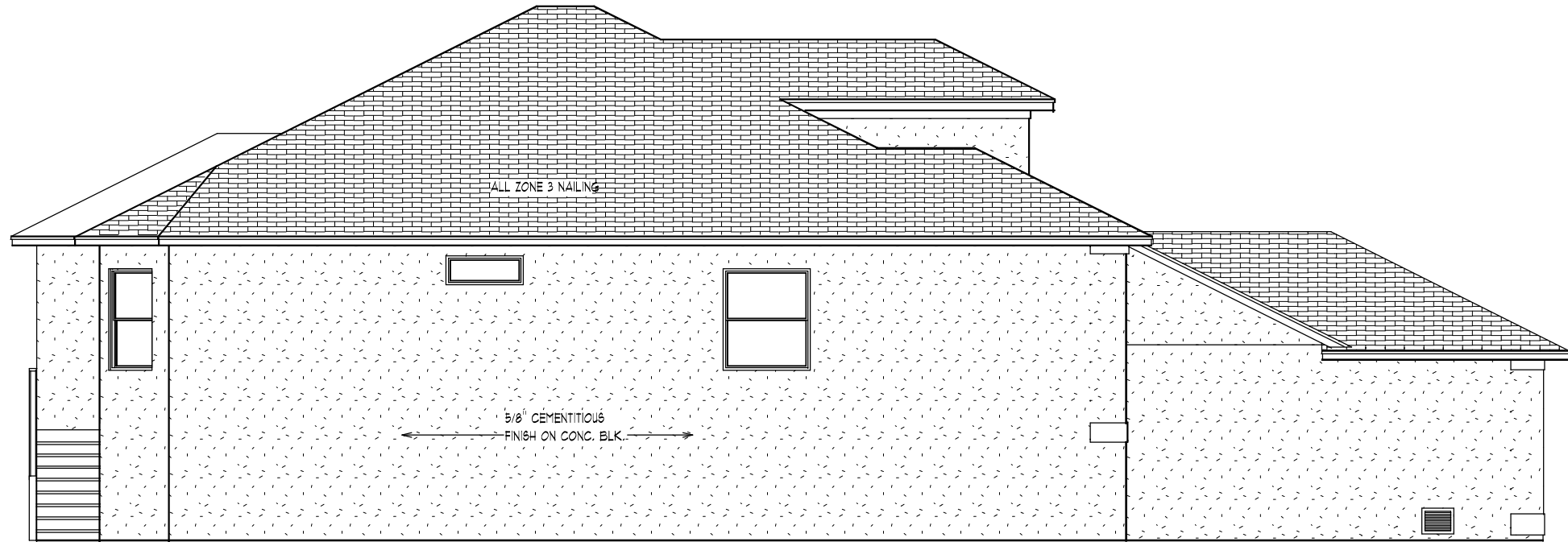
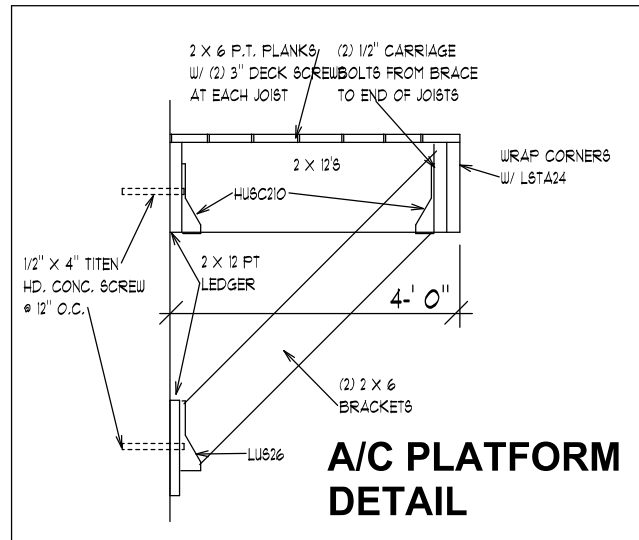
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SIGNED  
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**SECTION THRU ENTRY**

**FRONT ELEVATION**

**PEBBLE BEACH 2171**

A.E.C.S. 00000

SCALE 1/8" = 1' O"

**EXTERIOR ELEVATIONS - A**

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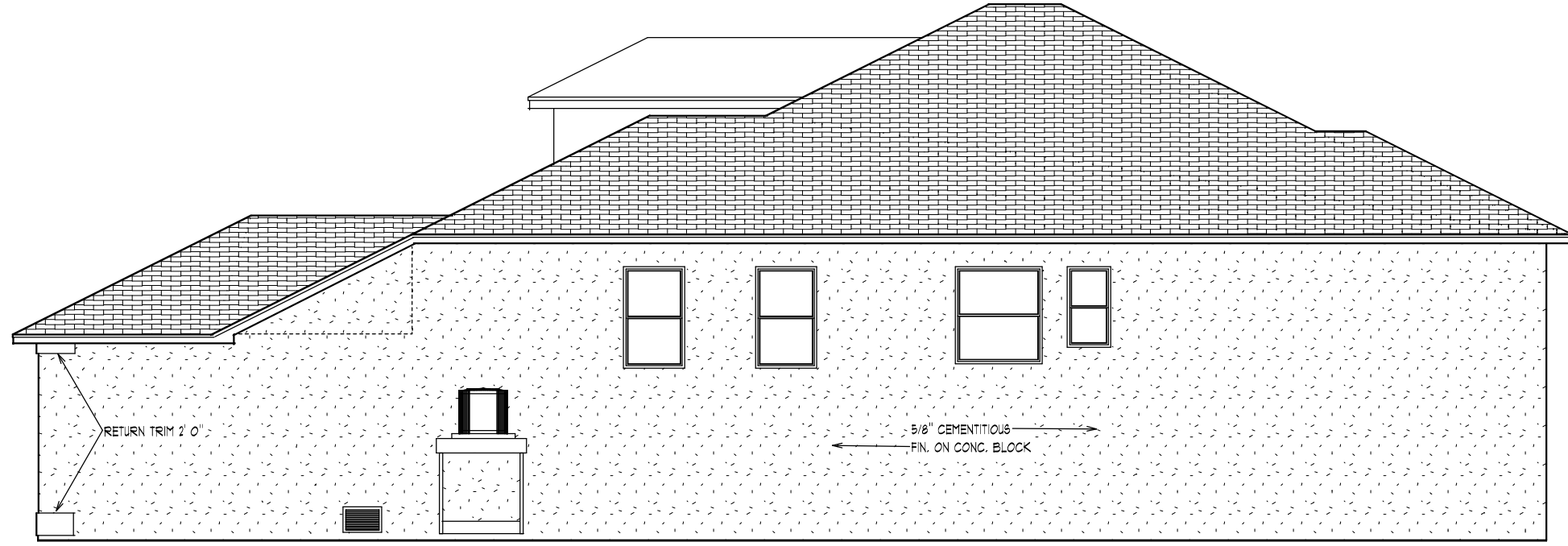
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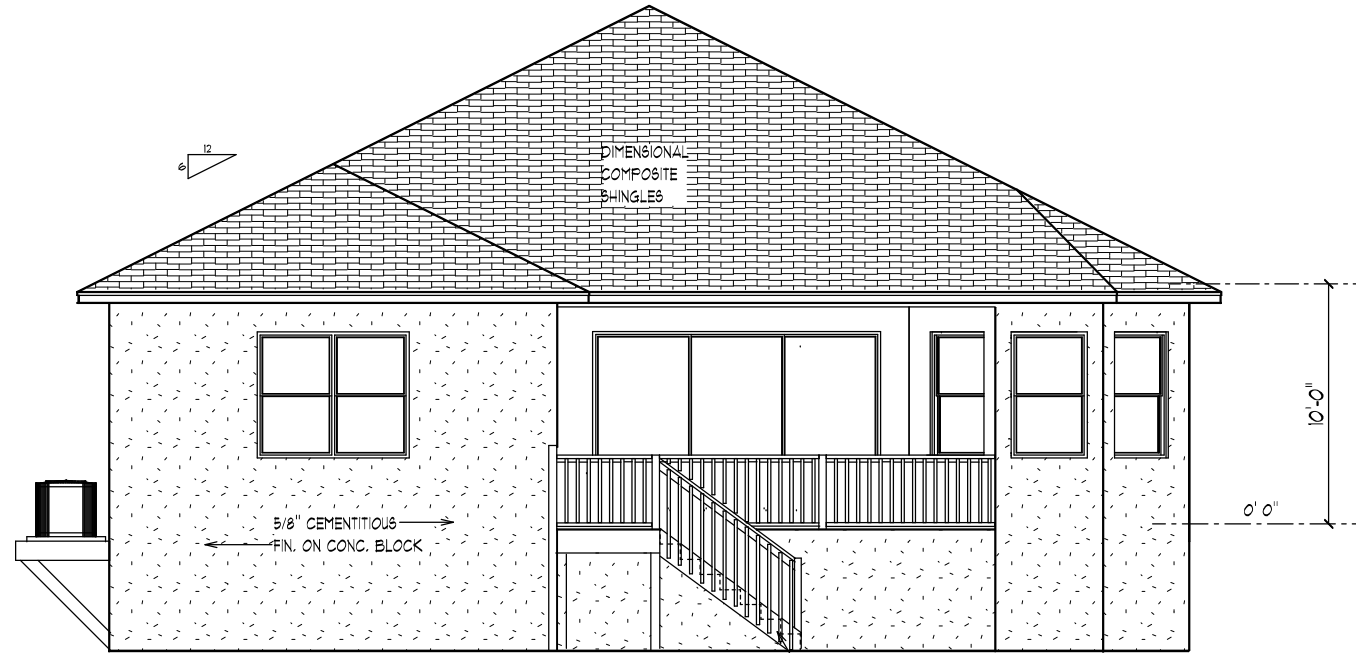
**PLAN DATE**

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 9400 RIVER CROSSING BLVD.  
 NEW PORT RICHEY, FL. 34655

**4**



**RIGHT SIDE ELEVATION**



**REAR ELEVATION**

**EXTERIOR ELEVATIONS -A**

1/8" = 1' 0"

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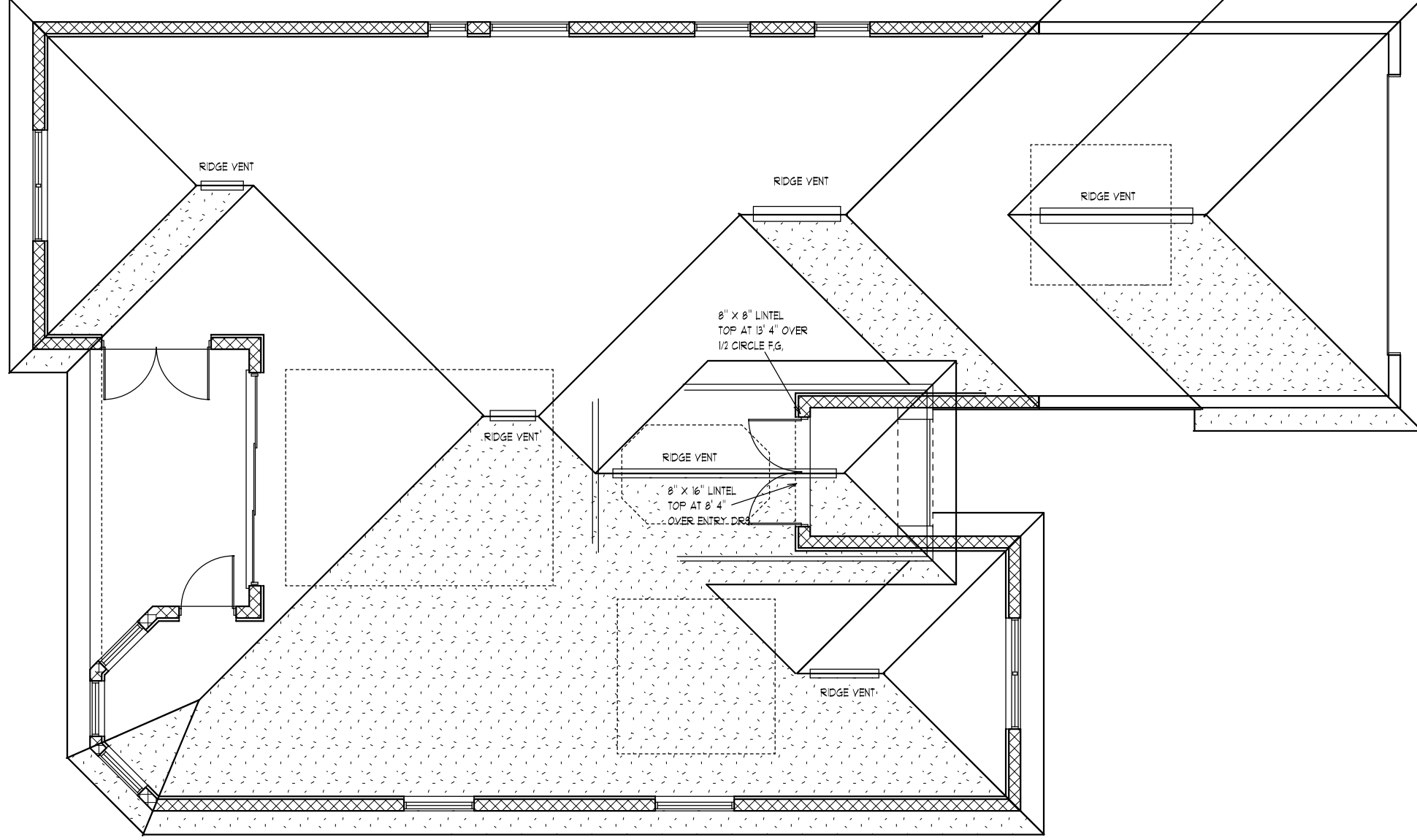
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rich@allenengineeringservices.com

**5**



**ROOF PLAN**

SCALE 1/8" = 1' 0"

A.E.C.S. 00000

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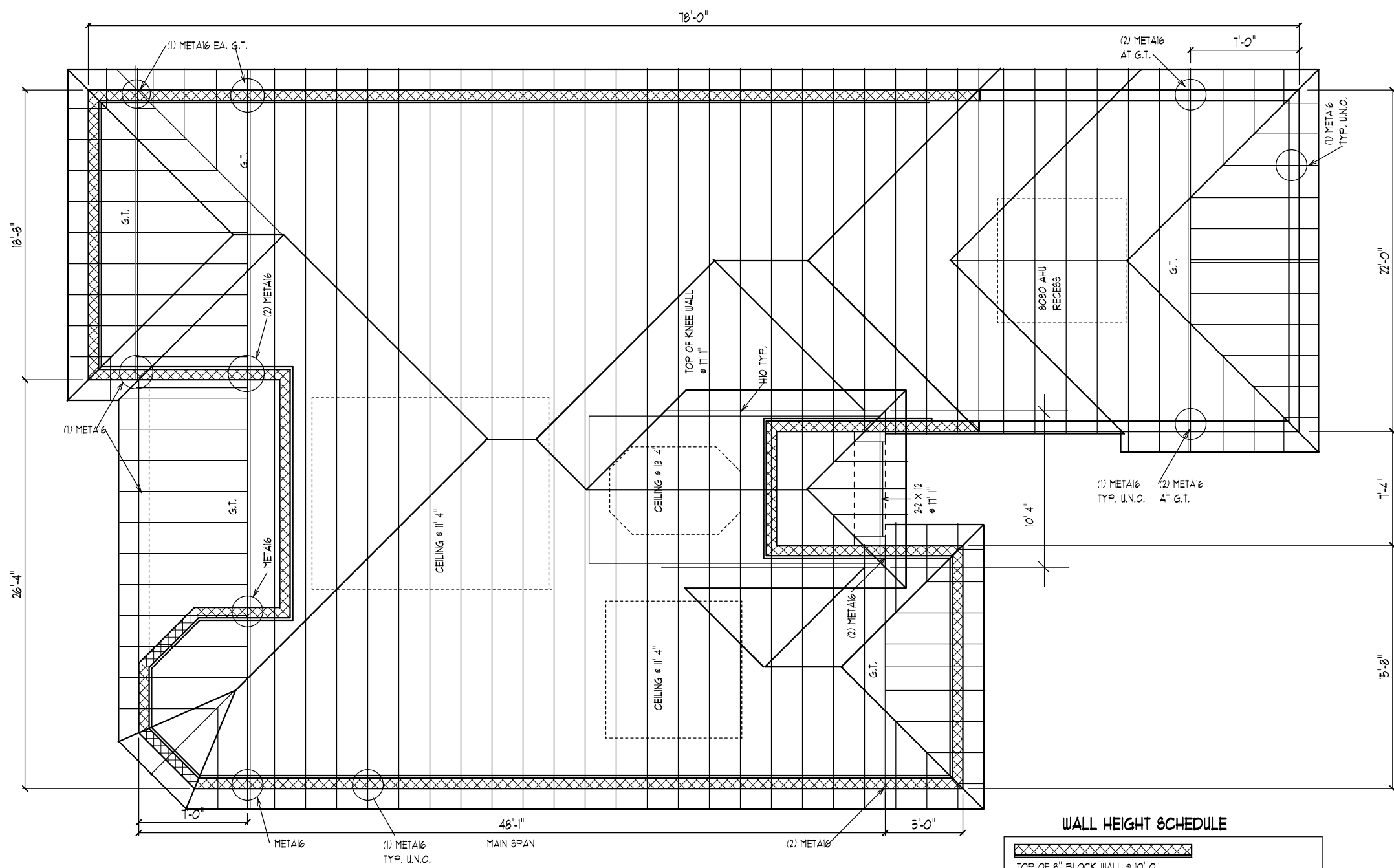
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**6**





**FASTENER NOTES**  
 (1) FOR MGT USE 5/8" X A.T.R. 12" EMBED, SET EPOXY  
 FOR HGT-2-(2) 3/4" ATR 12" EMBED, SET EPOXY

**IMPORTANT NOTE:**  
 THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

**NOTE:** INSTALL MOISTURE BARRIER BETWEEN MASONRY & UNTREATED WOOD

**WALL HEIGHT SCHEDULE**

|  |                               |
|--|-------------------------------|
|  | TOP OF 8" BLOCK WALL @ 10' 0" |
|--|-------------------------------|

**ATTIC VENTILATION:**  
 PROVIDE 50 % OF 1/150 th ATTIC AREA AT RIDGE, REMAINDER AT SOFFIT

ALL TRUSS TO TRUSS CONNECTORS BY TRUSS SYSTEMS ENGINEER AND TO BE SPECIFIED ON INDIVIDUAL SEALED TRUSS SHEETS

**TRUSS PLAN**

SCALE 1/8" = 1' 0"

|           |  |
|-----------|--|
| PLAN DATE |  |
| 12-20-11  |  |
| 01-09-12  |  |

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**6A**

A.E.C.S. 00000

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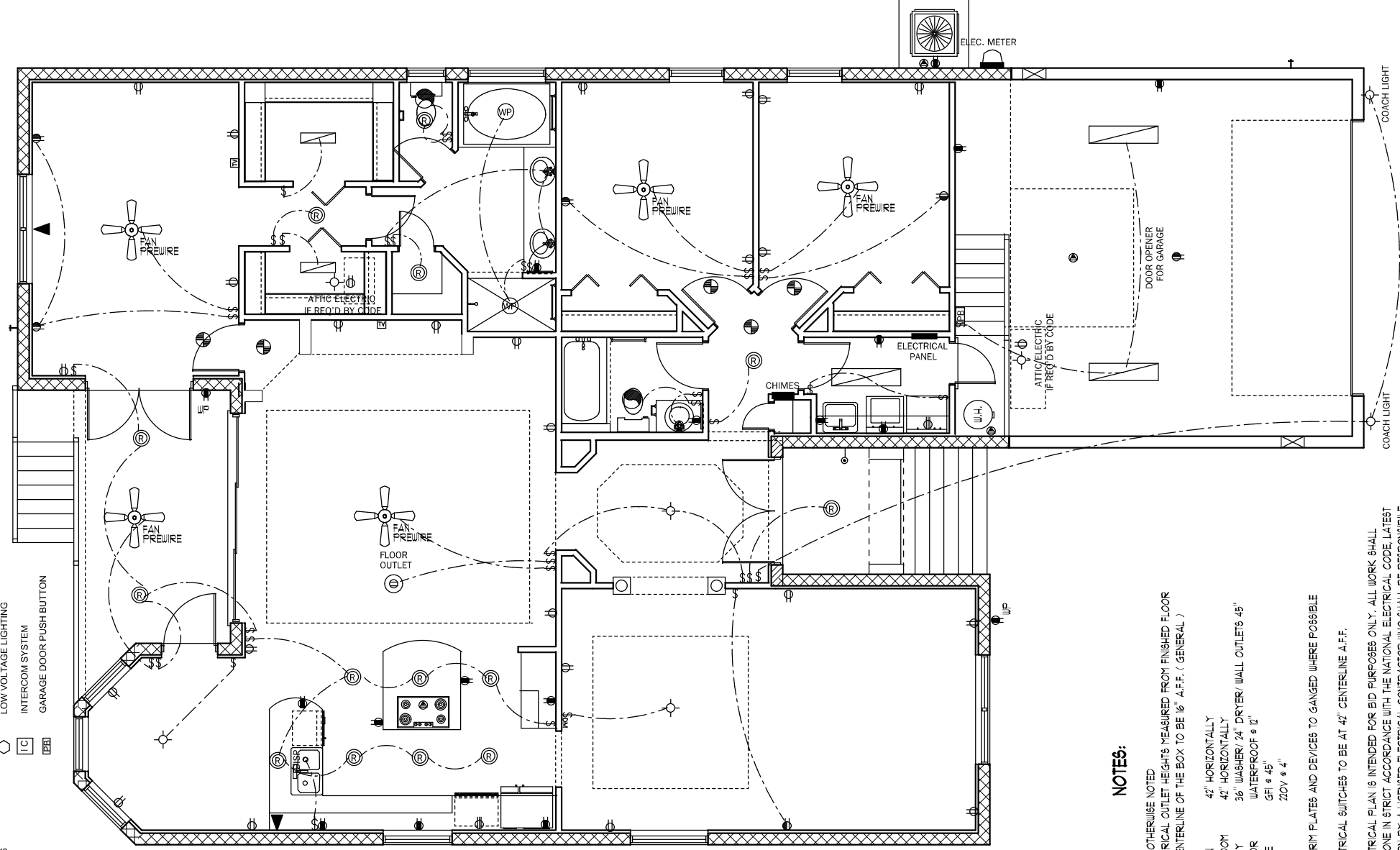
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**ELECTRICAL LEGEND**

- \$ SINGLE POLE SWITCH
- \$2 DOUBLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$4 FOUR-WAY SWITCH
- \$DM DIMMER SWITCH
- ☐ CEILING FIXTURE
- ☐ SCOUNCE ( WALL MOUNTED ) FIXTURE
- ⊕ 110 VOLT DUPLEX OUTLET
- ⊕ 110 VOLT SPLIT SWITCHED OUTLET
- ⊕ GROUND FAULT INTERRUPT
- ⊕ WP WATER PROOF W/ GROUND FAULT
- ⊕ 220 VOLT OUTLET
- ⊕ SPECIAL SERVICES OUTLET
- TV T.V. CABLE OUTLET
- ☐ TELEPHONE CABLE OUTLET
- ⊕ RECESSED LIGHTING
- ⊕ WATER PROOF RECESSED LIGHTING
- ⊕ BATH FAN
- ⊕ BATH FAN W/ LIGHT
- ⊕ SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- ☐ FLOOD LIGHT
- ☐ FLUORESCENT LIGHTING
- ☐ TRACK LIGHTING
- ☐ CEILING FAN
- ⊕ DOOR BELL CHIMES
- ⊕ DOOR BELL
- ⊕ DISPOSAL
- ⊕ DISCONNECT SWITCH
- ⊕ PREWIRE SPEAKER
- ⊕ JUNCTION BOX
- ⊕ THERMOSTAT
- ⊕ LOW VOLTAGE LIGHTING
- ⊕ INTERCOM SYSTEM
- ⊕ GARAGE DOOR PUSH BUTTON



**NOTES:**

- UNLESS OTHERWISE NOTED
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 16" A.F.F. ( GENERAL )
  2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE
  3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
  4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.
  5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE SECTION 903.2
  6. PROVIDE AFCI ( ARC FAULT INTERRUPTERS ) IN ALL BEDROOMS PER NEC SECTION 210.12
  7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11

**ELECTRICAL PLAN**

DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLVD.  
NEW PORT RICHEY, FL. 34655

SCALE 1/8" = 1' 0"

A.E.C.S. 00000

JOB ADDRESS

| PLAN DATE |
|-----------|
| 12-20-11  |
| 01-09-12  |
|           |
|           |

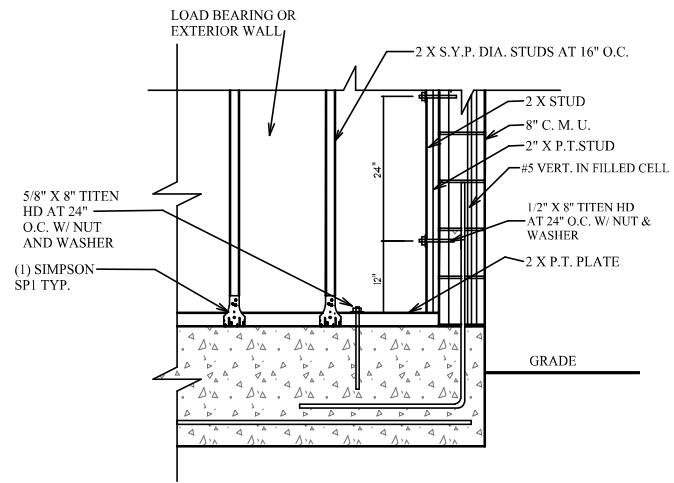
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**PEBBLE BEACH 2171**

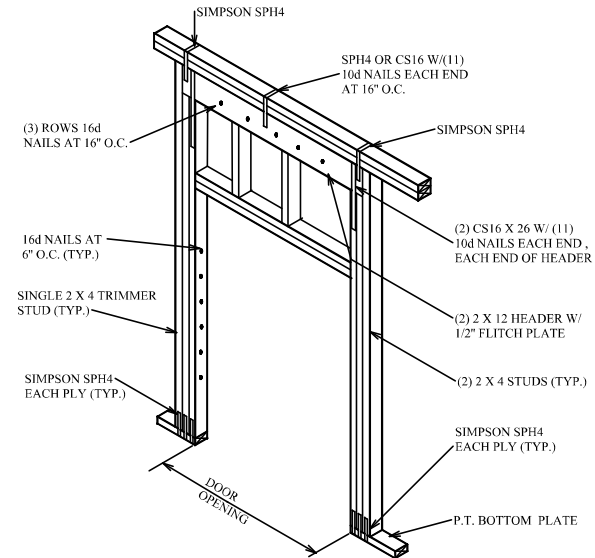
ALLEN ENGINEERING &  
CONSTRUCTION SERVICES  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. # 56920 C.A. # 9542  
P.O. BOX 1870  
NEW PORT RICHEY, FL. 34656  
727-842-6100 Fax: 727-825-3973  
rich@allenenginering.com

I HEREBY CERTIFY THAT I HAVE  
PREPARED THIS DESIGN  
TO COMPLY WITH ALL APPLICABLE  
LOADS AND IT IS IN COMPLIANCE WITH  
SECT. 301 OF THE 2007 FLORIDA  
RESIDENTIAL BUILDING CODE W/ 2009  
SUPPLEMENTS SEALED FOR STRUCTURE  
ONLY  
SIGNED  
RICHARD E. ALLEN P.E. #56920

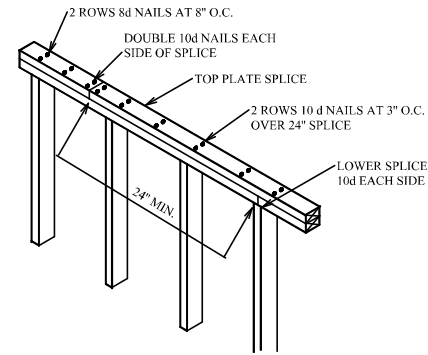
NOTE:  
INSTALL TITEN HD ANCHORS WITHIN 6" OF TOP AND BTM. PLATE  
AND 24" O.C. BETWEEN END ANCHORS.



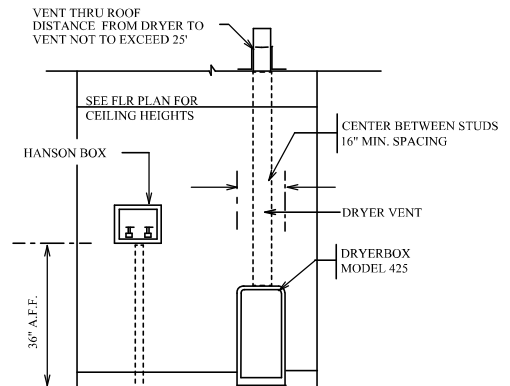
**WOOD STUD CONNECTION TO MASONRY WALL**



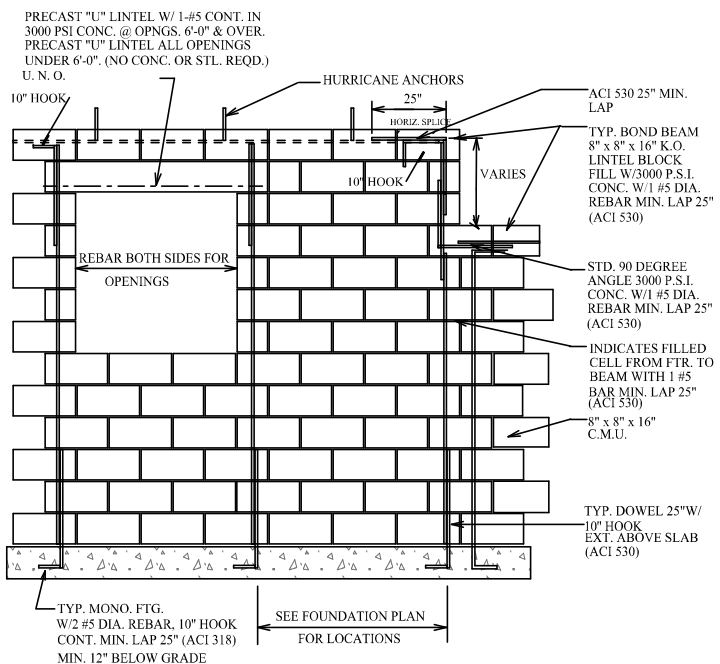
**TYPICAL LOAD BEARING HEADER DETAIL**



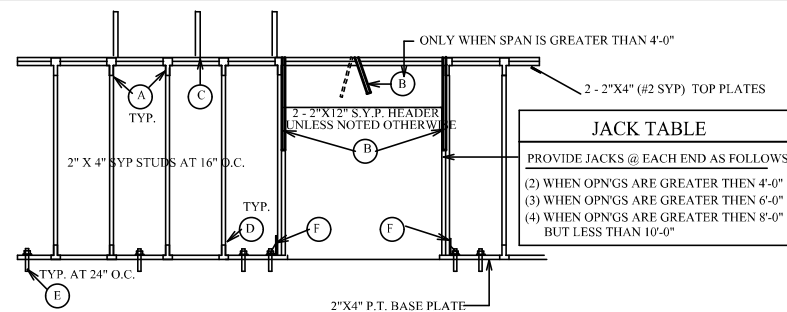
**TOP PLATE SPLICE DETAIL**



**TYPICAL LAUNDRY PLUM. WALL**



**BLOCK WALL/REINFORCEMENT**



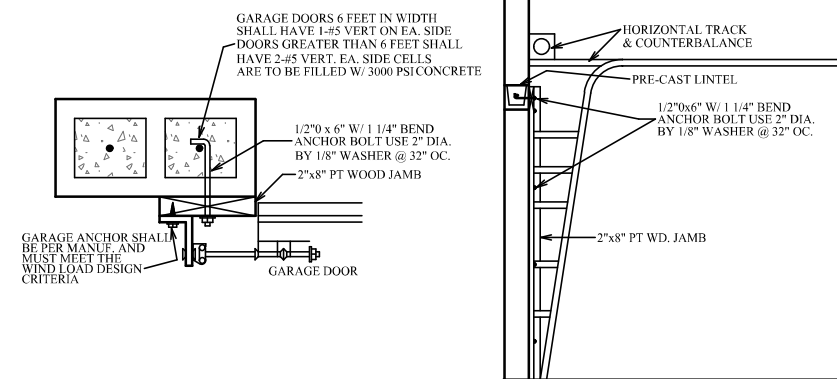
**TYPICAL 1 ST. INT. BEARING WALL U.N.O.**

UPLIFT CAPACITY PER 24\"/>

| CONNECTOR LEGEND |                                      |
|------------------|--------------------------------------|
| (A)              | SIMPSON SP2 W/ 6-10d x 1/2           |
| (B)              | (4) SIMPSON LSTA24 W/18-10d          |
| (C)              | H10 FROM TRUSS TO TOP PLATE          |
| (D)              | SIMPSON SP1 W/ 6-10d x 1/2           |
| (E)              | 5/8\"/>                              |
| (F)              | SIMPSON LTT20B W/ 10-16d AND 5/8\"/> |

**JACK TABLE**

PROVIDE JACKS @ EACH END AS FOLLOWS  
(2) WHEN OP'NGS ARE GREATER THEN 4'-0"  
(3) WHEN OP'NGS ARE GREATER THEN 6'-0"  
(4) WHEN OP'NGS ARE GREATER THEN 8'-0"  
BUT LESS THAN 10'-0"



**GARAGE DOOR CONNECTION DETAIL**

**CONSTRUCTION DETAILS**

A.E.C.S. 00000

**PEBBLE BEACH 2171**

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9400 RIVER CROSSING BLVD.  
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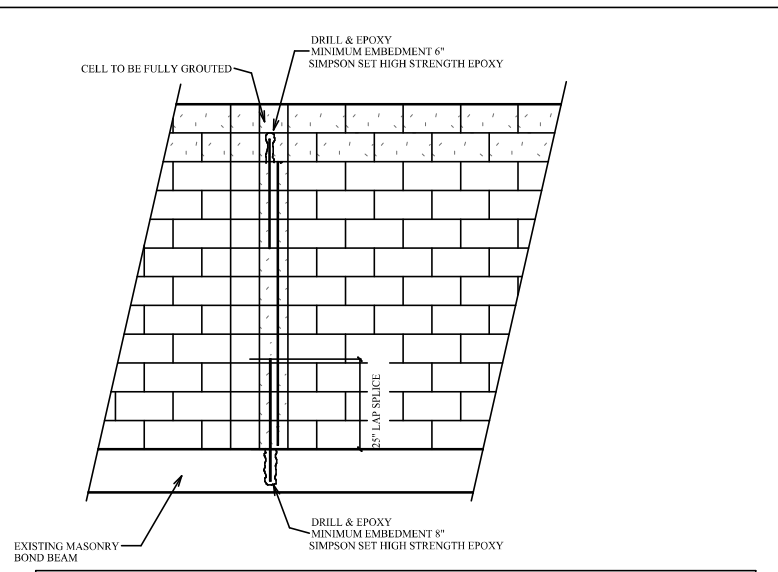
PLAN DATE  
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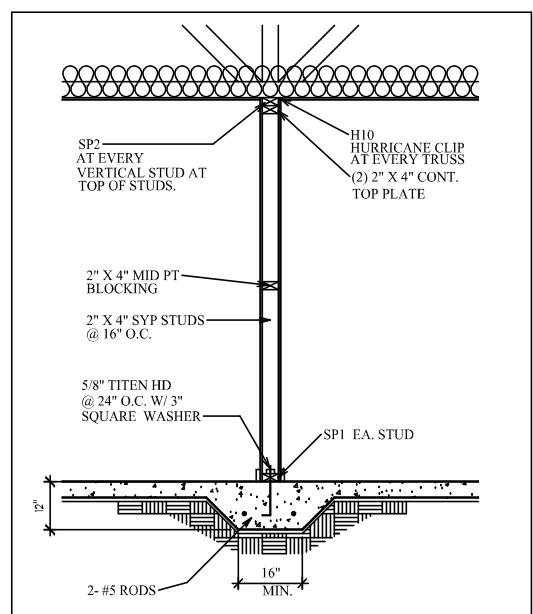
8



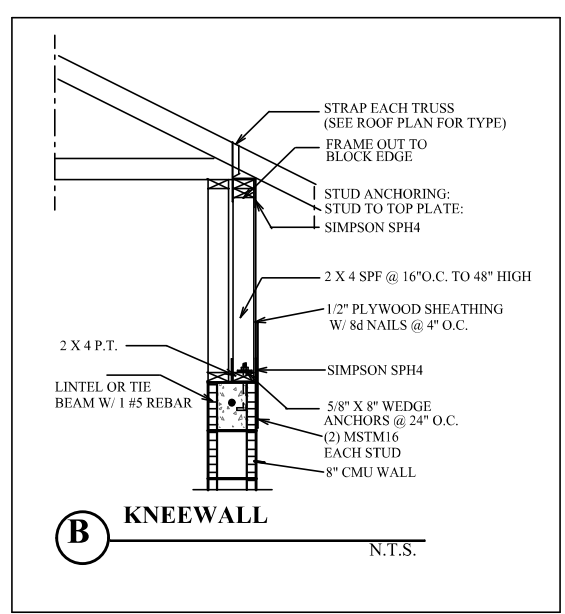
**TYP. RETROFIT VERT. DOWEL CONDITION**

NOTE:  
**MISSING DOWELS: WHERE FOOTING DOWELS ARE PLACED INCORRECTLY OR MISTAKENLY ELIMINATED, REPLACE DOWEL AT PROPER LOCATION W/ GRADE 40 #5 BAR. INSTALL IN SLAB W/ 8" MINIMUM EMBEDMENT, USE EPOXY GROUT.**

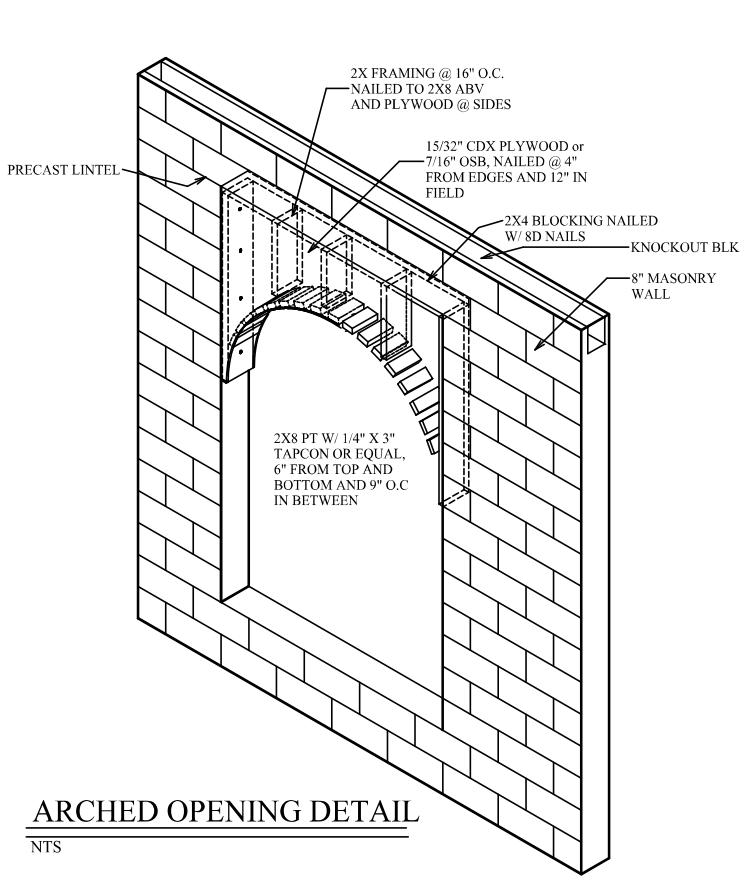
**MISSING ANCHOR BOLTS AT BEARING WALL:**  
 EXTERIOR BEARING WALL:  
 IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS:  
 1.) 5/8" DIAMETER x 6" EMBEDMENT SIMPSON TITEN HD ANCHORS SPACED A MAXIMUM OF 24" O.C.  
 INTERIOR BEARING WALL:  
 IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS:  
 1.) 5/8" DIAMETER x 6" EMBEDMENT SIMPSON TITEN HD ANCHORS SPACED A MAXIMUM OF 24" O.C. IF RESISTING UPLIFT LOADS OR 3 1/2" EMBEDMENT AT 48" O.C. IF RESISTING GRAVITY LOADS



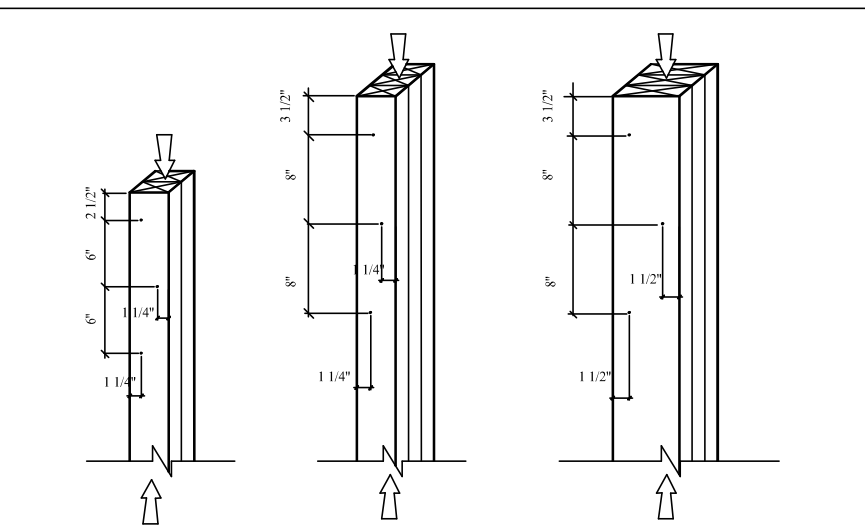
**BEARING PARTITION**



**(B) KNEEWALL**  
 N.T.S.



**ARCHED OPENING DETAIL**  
 NTS



(2) 2"x4" LAMINATIONS  
 W/(1) ROW OF STAGGERED  
 16d COMMON WIRE NAILS  
 (D=0.148, L=3") OR EQUAL

(3) 2"x4" LAMINATIONS  
 W/(1) ROW OF STAGGERED  
 30d COMMON WIRE NAILS  
 (D=0.207, L=4 1/2") OR EQUAL

(3) 2"x6" LAMINATIONS  
 W/(2) ROW OF STAGGERED  
 30d COMMON WIRE NAILS  
 (D=0.207, L=4 1/2") OR EQUAL

NOTES:  
 1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN  
 2) ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION  
 3) EACH 30d COMMON NAIL MAY BE REPLACED W/(2) 16d COMMON NAILS. (ONE INTO EACH OUTSIDE FACE OF B.U.C. SAME NUMBER OF ROES, SAME SPACING)  
 4) FOR 4-PLY, PROVIDE 1 1/4" DIA. X 5 1/2" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)  
 5) FOR 5-PLY, PROVIDE 1 1/4" DIA. X 7" LAG SCREWS OR EQUAL (SPACE AS SHOWN FOR 3-PLY)  
 6) REFER TO NDS SECTION 15.3 FOR ADDITIONAL INFORMATION

**TYP. NAILING SCHEDULE FOR BUILT-UP COLUMNS**

**CONSTRUCTION DETAILS**

**PEBBLE BEACH 2171**

A.E.C.S. 0000

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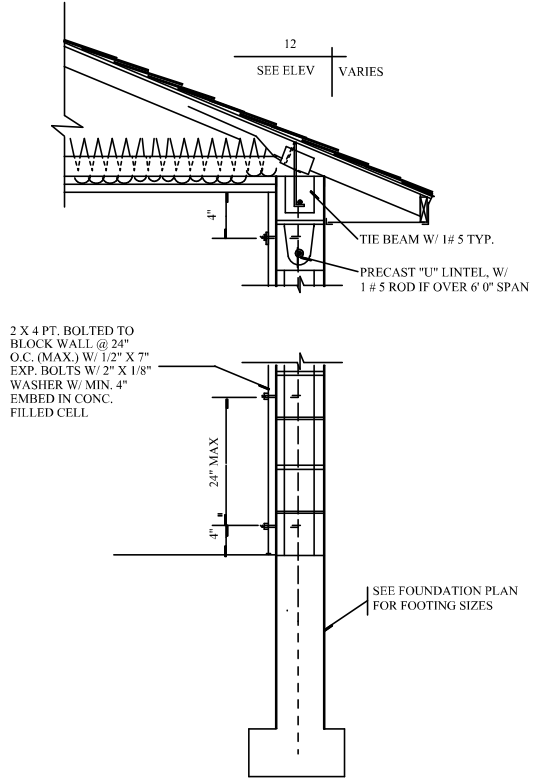
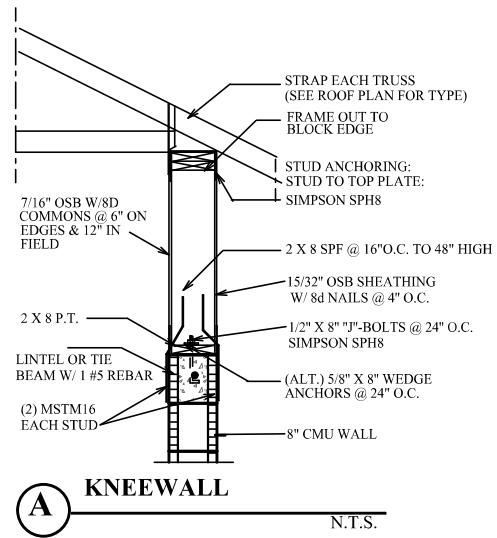
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**JOB ADDRESS**

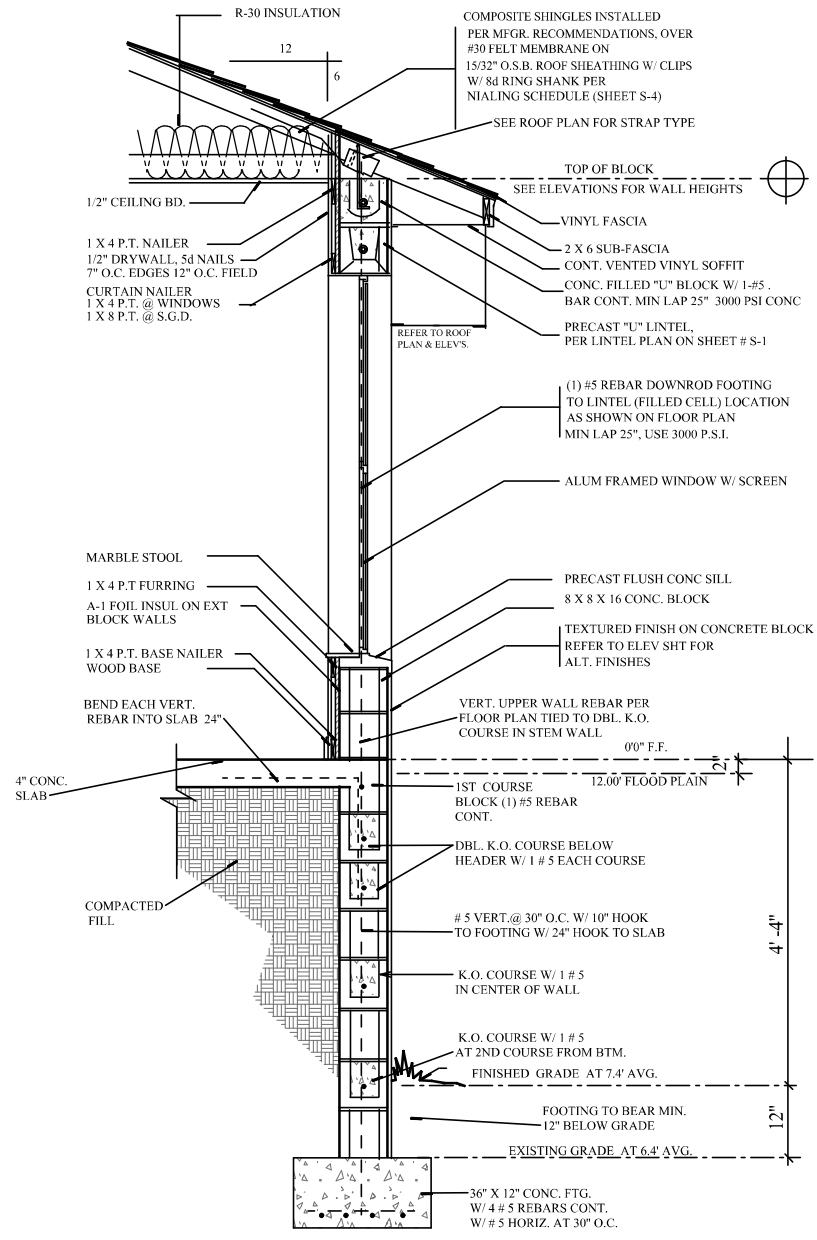
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 9400 RIVER CROSSING BLVD.  
 NEW PORT RICHEY, FL. 34655

**9**



**2** FRAME TO BLOCK CONNECTION  
INTERIOR BEARING TO EXT BLOCK



**TYPICAL WALL SECTION**

**TERMITE SPECIFICATIONS:**  
INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

**PEBBLE BEACH 2171**

A.E.C.S. 00000

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**10**