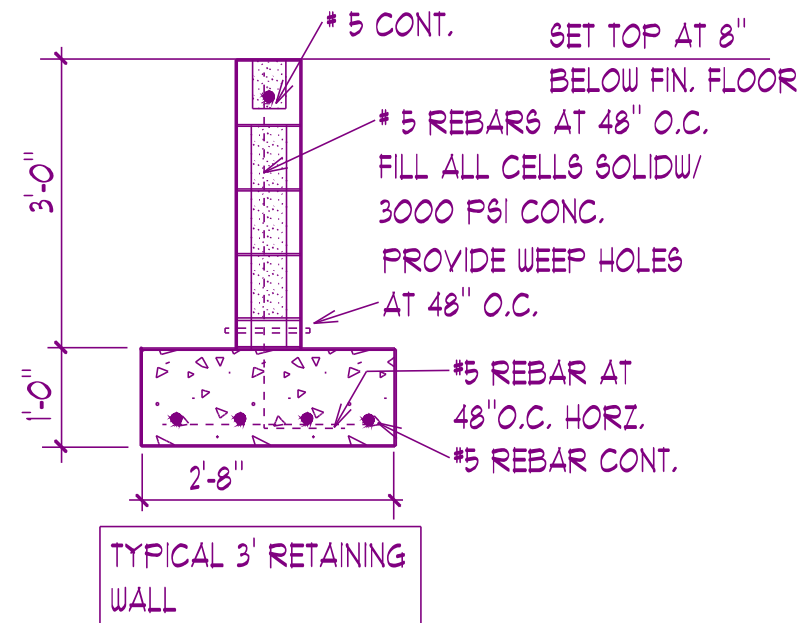


SEE SHEET 1A FOR  
FND. EXP. PLAN

FOOTING PAD KEYS

- (A) 24" x 24" 16"D CONC. PAD W/3) #5 REBAR'S E-W. RECESS PAD 8" TO ALLOW FOR PAVERS
- (B) 48" x 24" 16"D CONC. PAD W/ #5 REBAR'S @ 6" O/C E-W. RECESS PAD 8" TO ALLOW FOR PAVERS
- (C) RECESSED 16" x 16" CONC. FTG. W/2) #5 BARS CONT. BETWEEN COLUMN PADS
- (D) 30" x 30" x 20"D CONC. PAD W/5 REBAR'S @ 6" O/C E-W.
- (E) 42" x 42" x 20"D CONC. PAD W/5 REBAR'S @ 6" O/C E-W.
- (F) 36" x 36" x 20"D CONC. PAD W/5 REBAR'S @ 6" O/C E-W.
- (G) 48" x 48" x 20"D CONC. PAD W/5 REBAR'S @ 6" O/C E-W.

TYP. 3'  
RETAINING WALL



SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB ON GRADE SHALL COMPLY WITH FBC SECT. 1811.2 (EXCEPTION 1)

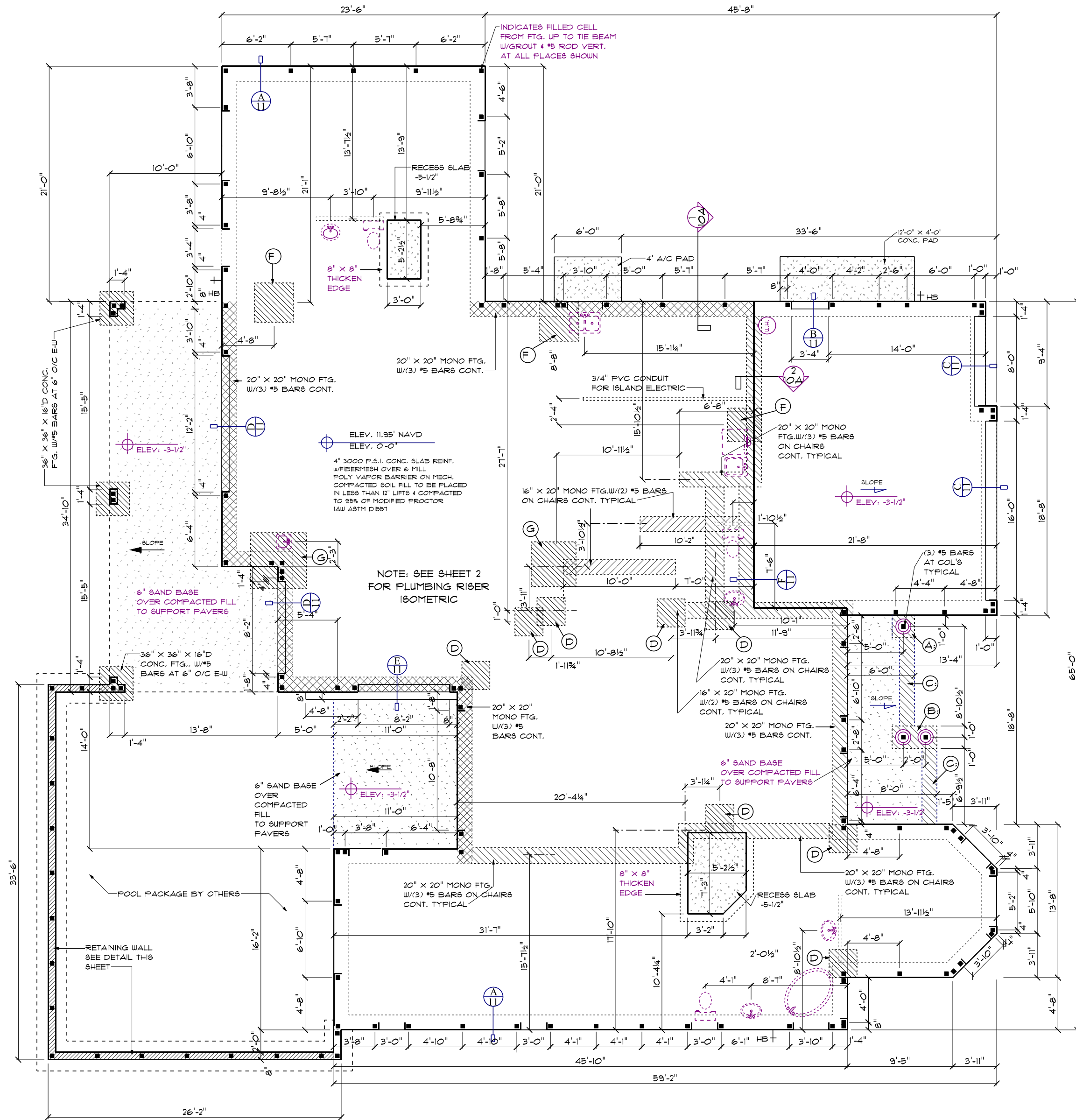
TERMITE SPECIFICATIONS

INSTALL 'BORA-CARE' TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

NOTES

- 1) NO SOILS INFORMATION PROVIDED. PRESUMED ALLOWABLE SOIL BEARING CAPACITY IS 3000 P.S.F.
- 2) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
- 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL
- 5) REFER TO STRUCTURAL ENGINEER NOTES.

DRIVEWAY SPEC. DRIVEWAY NOT IN RIGHT OF WAY TO BE BRICK PAVERS.  
DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT



FOUNDATION PLAN

SCALE 1/8" = 1'-0"

A.E.C.S. # 14063

ASPEN 4665

DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

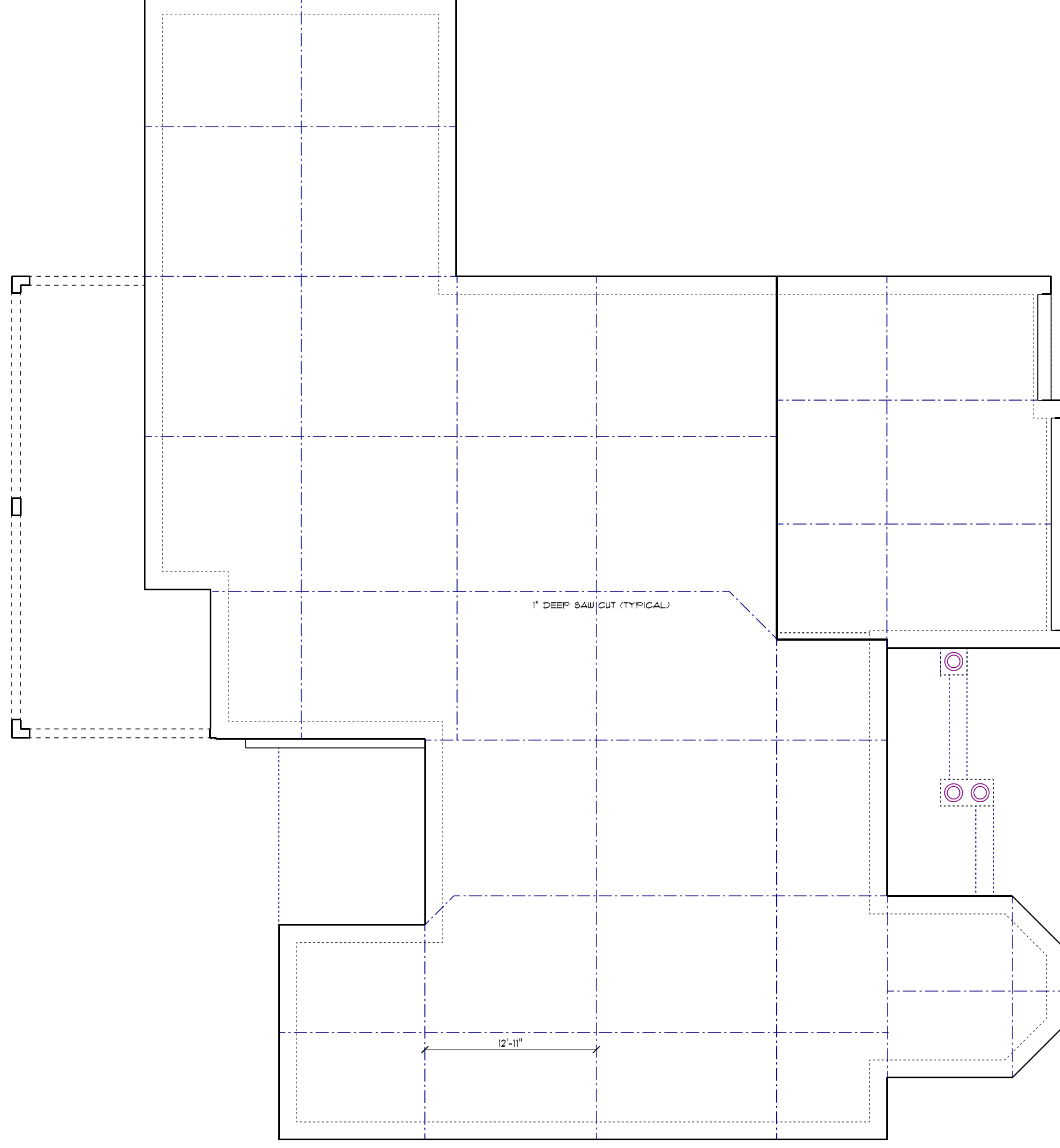
PLAN DATE	DATE
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

LOT 15  
PLANTATION

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS IN COMPLIANCE WITH CHAPTER 16 OF THE 2010 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.  
SIGNATURE: RICHARD E. ALLEN P.E. #56920

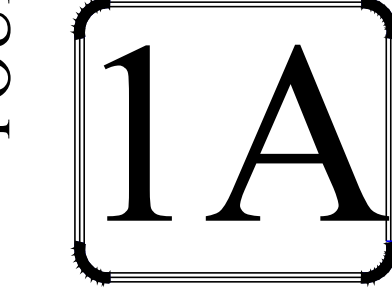
ALLEN ENGINEERING & CONSTRUCTION SERVICES  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #56920 C.A. #9542  
P.O. BOX 351  
NEW PORT RICHEY, FL 34656  
727-842-6100  
richallenpe@gmail.com

1



FOUNDATION EXPANSION PLAN

SCALE 1/8" = 1'-0"



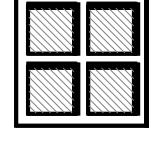
**DEEB FAMILY  
HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

PLAN DATE

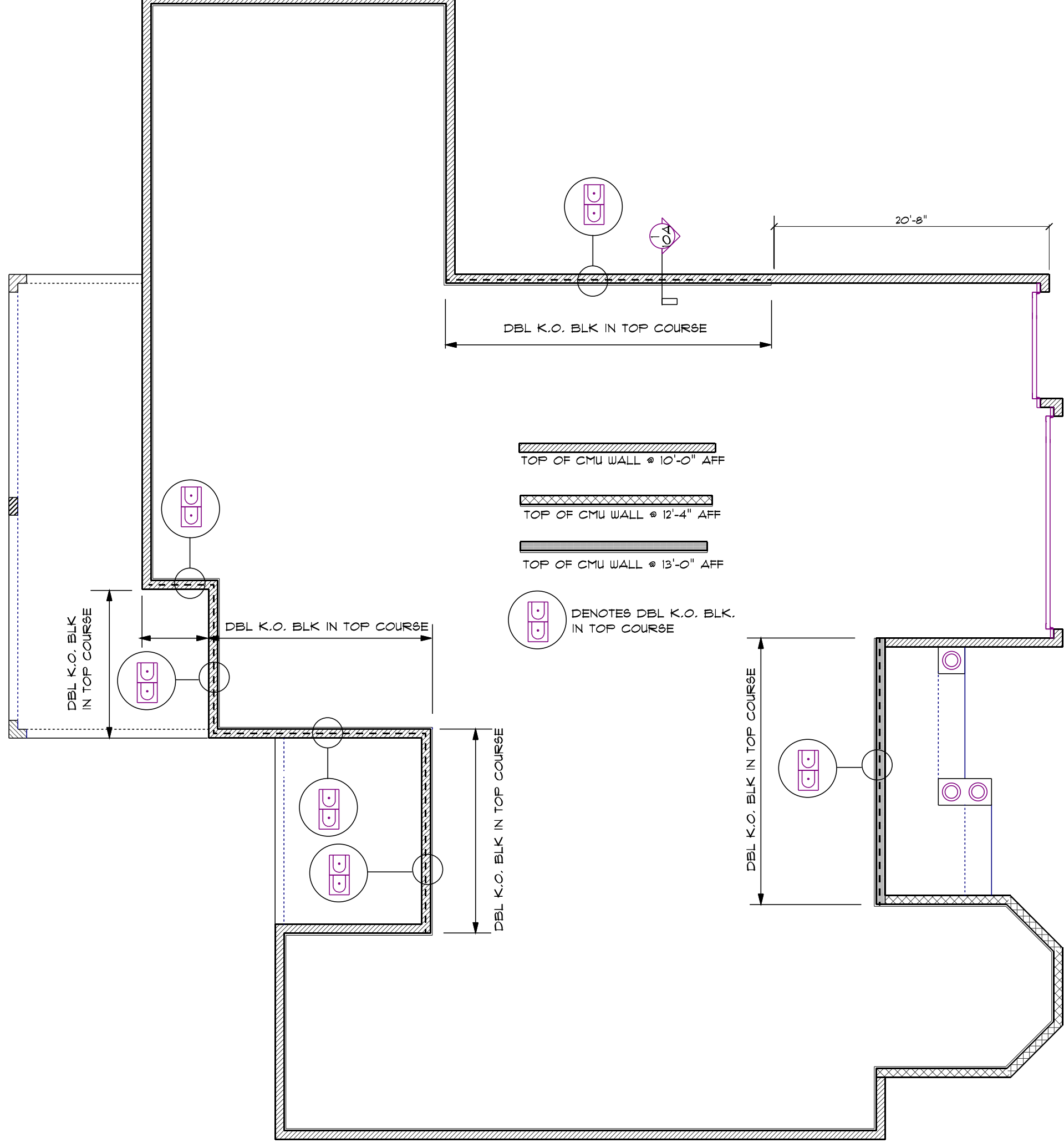
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

LOT 15  
PLANTATION

ASPEN 4665



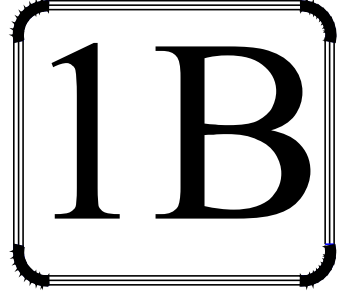
**ROBBIAN DESIGN**  
AL ROBBIAN A.I.B.D  
6397 CONNIEWOOD SQ.  
NEW PORT RICHEY, FL. 34653  
(727) 848-2259  
MAIL - al@robbiandesign.com



MASONRY WALL HEIGHT PLAN

SCALE 1/8" = 1'-0"

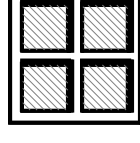
ASPEN 4665



**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

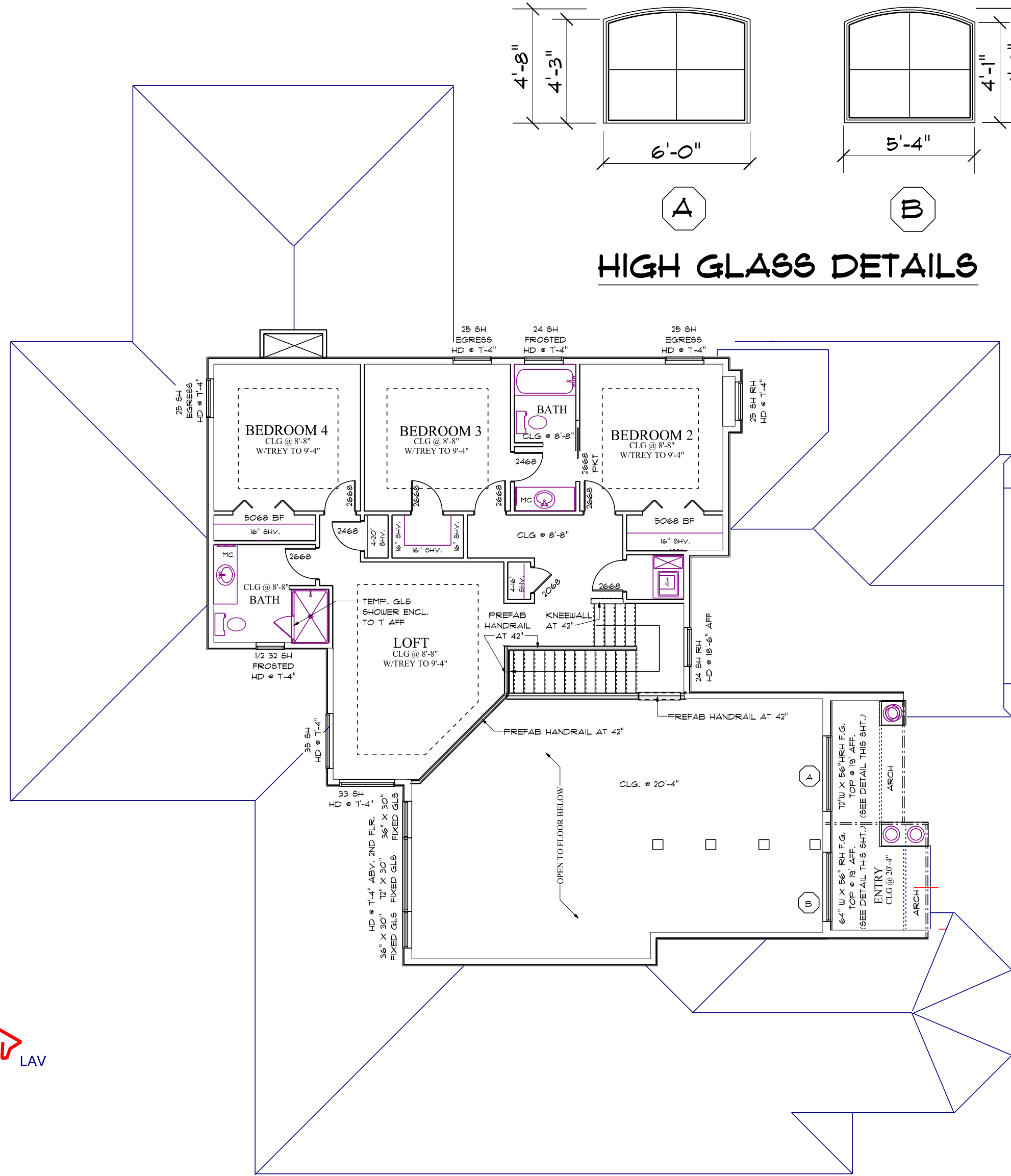
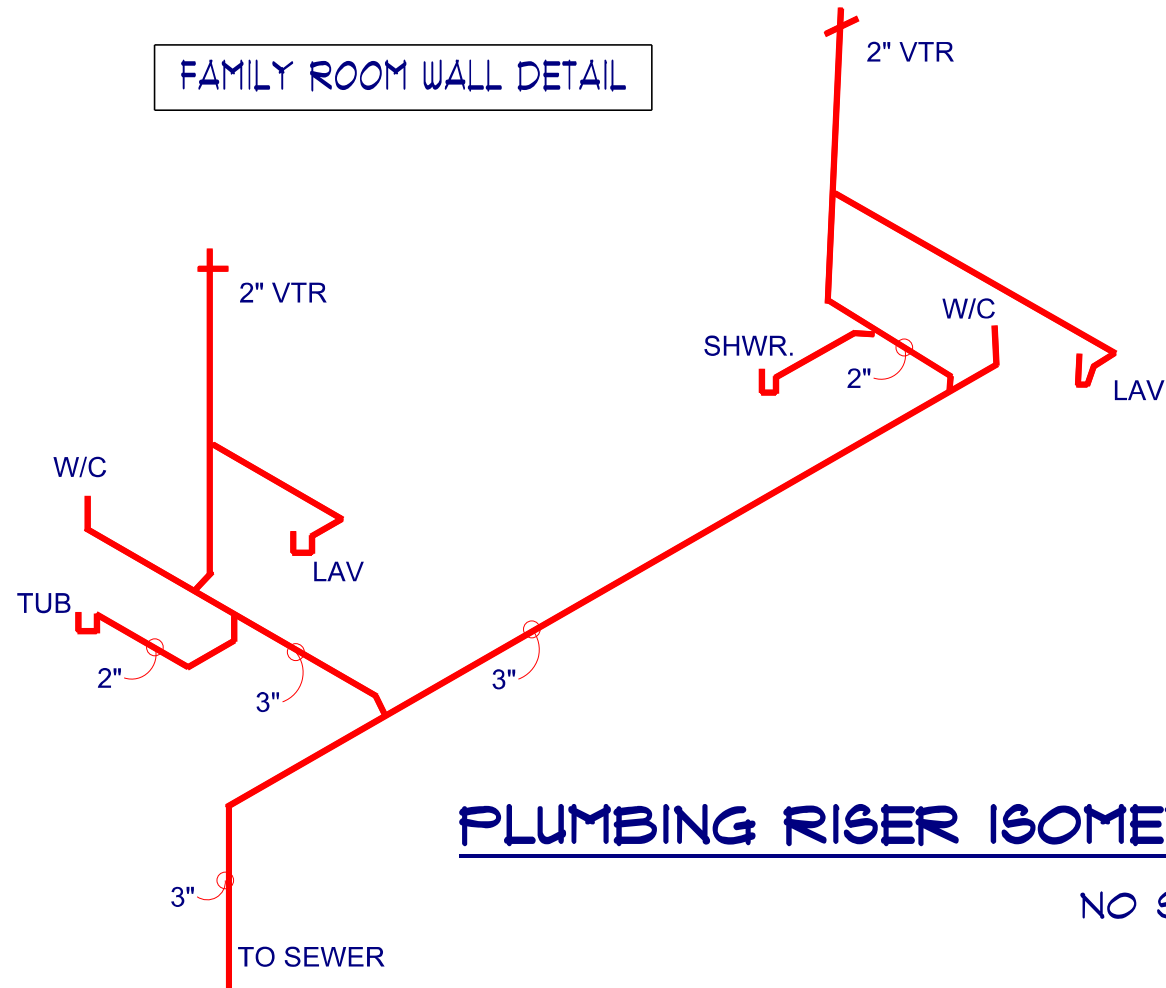
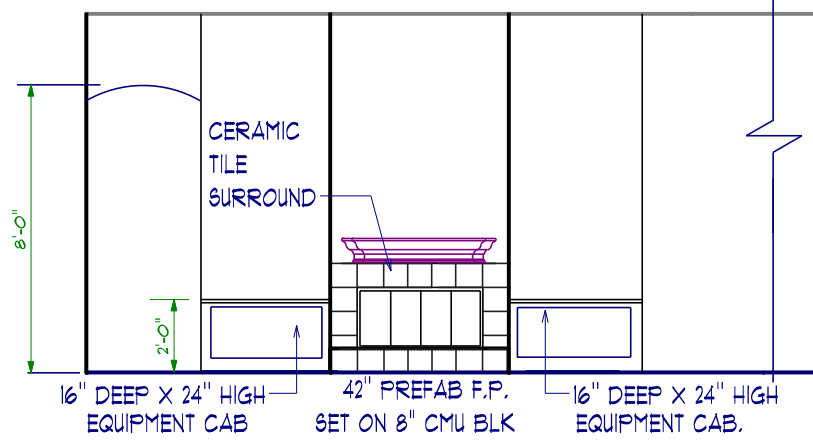
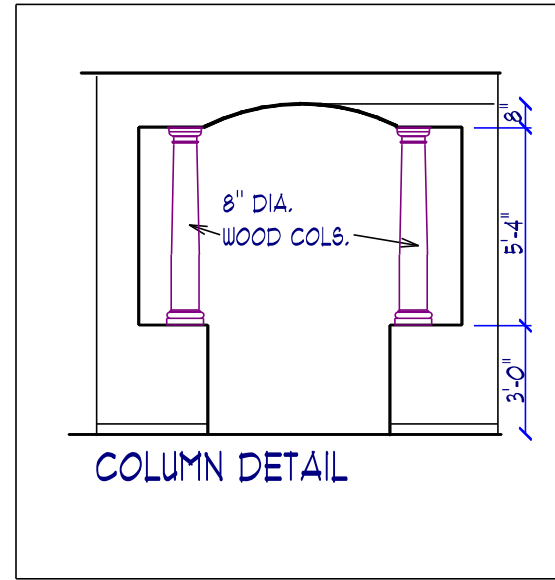
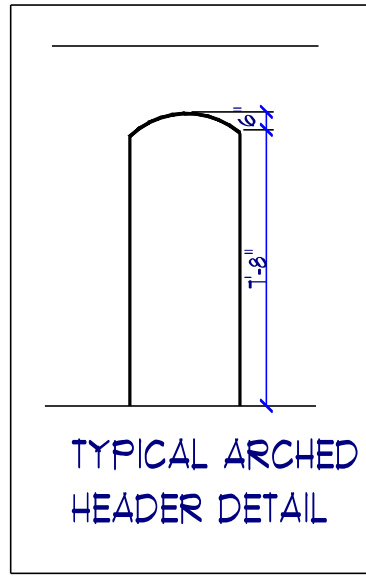
PLAN DATE	PLAN DATE
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

LOT 15  
 PLANTATION



**ROBBIAN DESIGN**  
 AL ROBBIAN A.I.B.D  
 6397 CONNIEWOOD SQ.  
 NEW PORT RICHEY, FL. 34653  
 (727) 848-2259  
 MAIL - al@robbiandesign.com





2ND FLOOR PLAN NOTES

SCALE 1/8" = 1'-0"

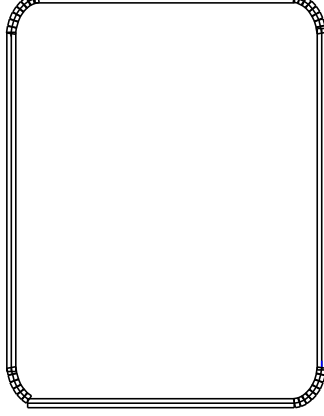
ASPEN 4665

2A

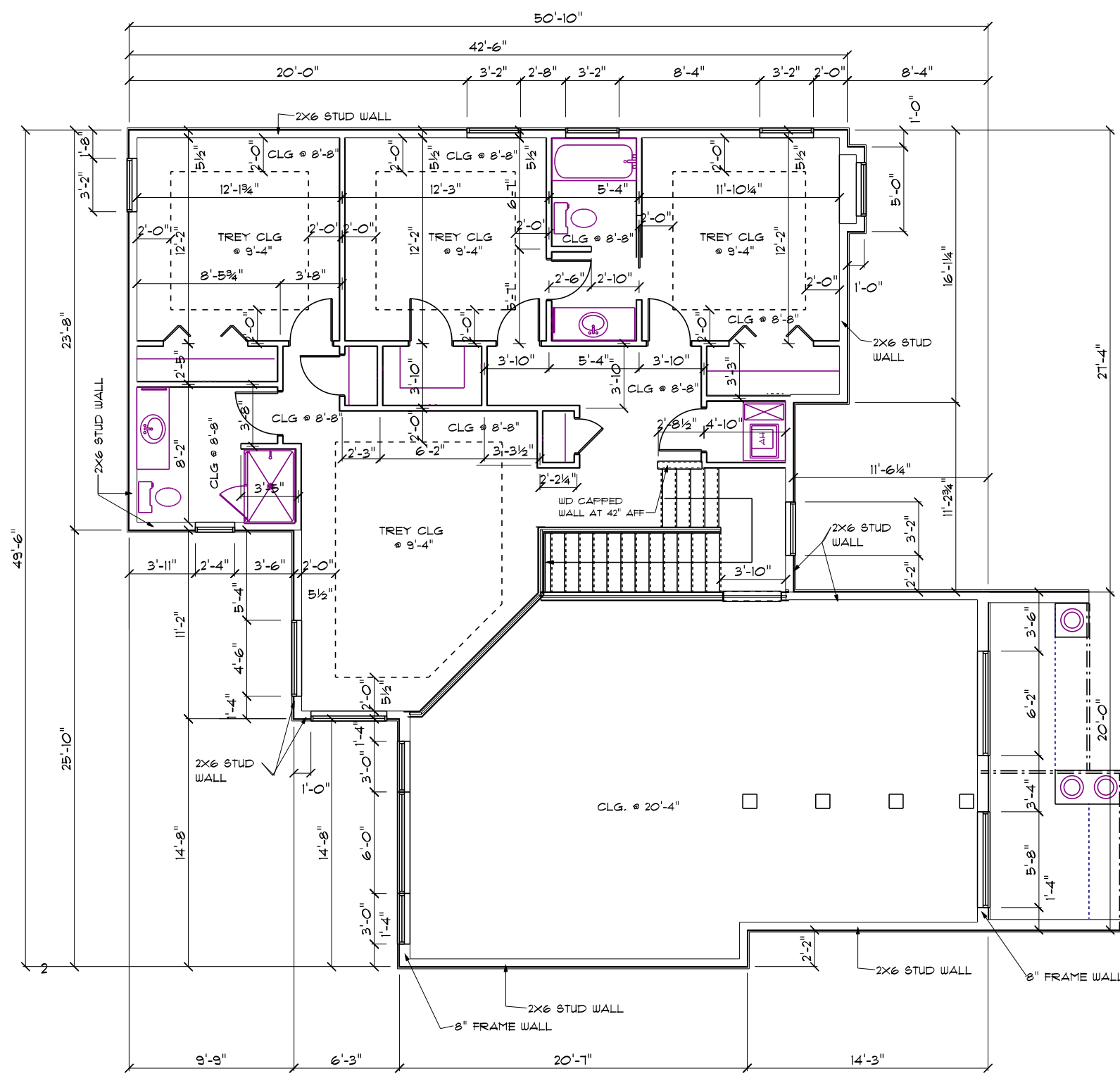
DEEB FAMILY HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

PLAN DATE	DATE
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

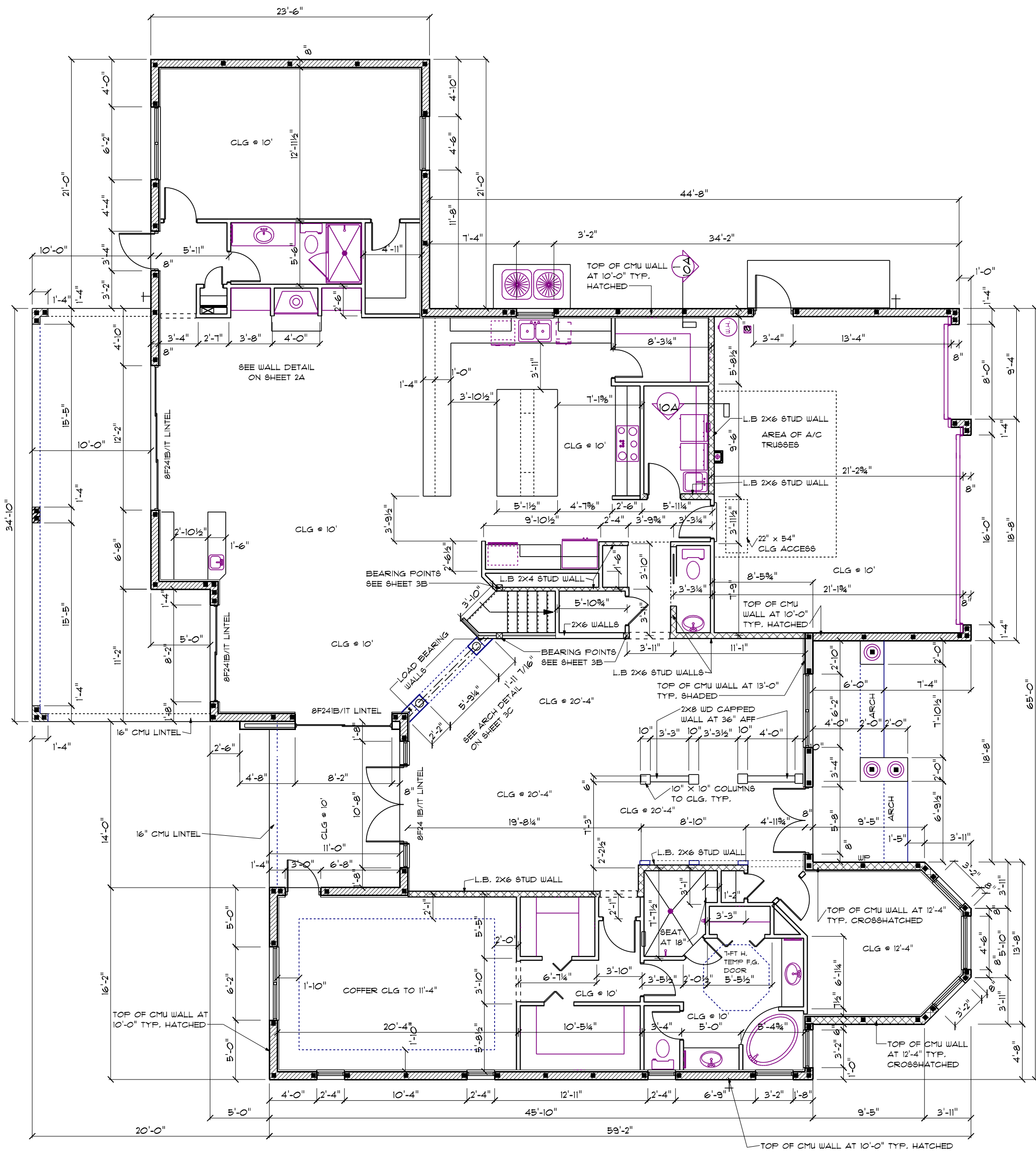
LOT 15 PLANTATION



ROBBIAN DESIGN  
AL ROBBIAN A.I.B.D  
6397 CONNIEWOOD SQ.  
NEW PORT RICHEY, FL. 34653  
(727) 848-2259  
MAIL - al@robbiandesign.com



**2ND FLOOR**



**DIMENSION PLAN**

SCALE 1/8" = 1'-0"

A.E.C.S # 14063

ASPEN 4665

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

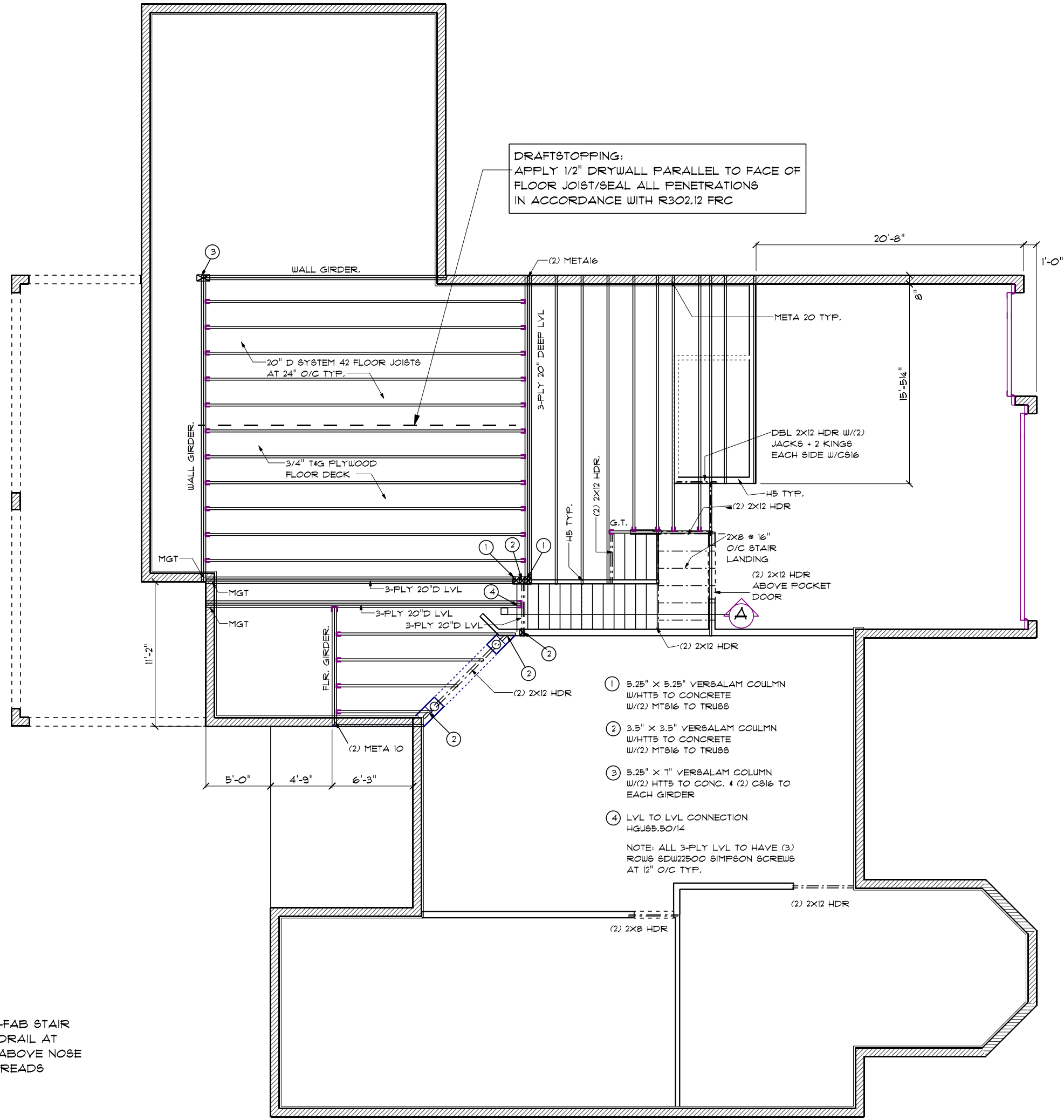
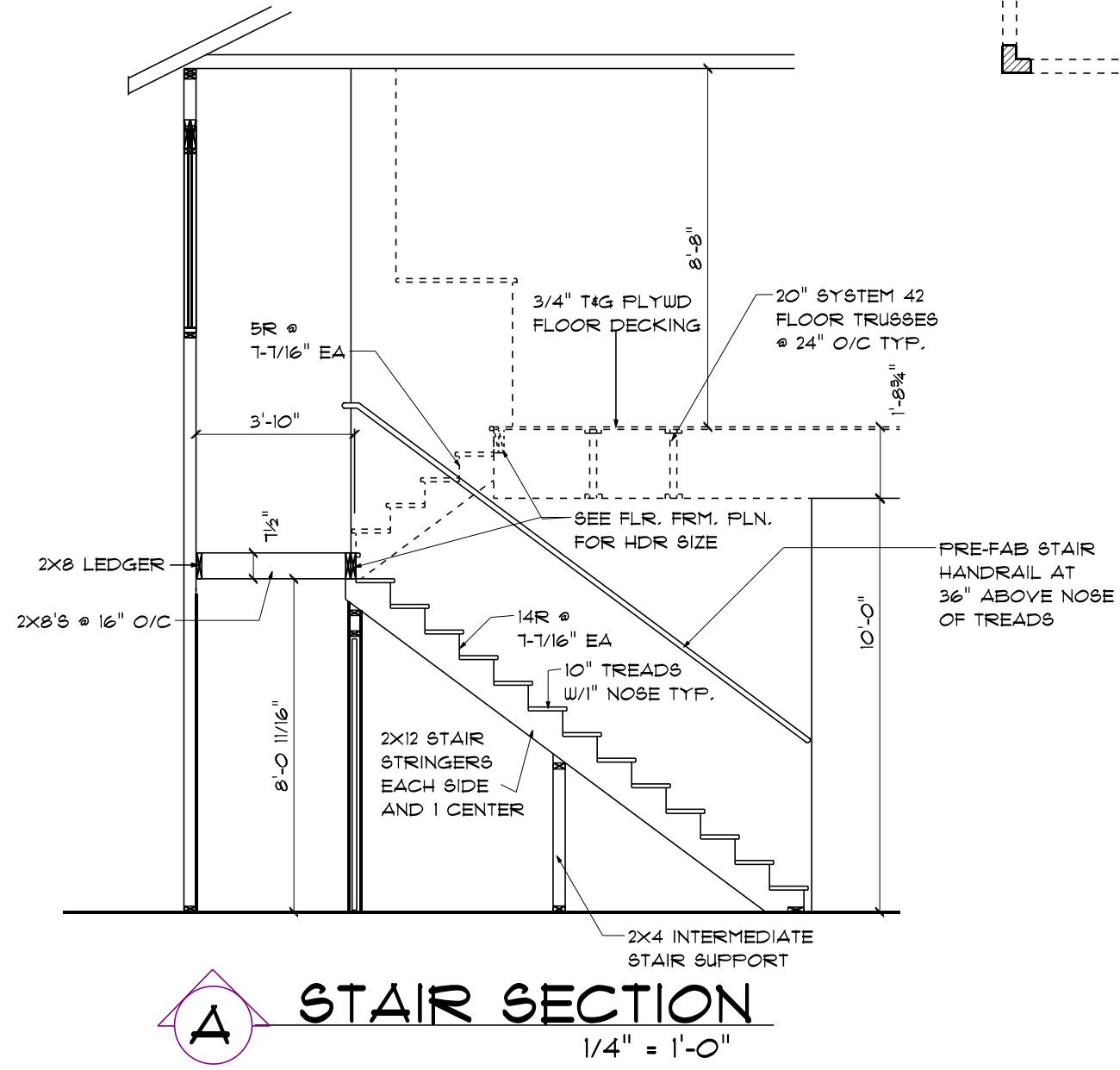
PLAN DATE	DATE
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

**LOT 15 PLANTATION**

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH THE MINIMUM REQUIREMENTS OF THE FLORIDA BUILDING CODE, IN COMPLIANCE WITH CHAPTER 16 OF THE 2010 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.  
 SIGNED  
 RICHARD E. ALLEN P.E. #56920  
 richallenpe@gmail.com

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
 RICH ALLEN PROFESSIONAL ENGINEER  
 P.E. #56920 C.A. #9542  
 P.O. BOX 351  
 NEW PORT RICHEY, FL 34656  
 727-842-6100  
 richallenpe@gmail.com

**3**



- ① 5.25" x 5.25" VERSALAM COLUMN W/HTS TO CONCRETE W/2) MTS16 TO TRUSS
  - ② 3.5" x 3.5" VERSALAM COLUMN W/HTS TO CONCRETE W/2) MTS16 TO TRUSS
  - ③ 5.25" x 1" VERSALAM COLUMN W/2) HTS TO CONC. 4 (2) CS16 TO EACH GIRDER
  - ④ LVL TO LVL CONNECTION HGUB5,50/14
- NOTE: ALL 3-PLY LVL TO HAVE (3) ROWS SDWZ500 SIMPSON SCREWS AT 12" O/C TYP.

**FLOOR FRAMING PLAN**

SCALE 1/8" = 1'-0"

A.E.C.S # 14063

ASPEN 4665

**DEEB FAMILY HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

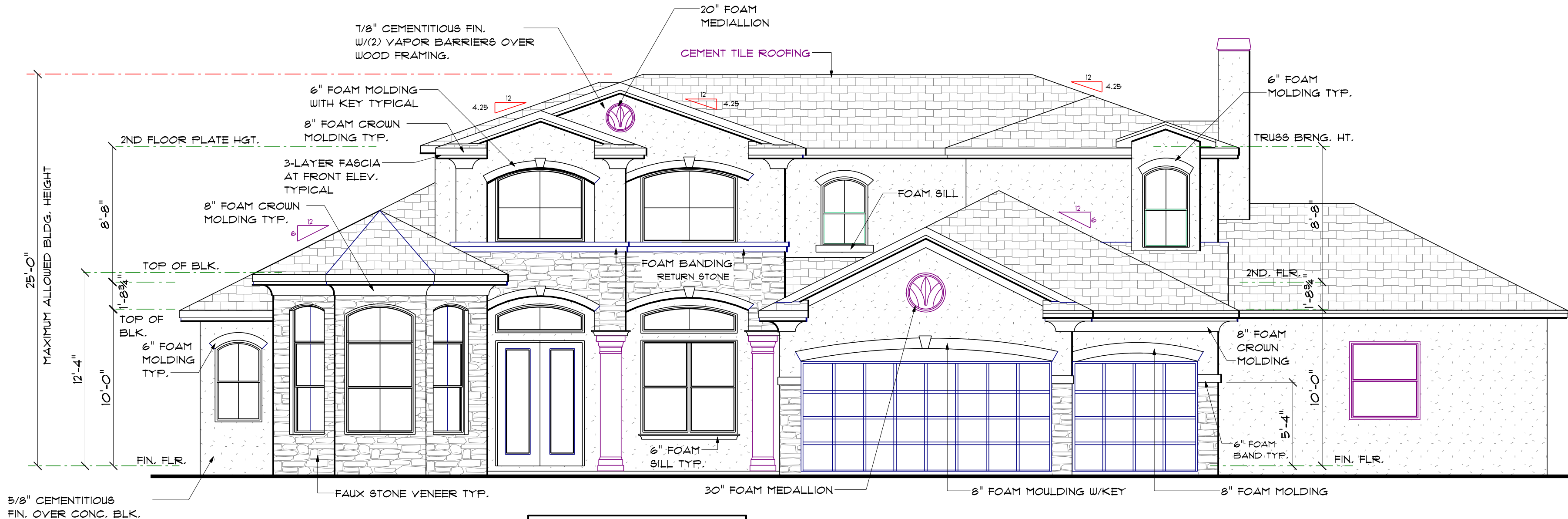
**3B**

**LOT 15 PLANTATION**

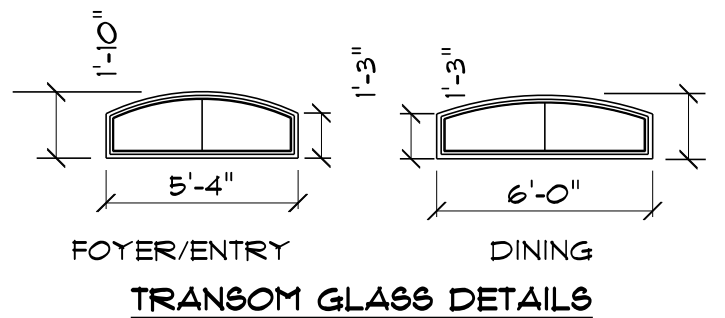
I HEREBY CERTIFY THAT I HAVE DESIGNED THIS STRUCTURE TO COMPLY WITH ALL APPLICABLE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2010 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #56920 C.A. #9542  
P.O. BOX 351  
NEW PORT RICHEY, FL. 34656  
727-842-6100  
richallenpe@gmail.com

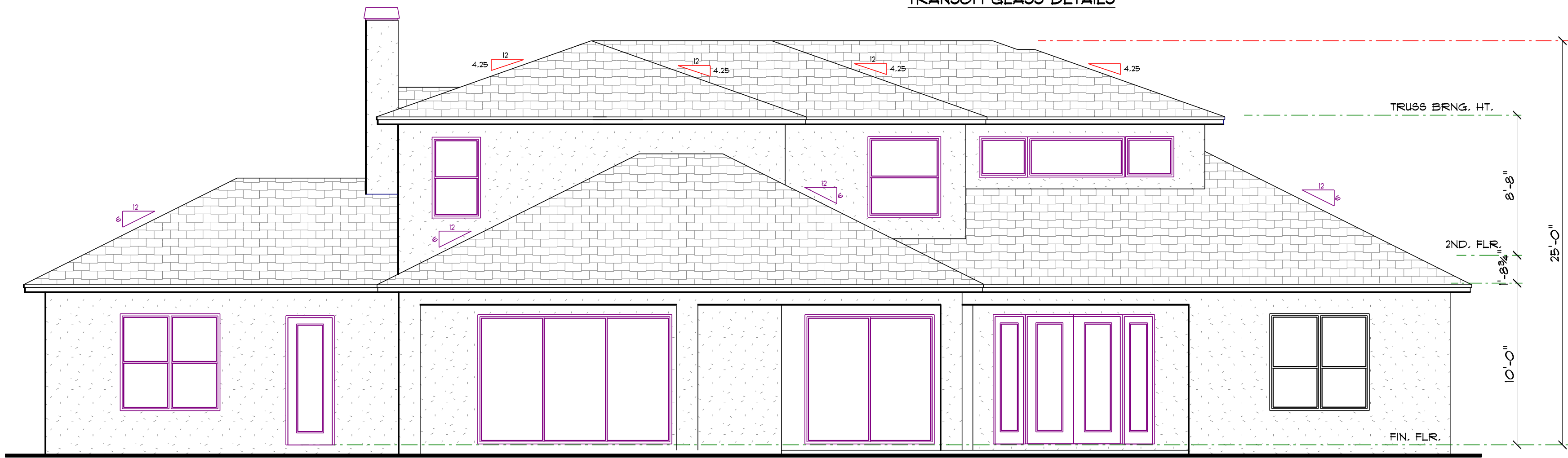
SIGNED: RICHARD E. ALLEN P.E. #56920



**FRONT ELEVATION**



**TRANSOM GLASS DETAILS**



**REAR ELEVATION**

**ASPEN 4665**

**ROBBIAN DESIGN**  
 AL ROBBIAN A.I.B.D  
 6397 CONNORWOOD SQ.  
 NEW PORT RICHEY, FL. 34653  
 (727) 848-2259  
 MAIL - al@robbiandesign.com



**SCALE 3/16" = 1'-0"**

**LOT 15  
 PLANTATION**

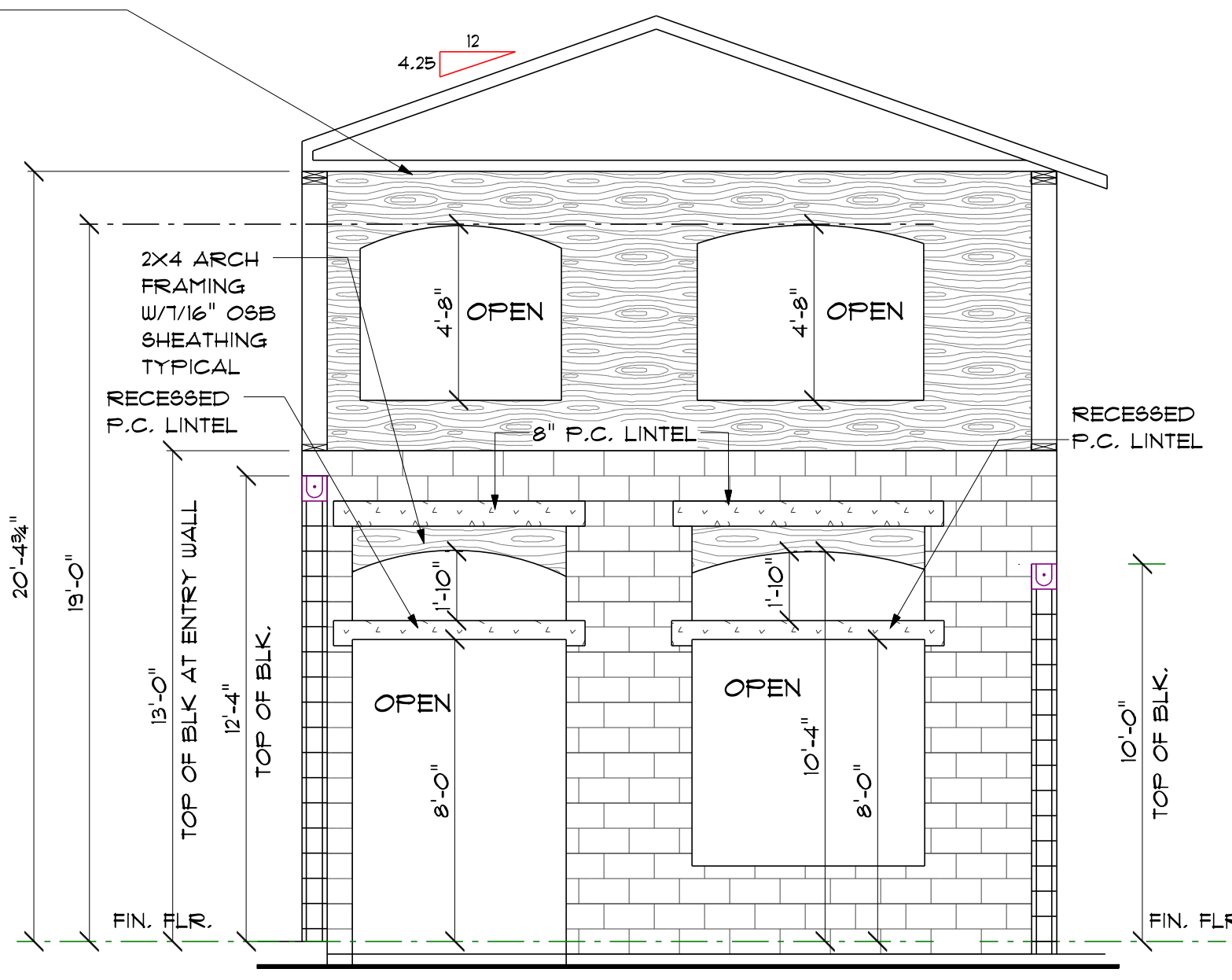
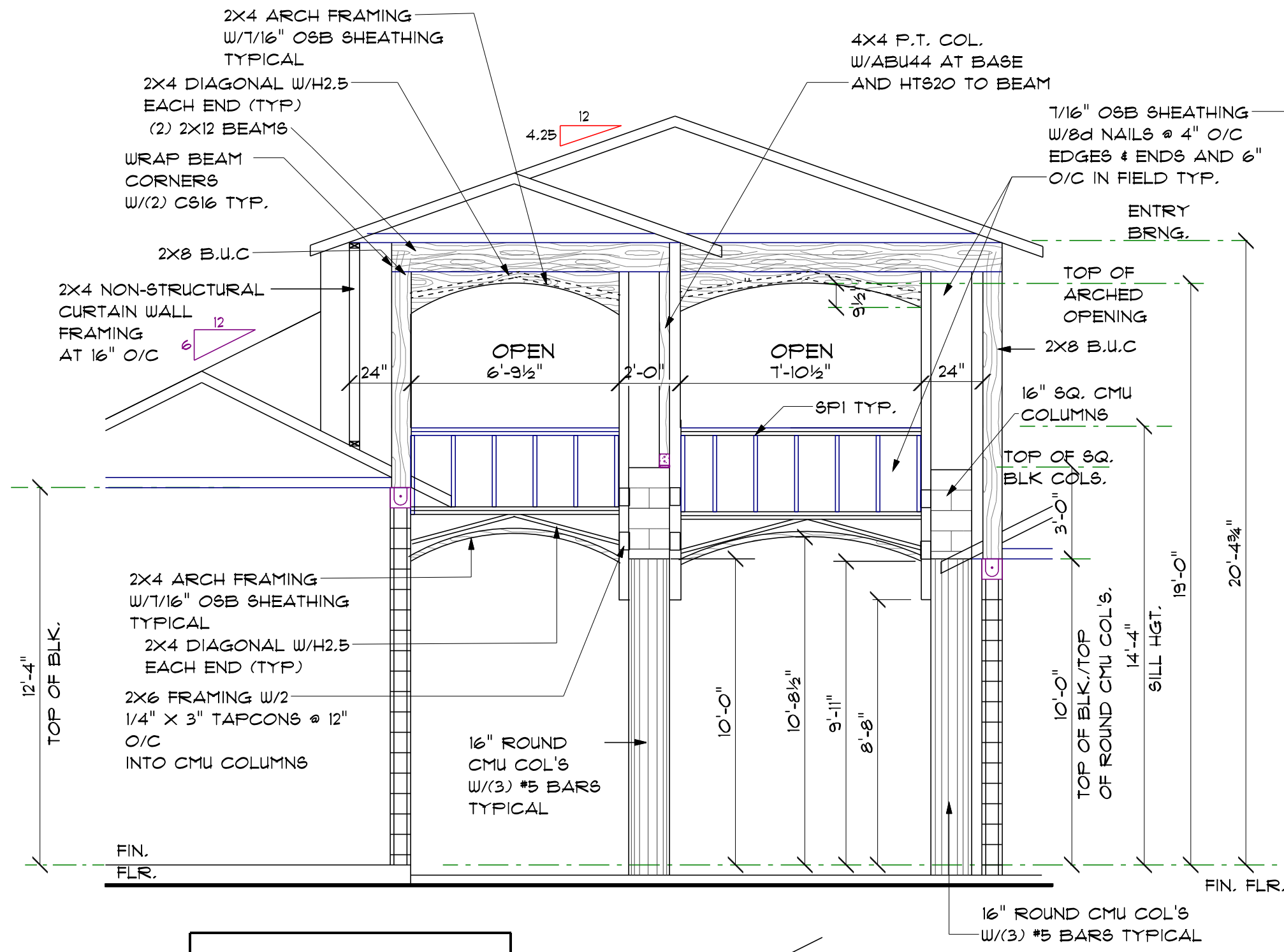
PLAN DATE	DATE
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

**EXTERIOR ELEVATIONS**

**DEEB FAMILY  
 HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

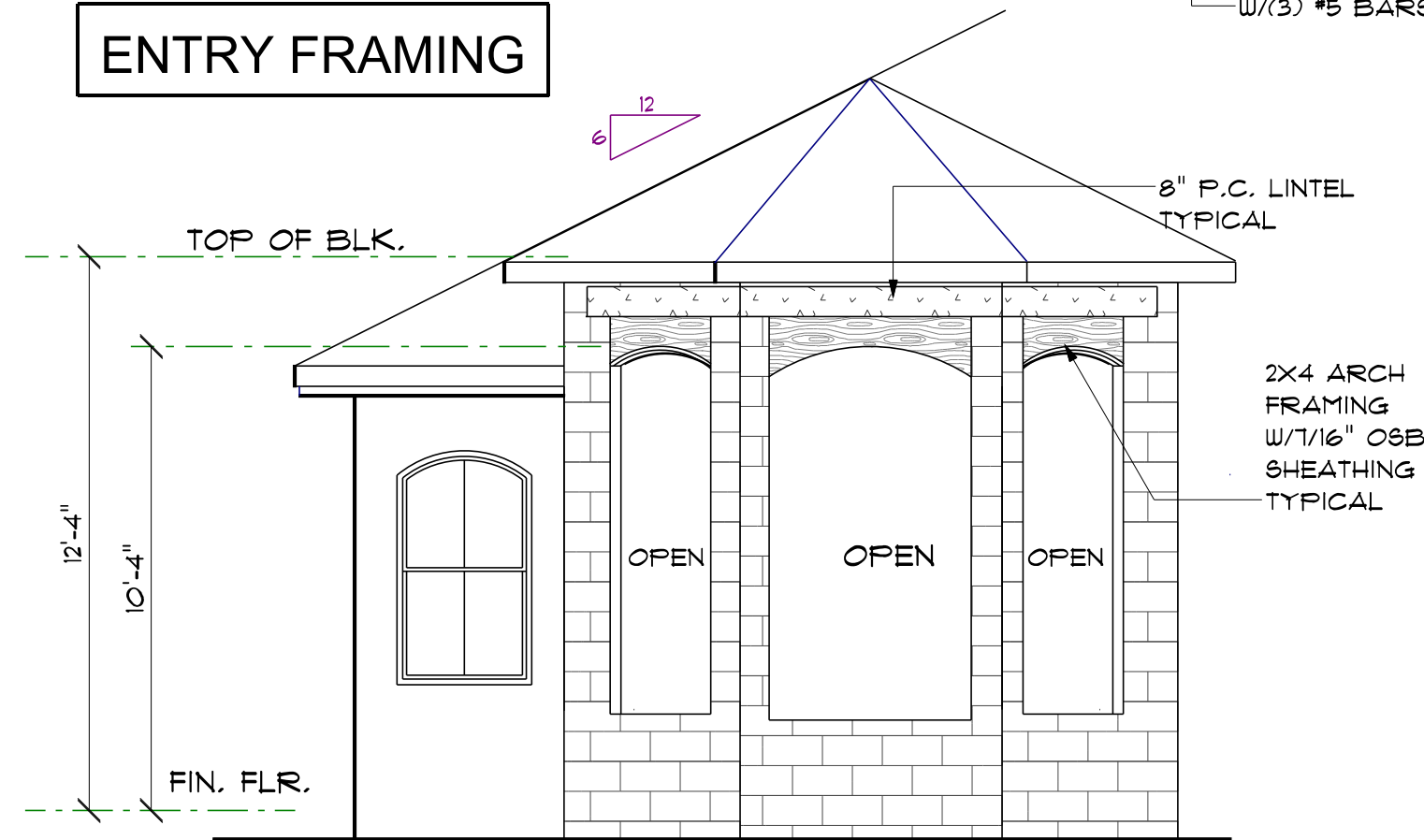
**4**





ENTRY FRAMING

ENTRY WALL CONST. ELEV.



STUDY WALL CONST. ELEV.

NAILING SCHEDULE

SPI:	4- 10d TO PLATE
	6 -10d TO STUD
H10:	8-8d X 1 1/2" TO TRUSS & TOP PLATE
H2:	5-8d
META16:	6-16d
C616:	20-10d
HTS20:	20-10d
MSTAM36:	4-1/4" x 1 3/4" TAPCONS

NOTE: ALL NON STRUCTURAL LUMBER IS TO BE SOUTHERN PINE FIR U.N.O.

ASPEN 4665

ALLEN ENGINEERING & CONSTRUCTION SERVICES  
 RICH ALLEN PROFESSIONAL ENGINEER  
 P.E. #56920 C.A. #9542  
 NEW PORT RICHEY, FL 34656  
 727-842-6100  
 richallenpe@gmail.com

A.E.C.S. # 14063

I HEREBY CERTIFY THAT I HAVE PREPARED THIS DESIGN TO COMPLY WITH ALL APPLICABLE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2010 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.

SIGNED: RICHARD E. ALLEN P.E. #6620  
 RICHALLENPE@GMAIL.COM

LOT 15 PLANTATION

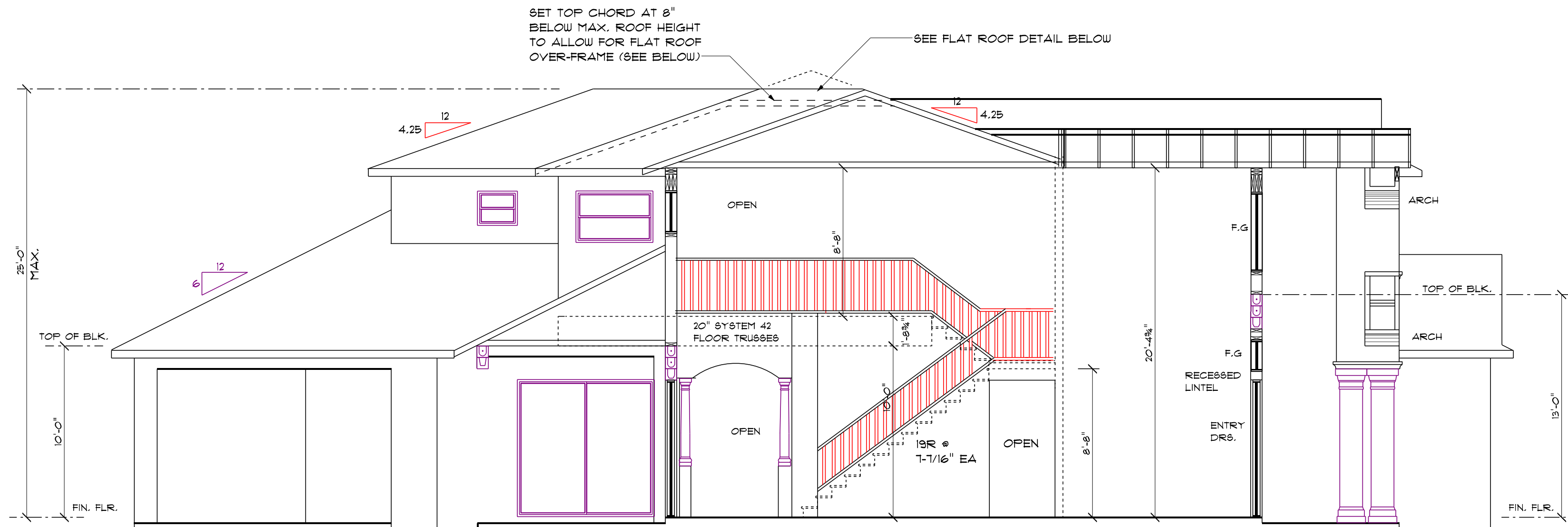
SCALE 1/4" = 1'-0"

ENTRY TOWER DETAILS

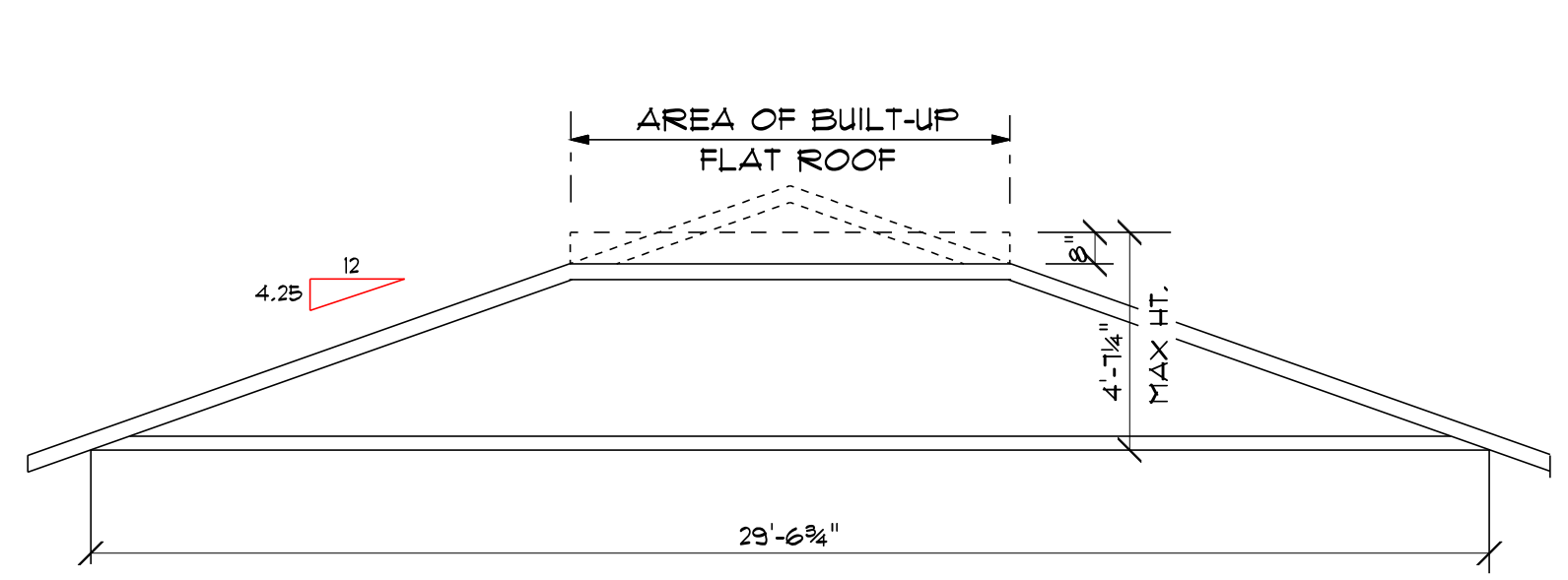
PLAN DATE	DATE
	08-19-2014
	09-16-2014
	10-10-2014
	12-02-2014
	12-30-2014

DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

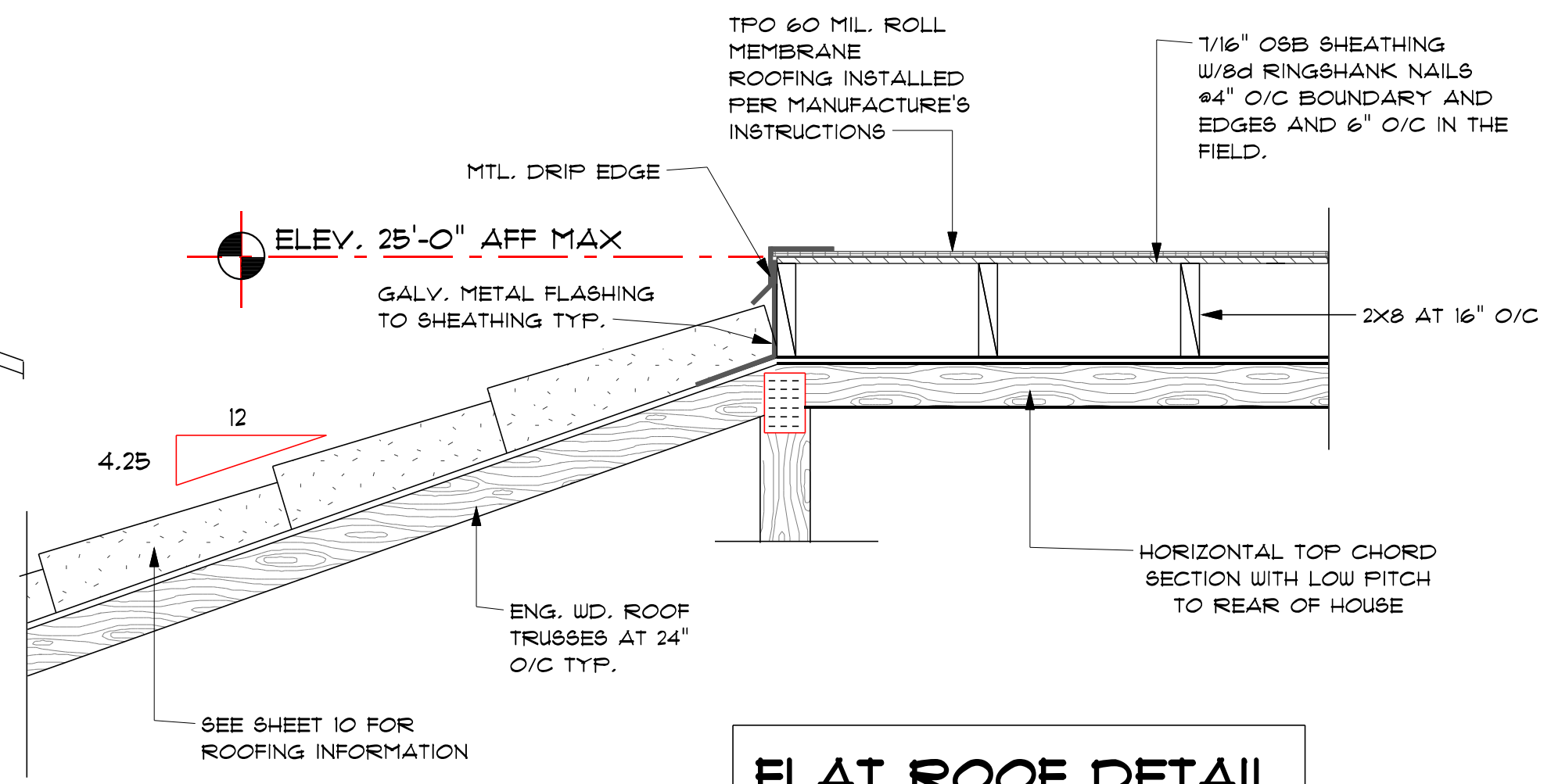
4A



**BUILDING SECTION 'A'**



**TRUSS PROFILE AT FLAT ROOF**



**FLAT ROOF DETAIL**

BUILDING SECTION

SCALE 3/16" = 1'-0"

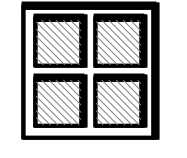
ASPEN 4665

4B

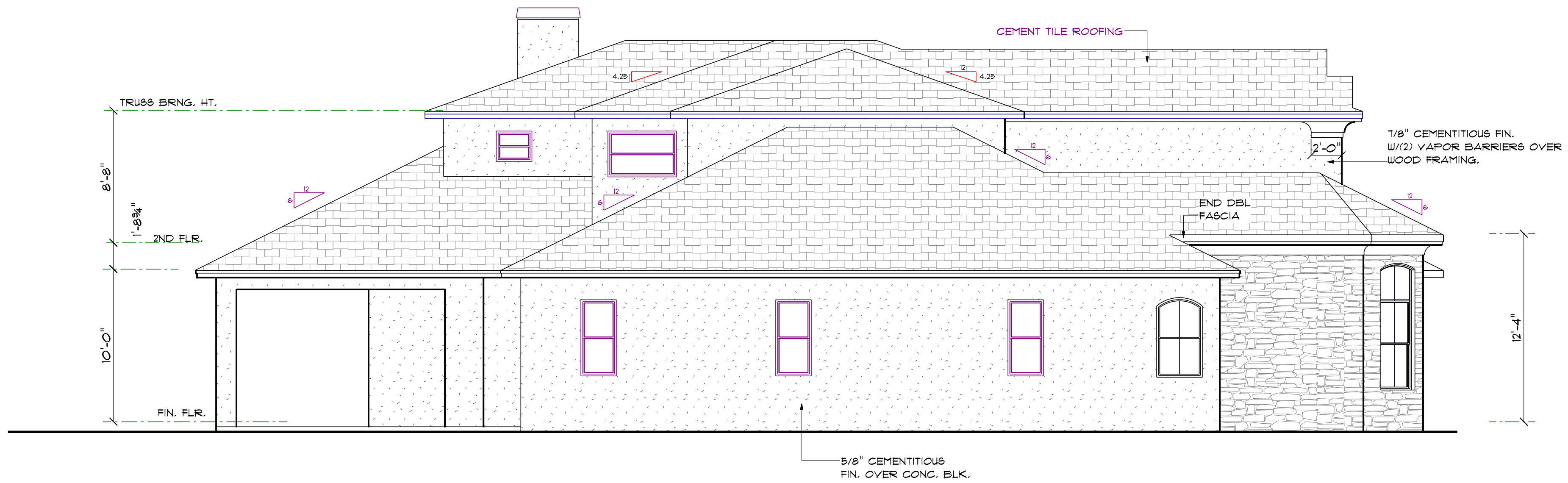
DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

PLAN DATE	DATE
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

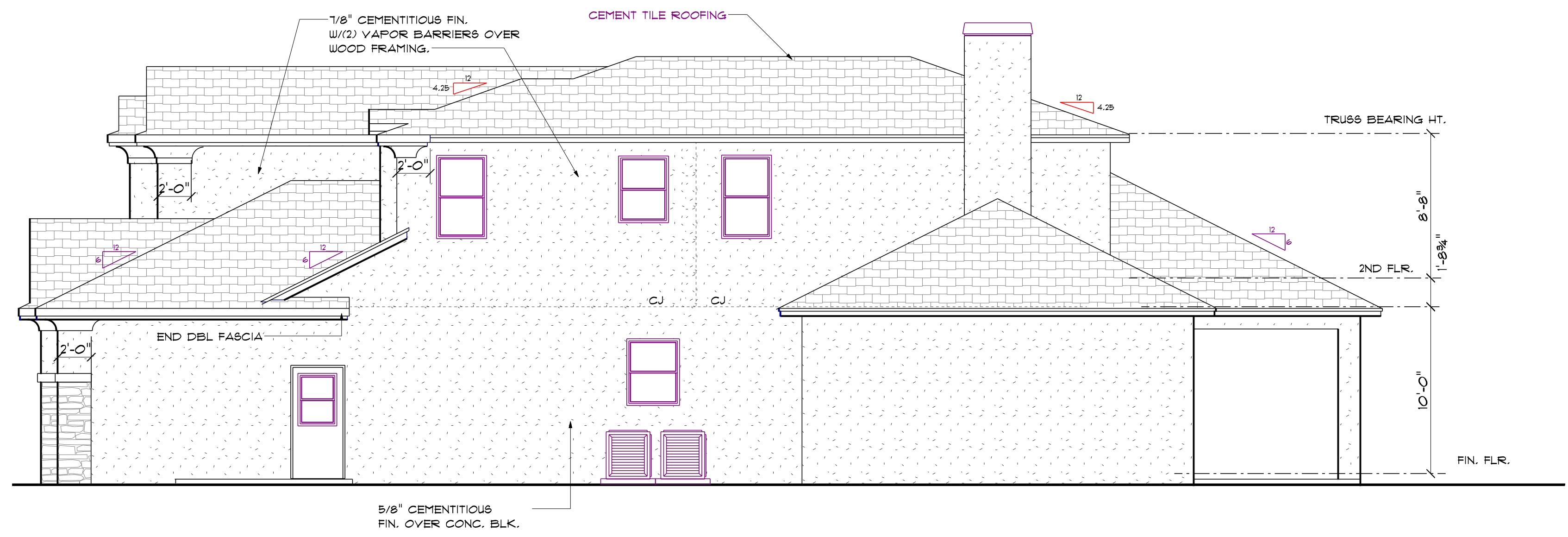
LOT 15  
PLANTATION



ROBBIAN DESIGN  
AL ROBBIAN A.I.B.D  
6397 CONNIFWOOD SQ.  
NEW PORT RICHEY, FL. 34653  
(727) 848-2259  
MAIL - al@robbiandesign.com



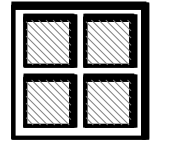
LEFT ELEVATION



RIGHT ELEVATION

ASPEN 4665

**ROBBIAN DESIGN**  
 AL ROBBIAN A.I.B.D  
 6397 CONNIEWOOD SQ.  
 NEW PORT RICHEY, FL. 34653  
 (727) 848-2259  
 MAIL - al@robbiandesign.com



SCALE 3/16" = 1'-0"

LOT 15  
 PLANTATION

PLAN DATE	DATE
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

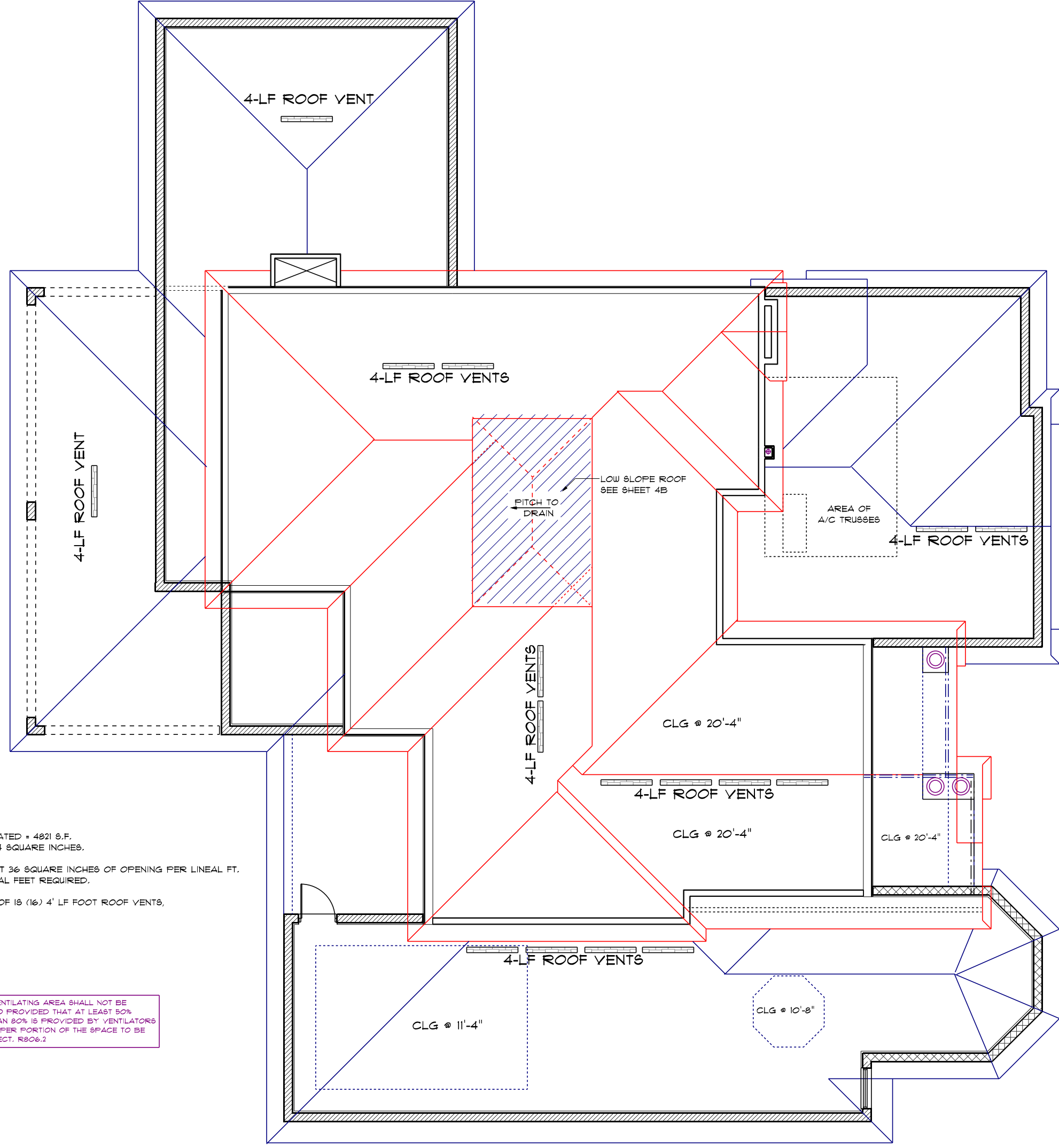
**DEEB FAMILY  
 HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

5

EXTERIOR ELEVATIONS

TOTAL AREA TO BE VENTILATED = 4821 S.F.  
 4715/300 = 16.07 S.F. OR 2314 SQUARE INCHES.  
 ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 2263 S.F. / 36 S.I. = 64 LINEAL FEET REQUIRED.  
 INSTALLATION FOR THIS ROOF IS (16) 4' LF FOOT ROOF VENTS,  
 TOTALING 64 LINEAL FEET.

TOTAL NET FREE VENTILATING AREA SHALL NOT BE  
 LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50%  
 AND NOT MORE THAN 50% IS PROVIDED BY VENTILATORS  
 LOCATED IN THE UPPER PORTION OF THE SPACE TO BE  
 VENTILATED PER SECT. R906.2



ROOF PLAN

SCALE 1/8" = 1'-0"

DEEB FAMILY  
 HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

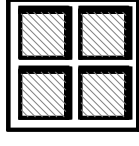
6

PLAN DATE

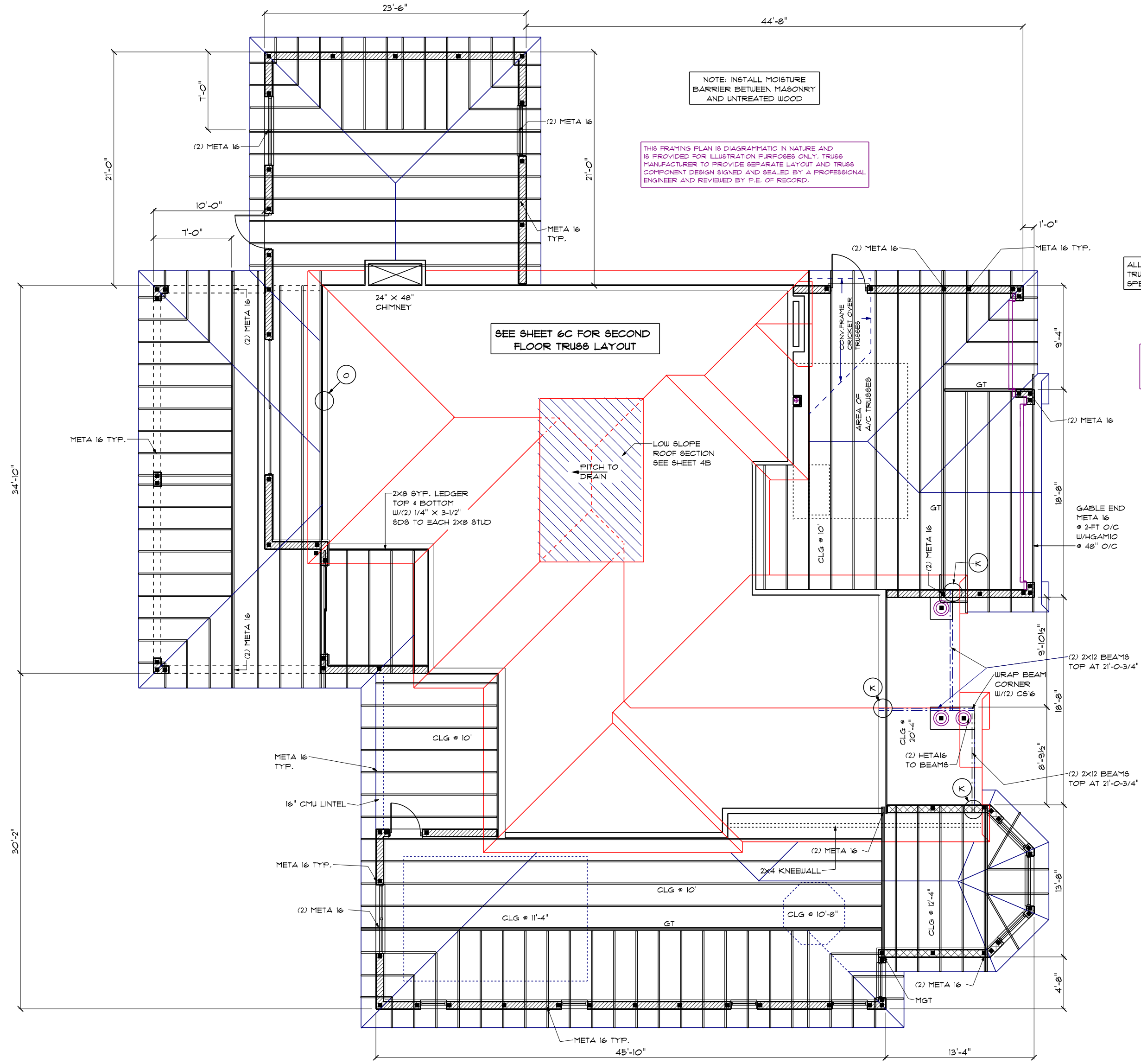
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

LOT 15  
 PLANTATION

ASPEN 4665



ROBBIAN DESIGN  
 AL ROBBIAN A.I.B.D  
 6397 CONNIEWOOD SQ.  
 NEW PORT RICHEY, FL. 34653  
 (727) 848-2259  
 MAIL - al@robbiandesign.com



**FIRST FLOOR TRUSS PLAN**

SCALE 1/8" = 1'-0"

A.E.C.S. # 14063

ASPEN 4665

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

**LOT 15 PLANTATION**

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
**RICH ALLEN PROFESSIONAL ENGINEER**  
 P.E. #56920 C.A. #9542  
 P.O. BOX 351  
 NEW PORT RICHEY, FL. 34656  
 727-842-6100  
 richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 145 MPH ULTIMATE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2010 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.  
 SIGNED: RICHARD E. ALLEN P.E. #56920

PLAN DATE	
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

**6A**

Lot15 Plantation – Connection Notes

- A. 5 Stud corner column with (2) MSTCM60 to cmu
- B. 3 Stud column with LGT2 to roof girder and 2 CS16 to floor girder truss
- C. Letter Not Used
- D. 5 Stud corner column with (3) CS16 to 5 stud ground floor column and HTT4 to concrete
- E. 5 Stud corner column with LGT2 to girder truss and(3) CS16 to dbl 2x12 header below
- F. 5 Stud corner column with LGT3 to girder, (3) CS16 to 5 stud column below and HTT4 to foundation
- G. 2x6 stud wall on ground floor with SPH6 to bottom plate, H10 garage trusses to wall, then 2<sup>nd</sup> story 2x6 wall with CS16 each face each stud to ground floor wall below, SPH6 to top plates, H10 to 2<sup>nd</sup> floor roof trusses
- H. 5 Stud corner column with (2) MSTCM60 to cmu
- I. 2x8 SYP stud wall on top of cmu wall with MSTAM36 each stud each face to cmu, SPH8 to top plates, 2x4x8' T blocking at 2' o.c. on bottom chords with H-10 T blocking to 2x8 wall
- J. 2x8 SYP stud wall on top of cmu wall with MSTAM36 each stud each face to cmu, SPH8 to top plates, 3 ply 12" LVL header with 3 jacks and 2 king studs each end, (2) CS16 header to studs, (2) MSTCM60 each stud pack to cmu – 1 per face
- K. 3 stud 2x8 column with (2) MSTAM36 each face to cmu below and (2) MTS16 to beam
- L. 4 Stud column with LGT4 to roof girder, with (2) HTS20 twist straps (or (2) CS16) to floor truss below. Verify column bears on floor truss and floor truss connected to girder truss with THDH48
- M. 4 Stud column 2<sup>nd</sup> and 1<sup>st</sup> floors
  - a. LGT2 or LGT4 to roof girder
  - b. (2) CS16 straps from 2<sup>nd</sup> to 1<sup>st</sup> floor columns, block solid thru floor system
  - c. HTT4 to foundation
- N. 5 stud corner column with (3) CS16 to floor girder below
- O. Provide solid blocking between top chord truss tails to girder truss 02A with (3)10d toe nails to each truss tail and (4) 10d blocking to girder, 1 row of 8d ringshank at 6" o.c from sheathing to blocking – typical along girder 02A.
- P. 3 Stud column with LGT2 to roof girder truss and (2) CS16 or HTS20 to floor truss

TRUSS NOTES

DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

6B

A.E.C.S # 14063

ASPEN 4665

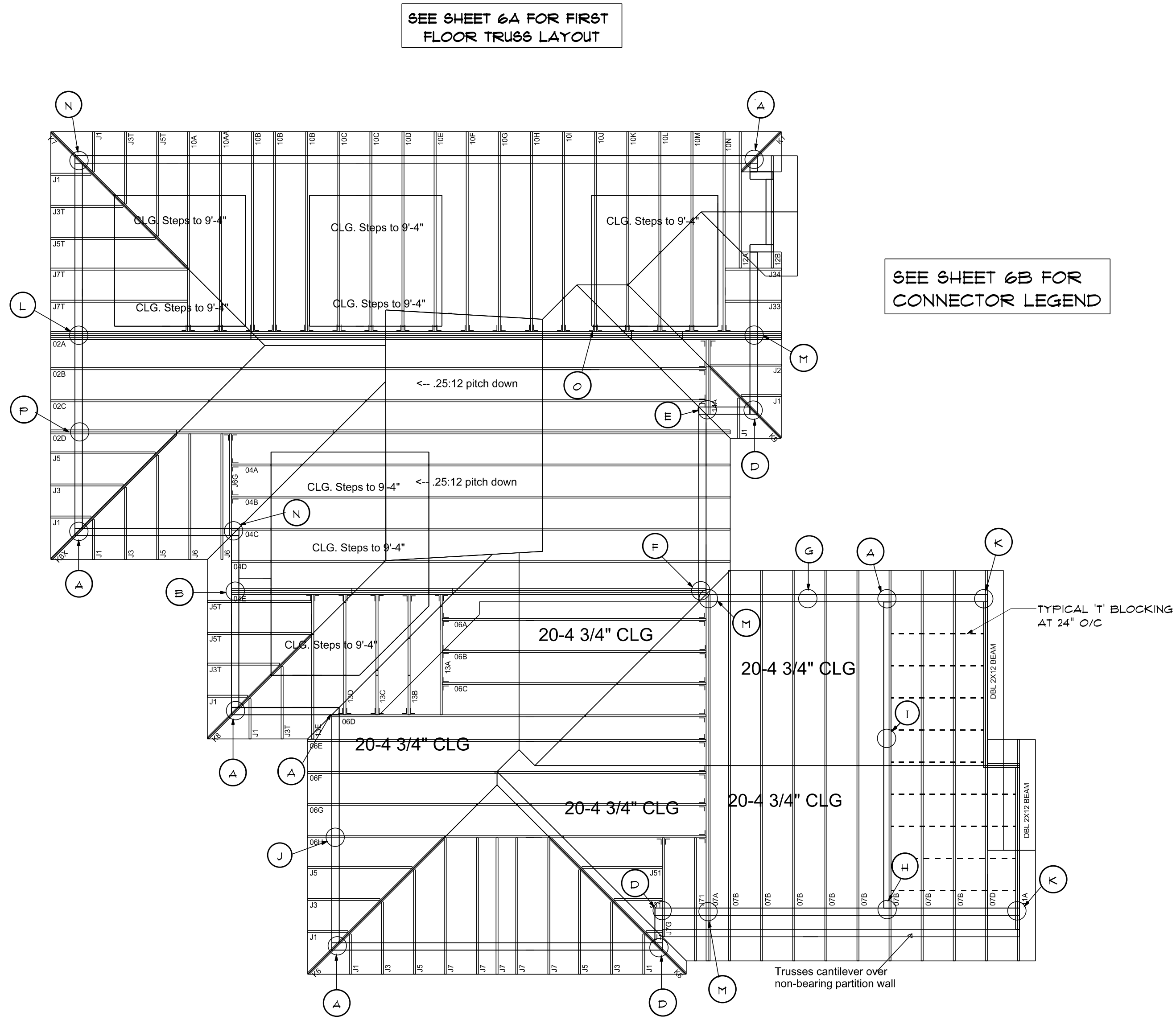
LOT 15  
PLANTATION

PLAN DATE

06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

I HEREBY CERTIFY THAT I HAVE  
DESIGNED THIS TRUSS SYSTEM  
TO COMPLY WITH ALL APPLICABLE  
WIND LOADS, EXPOSURE B AND IT IS  
IN COMPLIANCE WITH CHAPTER 16 OF  
THE 2010 FLORIDA BUILDING CODE.  
SEALED FOR THE STRUCTURE ONLY.  
SIGNED  
RICHARDE ALLEN P.E. #6920

ALLEN ENGINEERING &  
CONSTRUCTION SERVICES  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #56920 C.A. #9542  
P.O. BOX 351  
NEW PORT RICHEY, FL 34656  
727-842-6100  
richallenpe@gmail.com



NOTE: INSTALL MOISTURE BARRIER BETWEEN MASONRY AND UNTREATED WOOD

THIS FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

MBHA (2) 3/4" ATR SET EPOXY 12" EMBED  
 MGT (1) 5/8" ATR SET EPOXY 12" EMBED  
 HTT16 5/8" ATR SET EPOXY 6" EMBED  
 ABU44 5/8" ATR SET EPOXY 6" EMBED

ALL TRUSS TO TRUSS CONNECTIONS BY TRUSS SYSTEMS ENGINEER AND TO BE SPECIFIED ON INDIVIDUAL SEALED TRUSS SHEETS

2ND FLOOR TRUSS PLAN

SCALE 3/16" = 1'-0"

A.E.C.S. # 14063

ASPEN 4665

DEEB FAMILY HOMES, LTD.  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

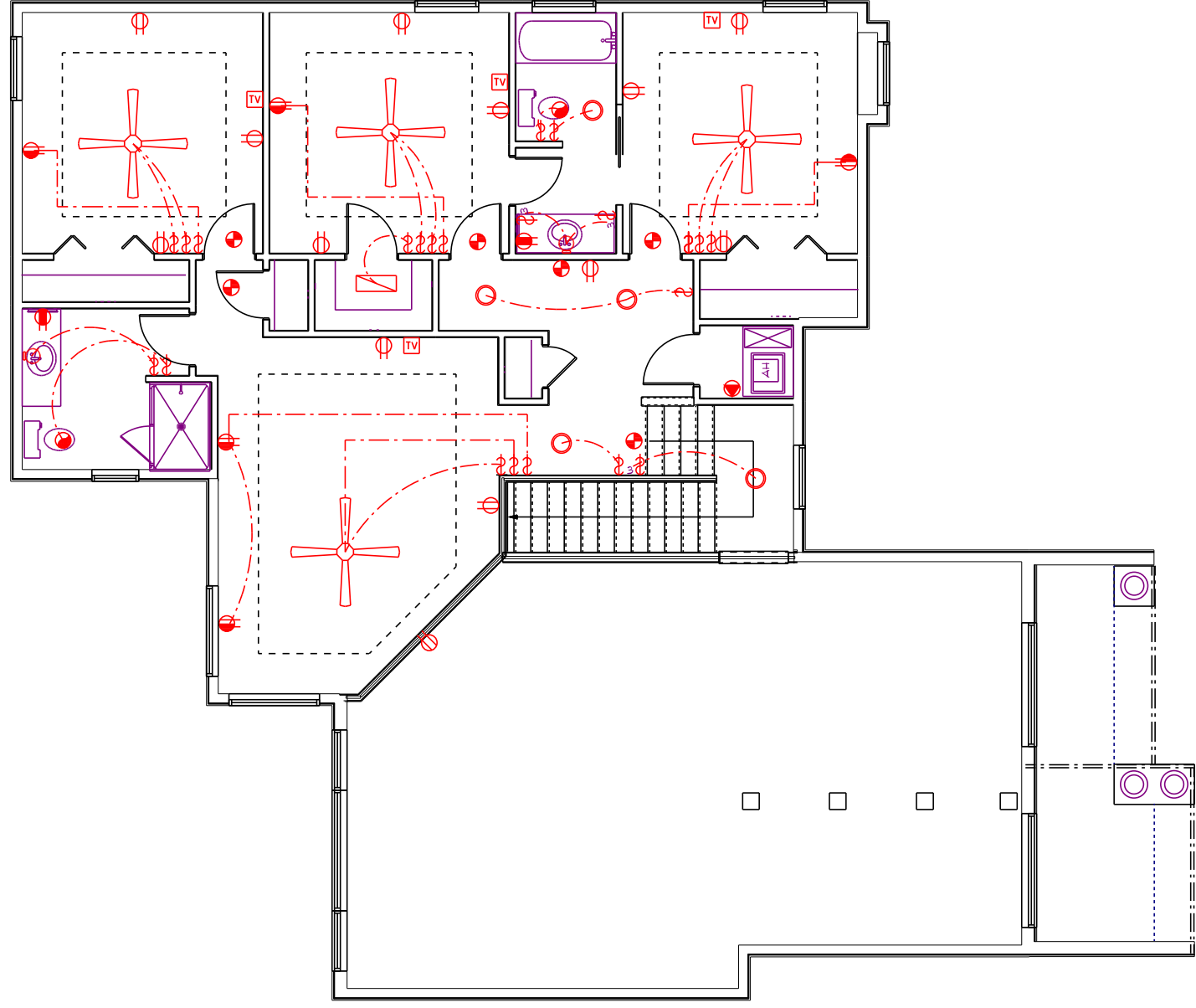
PLAN DATE	DATE
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

LOT 15 PLANTATION

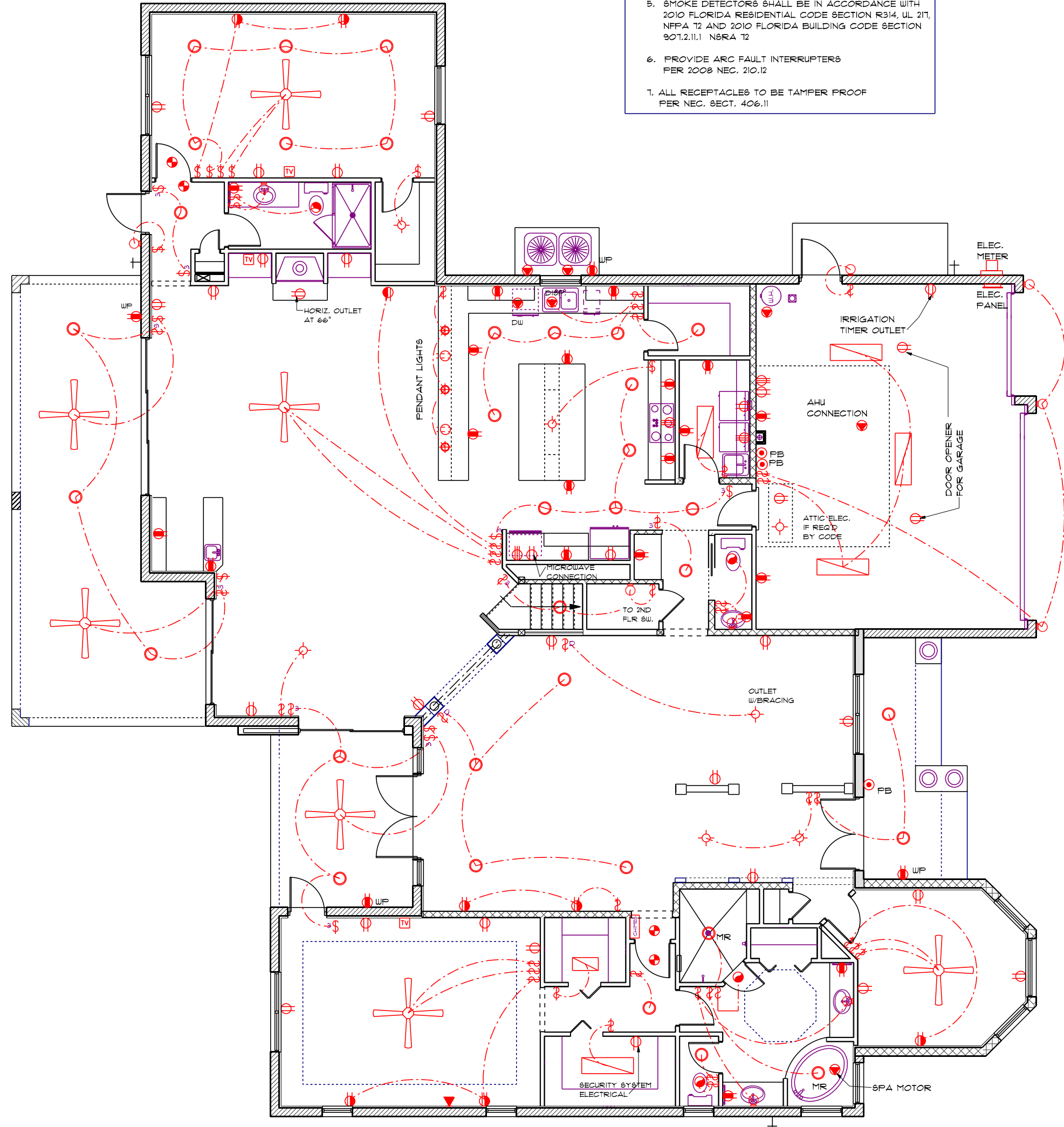
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN AND CALCULATIONS IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, CHAPTER 630, IN COMPLIANCE WITH CHAPTER 16 OF THE 2010 FLORIDA BUILDING CODE, SEALED FOR THE STRUCTURE ONLY.  
 SIGNED RICHARD E. ALLEN P.E. #56920

ALLEN ENGINEERING & CONSTRUCTION SERVICES  
 RICH ALLEN PROFESSIONAL ENGINEER  
 P.E. #56920 C.A. #9542  
 P.O. BOX 351  
 NEW PORT RICHEY, FL 34656  
 727-842-6100  
 richallenpe@gmail.com

6C



○ SINGLE POLE SWITCH	○ SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
○ DOUBLE POLE SWITCH	○ FLOOD LIGHT
○ THREE WAY SWITCH	○ PUSH BUTTON
○ FOUR WAY SWITCH	○ CHIMES/DOOR BELL
○ DIMMER SWITCH	○ DISCONNECT SWITCH
○ CEILING FIXTURE	○ SPEAKER PREWIRE
○ SCONCE (WALL MOUNTED FIXTURE)	○ JUNCTION BOX
○ 110V DUPLEX OUTLET	○ THERMOSTAT
○ SWITCHED OUTLET (1/2)	○ LOW VOLTAGE LIGHTING
○ GROUND FAULT INTERRUPT OUTLET	○ INTERCOM
○ WATER PROOF GFI OUTLET	○ CEILING FAN
○ 220V OUTLET	○ TRACK LIGHTING
○ SPECIAL SERVICES OUTLET	○ FLUORESCENT LIGHTING
○ TV CABLE OUTLET	
○ TELEPHONE CABLE OUTLET	
○ RECESSED LIGHTING	
○ WATER PROOF RECESSED LIGHTING	
○ BATH FAN	
○ BATH FAN WITH LIGHT	



UNLESS OTHERWISE NOTED:

1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)
2. ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
4. ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2010 FLORIDA RESIDENTIAL CODE SECTION R314, UL 217, NFPA 72 AND 2010 FLORIDA BUILDING CODE SECTION 907.2.11.1 NSRA 72
6. PROVIDE ARC FAULT INTERRUPTERS PER 2008 NEC. 210.12
7. ALL RECEPTACLES TO BE TAMPER PROOF PER NEC. SECT. 406.11

KITCHEN: 42"  
 BATHROOM: 42"  
 LAUNDRY: 36" WASHER/24" DRYER/  
 WALL OUTLETS @ 48"  
 EXTERIOR: WATERPROOF @ 12"  
 GARAGE: GFI @ 48"  
 RANGE: 220V @ 4"

ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

ASPEN 4665

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655

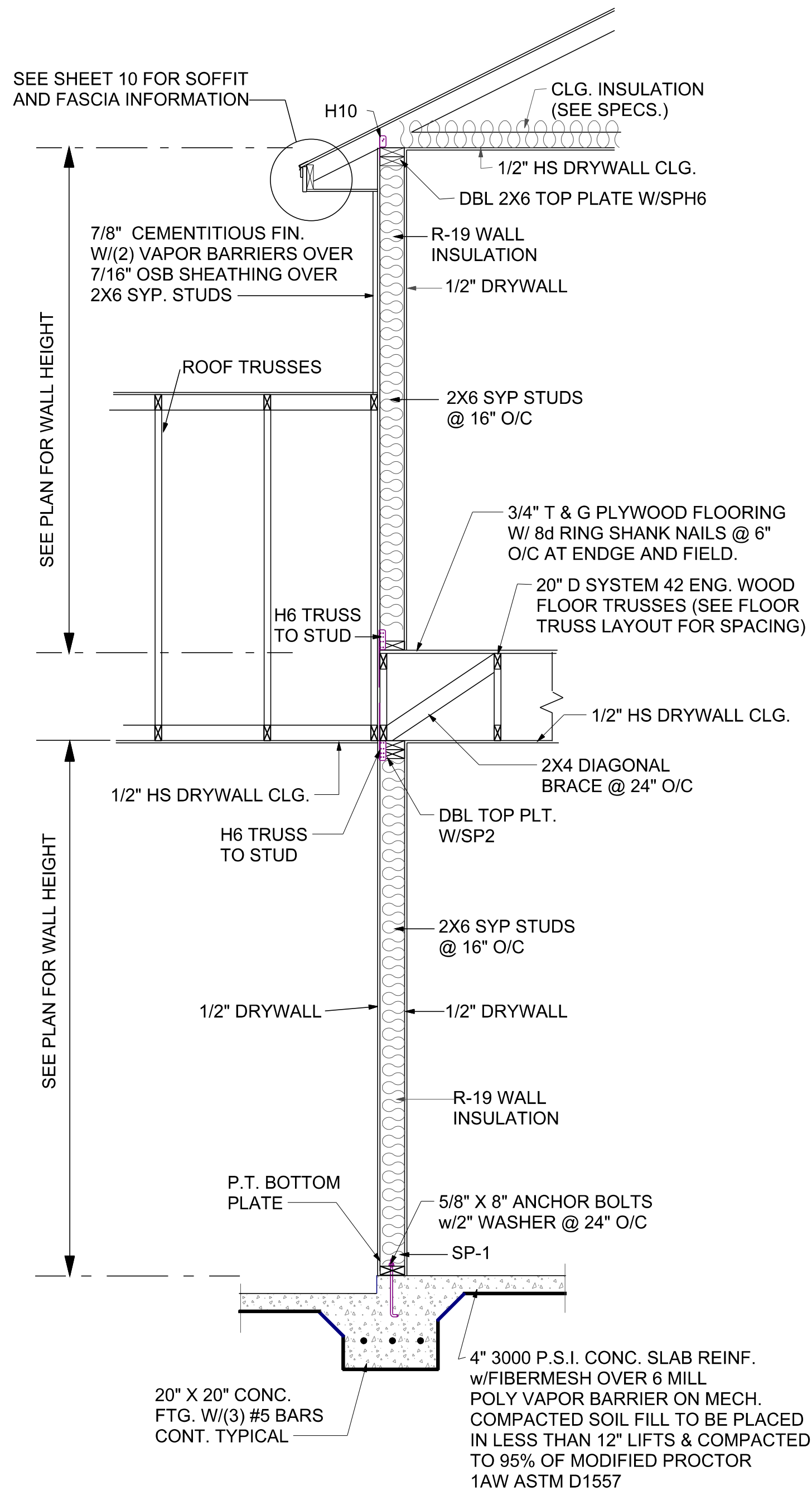
PLAN DATE	
06-13-2014	08-19-2014
06-17-2014	09-16-2014
07-02-2014	10-10-2014
07-11-2014	12-02-2014
07-22-2014	12-30-2014

**LOT 15 PLANTATION**

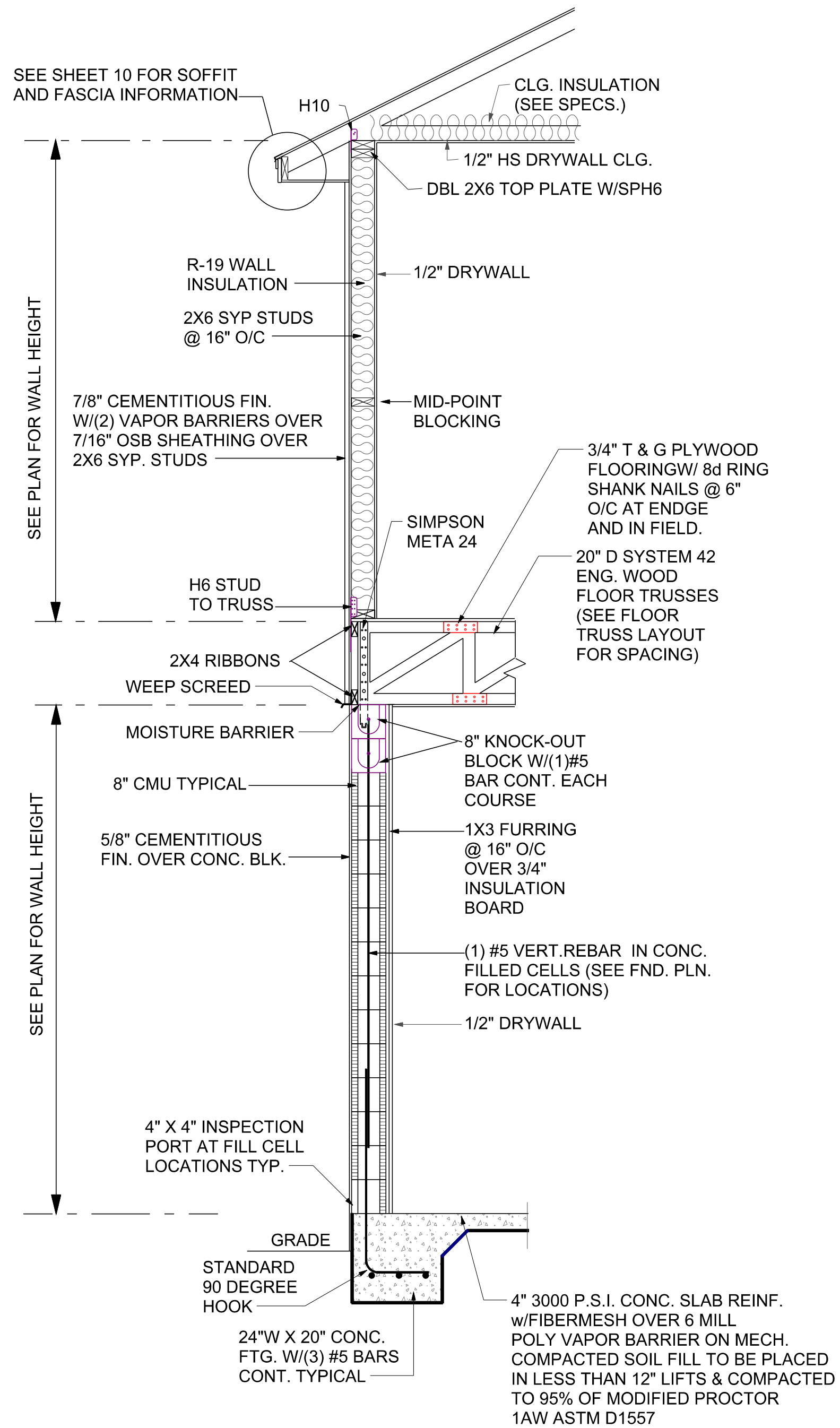
**ROBBIAN DESIGN**  
 AL ROBBIAN A.I.B.D  
 6397 CONNIEWOOD SQ.  
 NEW PORT RICHEY, FL. 34653  
 (727) 848-2259  
 MAIL - al@robbiandesign.com

**7**





**2** 2-STY INTER. FRAME BRNG. WALL  
FLOOR TRUSSES PARALLEL



**1** TYP. 2-STORY WALL SECT.

CONSTRUCTION DETAILS

**DEEB FAMILY HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655

PLAN DATE	08-19-2014	09-16-2014	10-10-2014	12-02-2014	12-30-2014
	06-13-2014	06-17-2014	07-02-2014	07-11-2014	07-22-2014

**LOT 15 PLANTATION**

A.E.C.S. # 14063

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH THE APPLICABLE AND FINAL REGULATIONS AND ORDINANCES IN COMPLIANCE WITH CHAPTER 16 OF THE 2010 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.  
SIGNED: RICHARD E. ALLEN P.E. #56920  
richallenpe@gmail.com

ASPEN 4665

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. #56920 C.A. #9542  
P.O. BOX 351  
NEW PORT RICHEY, FL 34656  
727-842-6100  
richallenpe@gmail.com