

MECAWind Version 2.1.1.4 per ASCE 7-10
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Date : 9/25/2013
 Company Name : Paul E Hagler, Consulting Engr
 Address : 1172 Fernwood
 City : Holiday
 State : FL 34690
 File Location: H:\000-Wind-Calculations\09-25-2013\Deeb-Robian-3386-Plan.wnd
 Project No. : DEEB 3386 PLAN
 Designed By : Paul E Hagler, PPE 20158
 Description : New Residence
 Customer Name : Deeb Family Homes
 Proj Location : Clearwater, FL

Directional Procedure Simplified Diaphragm Building (Ch 27 Part 2)
 All pressures shown are based upon ASD Design, with a Load Factor of .6

Basic Wind Speed(V)	=	145.00 mph	Exposure Category	=	B
Risk Category	=	II	Flexible Structure	=	No
Natural Frequency	=	N/A	Kd Directional Factor	=	0.85
Importance Factor	=	1.00	Zg	=	1200.00 ft
Damping Ratio (beta)	=	0.01	Bt	=	0.84
Alpha	=	7.00	Bm	=	0.45
At	=	0.14	l	=	320.00 ft
Am	=	0.25	Zmin	=	30.00 ft
Cc	=	0.30	Slope of Roof (Theta)	=	26.57 Deg
Epsilon	=	0.33	Type of Roof	=	Hipped
Slope of Roof	=	6 : 12	Eht: Eave Height	=	10.00 ft
Ht: Mean-Roof Ht	=	17.88 ft	Roof Area	=	7114.00 ft^2
RHt: Ridge Ht	=	25.75 ft	Bldg Length Along Ridge	=	98.00 ft
OH: Roof Overhang at Eave	=	1.50 ft	Bldg Width Across Ridge	=	60.00 ft
Bldg Length Along Ridge	=	98.00 ft			

Gust Factor Summary
 Not a Flexible Structure use the Lessor of Gust1 or Gust2 = 0.85

Table 26.11-1 Internal Pressure Coefficients for Buildings, GCp1
 GCp1 : Internal Pressure Coefficient = +/-0.18

Wind Pressure on Components and Cladding (Ch 30 Part 1)
 All pressures shown are based upon ASD Design, with a Load Factor of .6

Width of Pressure Coefficient Zone "a" = 6 ft

Description	Width ft	Span ft	Area Zone ft^2	Max GCp	Min GCp	Max P psf	Min P psf
10 sf Interior	2.00	5.00	10.0	1.00	-1.10	22.69	-24.62
10 sf Corner	2.00	5.00	10.0	1.00	-1.40	22.69	-30.39
20 sf Interior	4.00	5.00	20.0	0.95	-1.05	21.67	-23.59
20 sf Corner	4.00	5.00	20.0	0.95	-1.29	21.67	-28.34
50 sf Interior	8.00	5.00	40.0	0.89	-0.99	20.65	-22.57
50 sf Corner	8.00	5.00	40.0	0.89	-1.19	20.65	-26.30
100 sf Interior	14.30	7.00	100.1	0.82	-0.92	19.30	-21.22
100 sf Corner	14.30	7.00	100.1	0.82	-1.05	19.30	-23.59
200 sf Interior	28.60	7.00	200.2	0.77	-0.87	18.27	-20.20
200 sf Corner	28.60	7.00	200.2	0.77	-0.94	18.27	-21.55
Wall Interior	20.00	10.00	200.0	0.77	-0.87	18.27	-20.20
Wall Corner	6.00	10.00	60.0	0.86	-1.13	20.05	-25.10
Roof Interior	30.00	10.00	300.0	0.30	-0.80	16.00	-18.85
Roof eave	30.00	6.00	180.0	0.30	-1.20	16.00	-26.54
Roof corner	6.00	6.00	36.0	0.39	-2.27	16.00	-47.04
Roof Eave overhang	30.00	1.50	45.0	0.37	-2.20	16.00	-42.31
Roof corner overhang	6.00	1.50	9.0	0.50	-3.70	16.00	-71.16

Khcc:Comp. & Clad. Table 6-3 Case 1 = 0.70
 Qhcc:.00256*V^2*Khcc*Kht*Kd = 19.23 psf

GENERAL NOTES:

THE FOLLOWING TECHNICAL CODES SHALL APPLY:
 2010 FLORIDA BUILDING CODE,
 PLUMBING, MECHANICAL, FUEL GAS,
 ENERGY EFFICIENCY, ACCESSIBILITY,
 AND NATIONAL ELECTRICAL CODES
 NEC 2008

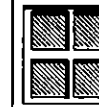
- TANK TYPE WATER CLOSET VOLUME
1.6 GALLONS
- WALL MOUNT WATER CLOSET VOLUME
3.5 GALLONS
- WATER - FLOW RATE.
PUBLIC FACILITIES 0.5 G.P.M.
PRIVATE FACILITIES 2.2 G.P.M.
SHOWER HEADS 2.5 G.P.M.

VTR LOCATIONS ARE APPROXIMATE AND MAY CHANGE DUE TO JOBSITE CONDITIONS

THE FOLLOWING SHALL COMPLY WITH THE 2010 FBC.

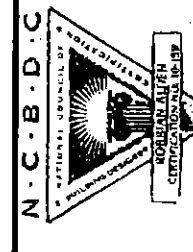
- PORCHES AND BALCONIES
 - HANDRAILS
 - GUARDRAILS
 - STAIRS
 - CHIMNEY & FIREPLACE
 - EGRESS WINDOWS
- ALL OPENINGS SHALL COMPLY WITH 2010 FBC WIND LOADS AS STATED BELOW. ATTACHMENTS OF WINDOWS, DOORS, SLIDING GLASS DOORS AND O.H. GARAGE DOORS ARE DELEGATED TO THE MANUFACTURER OF THESE ITEMS. THE MANUFACTURER OF THESE ITEMS SHALL SUBMIT ATTACHMENTS TO ENGINEER OF RECORD FOR REVIEW PRIOR TO INSTALLATION. SEE ATTACHED SPECIFICATION SHEETS FOR MANUFACTURERS DESIGN CRITERIA AND INSTALLATION METHODS FOR WINDOWS, DOORS, SLIDING GLASS DOORS, OVERHEAD GARAGE DOORS, AND ROOFING.
 - ALL DOORS INTERIOR & EXTERIOR ARE 8' 0" UNLESS OTHERWISE NOTED
ALL SHOWER ENCLOSURES TO BE TEMPERED GLASS
 - ALL WINDOWS WITHIN 24" OF DOORS (INTERIOR & EXTERIOR) AND WITHIN 18" OFF FLR TO BE TEMPERED GLASS.

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NOTICE TO SUBCONTRACTORS :

DUE TO SPACE LIMITATIONS IN THIS 11"X 17" PLAN FORMAT, AND TO ELIMINATE CLUTTER AND TEXT READABILITY ISSUES, SOME DETAILS AND NOTATIONS MAY OR MAY NOT BE LOCATED ON THE SAME SHEETS OR IN THE SAME LOCATIONS AS PROVIDED FOR BY OTHER CONTRACTORS OR ARCHITECTS. IT WOULD BE IN YOUR BEST INTEREST TO REVIEW THESE PLANS AND LOCATE THE APPROPRIATE INFORMATION REQUIRED TO COMPLETE YOUR SPECIFIC PORTION OF THE JOB BEFORE BEGINNING CONSTRUCTION.

NOTICE TO BUILDER

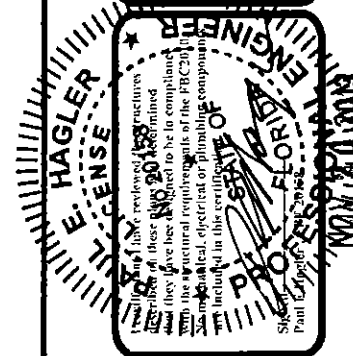
IT IS THE INTENT OF THIS DESIGNER THAT THESE PLANS ARE ACCURATE AND ARE CLEAR ENOUGH FOR THE LICENSED PROFESSIONAL TO CONSTRUCT THIS PROJECT. IN THE EVENT THAT SOMETHING IS UNCLEAR OR NEEDS CLARIFICATION, STOP, AND CALL THE DESIGNER LISTED IN THIS TITLE PAGE. IT IS THE RESPONSIBILITY OF THE LICENSED PROFESSIONAL THAT IS CONSTRUCTING THIS PROJECT TO FULLY REVIEW THESE DOCUMENTS BEFORE CONSTRUCTION BEGINS AND ANY AND ALL CORRECTIONS, IF NEEDED, TO BE MADE BEFORE ANY WORK IS DONE.

WINDOW INSTALLATION NOTES:

- WINDOWS MUST BE FASTENED INTO STRUCTURAL MEMBERS PER MFG'S. DETAIL REQUIREMENTS PER DESIGN CRITERIA NOTED ON THESE DRAWINGS.
- WINDOWS ARE NOT IMPACT RESISTANT TYPE. STORM SHUTTERS OR PANELS ARE REQUIRED.
- ROOF, WALLS AND WINDOW FASTENINGS MUST BE ENGINEERED AND SPECIFIED FOR CUMULATIVE INTERNAL PRESSURE AND EXTERNAL NEGATIVE (SUCTION) PRESSURES WHICH VARIES ACCORDING TO AREAS AS NOTED IN THE DESIGN CRITERIA AS NOTED ON PAGE S4.

UNIT 3386

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 1280 Heather Ridge Boulevard
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INVENTORY
 LOT 14, PLANTATION
 PINELLAS COUNTY

PLAN DATE

10-1-2013
 11-16-2013

DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL 34655
 727-376-6831

COVER SHEET

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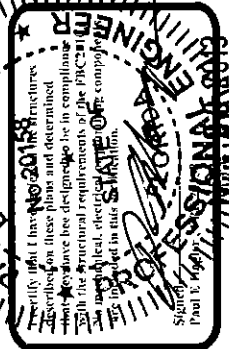
STRUCTURAL ENGINEER NOTES

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ENGINEER'S NOTES:

ENGINEER RESERVES THE RIGHT TO MAKE MODIFICATIONS AS CONSTRUCTION PROGRESSES. THIS IS A REMODEL TO AN EXISTING HOME, AND AS SUCH, EXISTING CONDITIONS MUST BE ASSESSED BY CONTRACTOR. QUESTIONABLE AREAS MUST BE BROUGHT TO THE ATTENTION OF THE ENGINEER OF RECORD. ENGINEER HAS DONE NO FIELD INVESTIGATION PRIOR TO CONSTRUCTION. EXISTING CONDITIONS INDICATED IN THIS PLAN SET ARE ASSUMED. CONTRACTOR TO INFORM ENGINEER OF ANY DIFFERENCE IN DIMENSION OR BEARING AS DEMOLITION COMMENCES. ENGINEER MAY REQUIRE ADDITIONAL SUPPORT OR MAY MAKE CHANGES TO ATTACHMENT CRITERIA AS WORK PROGRESSES. CONTRACTOR IS NOT TO ASSUME ANYTHING, BUT IS TO CONSULT WITH ENGINEER FOR CLARIFICATION OF ANY PLAN NOTES OR FIELD CONDITION FOUND TO DIFFER FROM THOSE PRESENTED IN THE PLANS.

ALL PRE-ENGINEERED WOOD PRODUCTS ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. THE TRUSS ENGINEER IS A DELEGATED ENGINEER FOR THIS PROJECT, AND AS SUCH, IS RESPONSIBLE FOR THE VALIDITY OF THE COMPONENTS PROVIDED. FRAMING LAYOUTS SHOWN MAY BE CHANGED BY THE TRUSS MANUFACTURER. THE DELEGATED ENGINEER IS RESPONSIBLE FOR PROVIDING A FINAL SEALED SET OF ALL CALCULATIONS AND LAYOUTS FOR THIS PROJECT TO THE ENGINEER OF RECORD FOR REVIEW PRIOR TO MANUFACTURE OF SAID COMPONENTS. ENGINEER OF RECORD HAS NOT REVIEWED THE PRE-ENGINEERED TRUSS MANUFACTURER'S COMPONENTS AT THIS TIME AND RESERVES THE RIGHT TO MAKE ANY CHANGES AFTER SUCH INFORMATION HAS BEEN PROVIDED FOR REVIEW. CONTRACTOR, AS PROJECT COORDINATOR, SHALL BE RESPONSIBLE FOR INSURING INFORMATION REQUESTED ABOVE HAS BEEN SUBMITTED TO ENGINEER OF RECORD IN A TIMELY MANNER WHEN AVAILABLE.

ALL PRE-ENGINEERED TRUSSES TO BE DESIGNED USING THE MOST RECENT TFC CRITERIA. TRUSSES TO BE HANDLED AND INSTALLED USING MOST RECENT BCM RECOMMENDATIONS. TEMPORARY AND PERMANENT BRACING SHALL BE PER MOST RECENT BCM RECOMMENDATIONS UNLESS NOTED OTHERWISE, OR MORE STRINGENT CODE REQUIREMENTS APPLY. TRUSS ENGINEER IS RESPONSIBLE FOR INDICATING ALL TRUSS TO TRUSS CONNECTORS. ALL COMPONENTS TO BE DESIGNED FOR BOTH GRAVITY AND UPLIFT LOAD CASES, INCLUDING BEAM COMPONENTS.

UPON REVIEW, ENGINEER OF RECORD WILL PROVIDE A REVIEW LETTER INDICATING ANY CHANGE IN STRAPPING OR SUPPORT BASED ON THAT REVIEW. CONSTRUCTION COMMENCING PRIOR TO ENGINEER'S REVIEW IS SUBJECT TO MODIFICATION BASED ON REVIEW LETTER.

CODE COMPLIANCE NOTES:

PRE-CAST AND PRE-STRESSED CONCRETE COMPONENTS SHALL BE USED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS. PRE-CAST LINTELS HAVE BEEN REVIEWED AND PLACED BASED ON DESIGN ALLOWABLE LOAD INFORMATION PROVIDED BY CAST CRETE. THEREFORE, CAST CRETE IS A DELEGATED ENGINEER FOR THIS PROJECT. ENGINEER OF RECORD MUST APPROVE IN WRITING ANY CHANGE IN LINTEL MANUFACTURER. ALL OTHER STRUCTURAL PRE-CAST COMPONENT MANUFACTURERS MUST SUBMIT DESIGN LOAD INFORMATION TO ENGINEER OF RECORD FOR APPROVAL. ENGINEER OF RECORD RESERVES THE RIGHT TO MAKE ANY CHANGES AFTER SUCH INFORMATION HAS BEEN PROVIDED FOR REVIEW. CONTRACTOR, AS PROJECT COORDINATOR, SHALL BE RESPONSIBLE FOR INSURING INFORMATION REQUESTED ABOVE HAS BEEN SUBMITTED TO ENGINEER OF RECORD IN A TIMELY MANNER WHEN AVAILABLE.

ALL MANUFACTURED PRODUCTS SUCH AS ROOFING, WINDOWS, DOORS, ETC. ARE SHOWN HEREIN FOR ILLUSTRATION PURPOSES ONLY. THE INFORMATION SHOWN IS THE RESPONSIBILITY OF THE MANUFACTURER. THE MANUFACTURER IS RESPONSIBLE FOR THE VALIDITY OF THE COMPONENTS PROVIDED. ATTACHMENT INFORMATION GIVEN BY THE MANUFACTURER IS PROVIDED HEREIN. CONTRACTOR, AS PROJECT COORDINATOR, SHALL BE RESPONSIBLE FOR INSURING THAT THE APPROPRIATE PRODUCT/COMPONENT IS USED AND THAT

IT HAS BEEN INSTALLED PER MANUFACTURER'S SPECIFICATIONS SUCH THAT IT WILL WITHSTAND THE COMPONENTS AND CLADDING PRESSURES REQUIRED BY THE SEALED PLANS.

ENGINEER OF RECORD HAS NOT REVIEWED THIS INFORMATION FOR APPLICABILITY OR AS A FORM OF PRODUCT APPROVAL OR ENDORSEMENT.

GENERAL NOTES:

FRAMING PLAN IS DIAGRAMMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSS MANUFACTURER TO PROVIDE SEPARATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A FLORIDA REGISTERED PROFESSIONAL ENGINEER.

ALL PRE-ENGINEERED WOOD PRODUCTS SHALL BE VERIFIED BY TRUSS MANUFACTURER. TRUSS MANUFACTURER SHALL HAVE THE AUTHORITY TO MAKE SUBSTITUTIONS FOR PRODUCTS SPECIFIED ON THE PLANS DUE TO AVAILABILITY OR ECONOMICS. CHANGES SPECIFIED BY THE TRUSS MANUFACTURER SHALL CONTROL. CHANGES MADE AFTER TRUSS ENGINEERING HAS BEEN PROVIDED TO ENGINEER OF RECORD, MUST BE APPROVED BY THE ENGINEER OF RECORD.

1. ALL EXTERIOR WALLS ARE SHEAR WALLS. NO INTERIOR SHEAR WALLS ARE REQUIRED ON THIS

2. ALL EXTERIOR WINDOWS & GLASS DOORS ARE REQUIRED TO BE TESTED IN ACCORDANCE WITH ANS/AAMA/NWDDA 102/28 STANDARD AND BEAR AN AAMA OR WDMA LABEL IDENTIFYING THE MANUFACTURER, PERFORMANCE CHARACTERISTICS AND APPROVED PRODUCT TESTING ENTITY.

ALL PLUMBING, ELECTRICAL, AND MECHANICAL ROUGH INS MUST BE COMPLETE, INSPECTED, AND APPROVED BEFORE REQUESTING THE FRAMING INSPECTION.

2. DESIGN CRITERIA:

- 2.1 ROOF LOADING
LIVE 20 PSF @ 1.25 DURATION FACTOR
30 PSF @ 1.33 DURATION FACTOR
DEAD 17 PSF FOR SHINGLE
25 PSF FOR TILE
- 2.2 FLOOR LOADING
LIVE 40 PSF @ 1.00 DURATION FACTOR
DEAD 15 PSF
- 2.3 BALCONY LOADING
LIVE 60 PSF @ < 100 SF. - OVER 100 SF. = 100 PSF
DEAD 15 PSF
- 2.4 FOR FLOORING MATERIALS HEAVIER THAN 5 PSF,
CONTACT ENGINEER OF RECORD FOR RECOMMENDATIONS.
- 2.5 WIND LOADING
SEE TABLE FOR CRITERIA
DEAD MAXIMUM 10 PSF FOR SHINGLE
15 PSF FOR TILE



PLAN DATE
10-1-2013
11-16-2013

1. CODES AND REFERENCES:

- 1.1 FLORIDA BUILDING CODE, RESIDENTIAL 2010.
- 1.2 AMERICAN CONCRETE INSTITUTE OF STRUCTURAL CONCRETE (ACI 318)
- 1.3 AMERICAN CONCRETE INSTITUTE OF MASONRY STRUCTURES (ACI-530/ASCE-5/TMS 402 AND SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)
- 1.4 AMERICAN SOCIETY OF CIVIL ENGINEERS MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (ASCE-7)
- 1.5 SPECIFICATION FOR THE DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS LATEST EDITION
- 1.6 DESIGN SPECIFICATION FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE (TPI) LATEST EDITION
- 1.7 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (NDS) LATEST EDITION
- 1.8. AMERICAN PLYWOOD ASSOCIATION DESIGN / CONSTRUCTION GUIDE (APA) LATEST EDITION

3. SOIL:

- 3.1 DESIGN ASSUMES MINIMUM ALLOWABLE SOIL PRESSURES 2,000 PSF U.N.O.
- 3.2 CONTRACTOR TO FIELD VERIFY

4. CONCRETE:

- 4.1 OPERATION INSTALLATION AND PRECEDURE TO COMPLY WITH ACI STANDARDS
- 4.2 CONCRETE & MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS U.N.O.
- 4.3 REINFORCEMENT REBARS ASTM A615 GRADE 40 U.N.O.
- 4.4 WELD WIRE FABRIC (WWF ASTM A185) OR FIBERMESH
- 4.5 LAP SPLICES AND HOOKS SEE TABLE

5. MASONRY:

- 5.1 MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF, "SPECIFICATION FOR MASONRY STRUCTURES (ACI 530.1/ASCE 6/TMS 602)," CONCRETE INSTITUTE, FARMINGTON HILLS, MICHIGAN; AND THE AMERICAN SOCIETY OF CIVIL ENGINEERS, RESTON, VIRGINIA; EXCEPT AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- 5.2 GENERAL SPECIFICATION FOR MASONRY STRUCTURES
 - 5.2.1 TESTING OF FIELD MATERIALS FOR QUALITY CONTROL IS NOT REQUIRED BY ENGINEER FOR THIS PROJECT
 - 5.2.2 COMPRESSIVE STRENGTH REQUIREMENTS IS $f_{m} = 1500$ PSI
 - 5.2.3 DETERMINATION OF COMPRESSIVE STRENGTH IS THE ALLOWABLE STRESS METHOD
 - 5.2.4 UNIT STRENGTH METHOD IS NOT APPLICABLE
 - 5.2.5 QUALITY ASSURANCE IS NOT APPLICABLE
- 5.3 PRODUCTS
 - 5.3.1 MORTAR MATERIALS SHALL BE TYPE M OR S GRAY MORTAR.
 - 5.3.2 MASONRY UNIT MATERIALS SHALL BE 1900 PSI MIN. CONCRETE MASONRY UNIT.
 - 5.3.3 REINFORCEMENT, PRE-STRESSED TENDONS, AND METAL ACCESSORIES SHALL BE #4 KSI REBAR (MIN.)
 - 5.3.4 WELDED WIRE FABRIC TO BE INSTALLED AS SPECIFIED ON PLAN SET.
 - 5.3.5 STAINLESS STEEL IS NOT APPLICABLE.
 - 5.3.6 COATING FOR CORROSION PROTECTION IS NOT APPLICABLE.
 - 5.3.7 CORROSION PROTECTION FOR TENDONS IS NOT APPLICABLE.
 - 5.3.8 PRE-STRESSING ANCHORAGE, COUPLERS, AND END BLOCKS ARE NOT APPLICABLE.
 - 5.3.9 JOINT FILLERS ARE NOT APPLICABLE.
 - 5.3.10 LINTELS TO BE BY CAST-CONCRETE U.N.O.
- 5.4 EXECUTION
 - 5.4.1 PIPES AND CONDUITS ARE NOT APPLICABLE.
 - 5.4.2 ACCESSORIES ARE NOT APPLICABLE.
 - 5.4.3 EXPANSION AND CONTROL JOINTS SHALL BE AS INDICATED IN PLAN SET.

6. WOOD FRAMING:

- 6.1 DIMENSIONED LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.
- 6.2 ALL LUMBER SHALL BE SOUND, SEASONED, AND FREE FROM WARP.
- 6.3 FRAMING WALLS AND COLUMNS
 - 6.3.1 MINIMUM OF 3 PLY STUD COLUMNS TO BE INSTALLED AT BEAM OR GIRDER TRUSS BEARING LOCATIONS, UNLESS NOTED OTHERWISE.
 - 6.3.2 S.Y.P. #1 GRADE OR BETTER, FASTEN PLYS TOGETHER USING 16d COMMON NAILS 6" O.C. AS EACH MEMBER IS APPLIED (U.N.O.)
 - 6.3.3 4 PLY OR AND LARGER STUD COLUMNS SHALL BE FASTENED TOGETHER AS STATED ABOVE PLUS C816 COIL STRAPPING WRAPPED AROUND COLUMN WITH A 4" END CAP AT 16" O.C. OR 1/2" < THRU BOLTS AT 24" O.C.

- 6.3.4 ALL EXTERIOR FRAMING LUMBER SHALL BE #1 SYP OR EQUAL
- 6.3.5 INTERIOR LOAD BEARING (IF APPLICABLE) WALLS SPACED AT 16" O.C.
- 6.3.7 INTERIOR NON-LOAD BEARING WALLS SHALL BE UTILITY GRADE OR BETTER
- 6.3.8 INSTALL BLOCKING IN ALL WALL STUDS OVER 8'-0" AT MID-HEIGHT, AND SHEATHING JOINT. BRACE GABLE END WALLS AT 4'-0" O.C. AS SHOWN IN DRAWINGS
- 6.4 ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED OR NATURAL DURABLE WOOD.
- 6.5 PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.S. 11-W-571 AND BARE
- 6.6 THE AMERICAN WOOD PRESERVES INSTITUTE EQUALITY MARK LP-2 A.P.A. RATED SHEATHING EXTERIOR GRADE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLY CLIPS (MAXIMUM 24" O.C.). (SEE PLANS FOR SHEATHING THICKNESS.) FOR ALL SHEATHING ATTACHMENT, SEE TYPICAL NAILING SCHEDULE
 - 6.6.1 ROOF: SINGLE, 7/16" MIN. THICK SUPPORTED OVER 24" MAX. SPAN TILE, 1/2" MIN. THICK SUPPORTED OVER 24" MAX. SPAN
 - 6.6.2 WALL: 7/16" MIN. THICK SUPPORTED OVER 24" MAX. SPAN
 - 6.6.3 FLOOR: CARPET, VINYL, WOOD, ETC., 3/4" MIN. TONGUE AND GROOVE SUPPORTED OVER 24" MAX. SPAN
 - 6.6.3 CERAMIC TILE, MARBLE, ETC., SEE MANUFACTURERS RECOMMENDATIONS.
- 6.7 ALL NAILING AND BOLTING SHALL COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 6.8 ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONG TIE CO., USP, OR EQUIVALENT. SUBMIT CUT SHEETS FOR ALL CONNECTION HARDWARE TO ENGINEER FOR APPROVAL. ALL NAIL HOLES SHALL BE FILLED OR AS PRESCRIBED BY THE MANUFACTURER.
- 6.9 BRACING: TEMPORARY BRACING OF THE ROOF SYSTEM SHALL BE INSTALLED PER HB-91 RECOMMENDATIONS AND SHALL BE UTILIZED AS THE PERMANENT BRACING FOR THE ROOF SYSTEM (U.N.O.)
- 6.10 ALL WOOD FRAMING SHALL BE IN COMPLIANCE WITH THE LATEST NDS EDITION FOR WOOD CONSTRUCTION.
- 6.11 ALL WOOD LOAD BEARING COMPONENTS TO BE #1 SYP. NON LOAD BEARING COMPONENTS MAY BE SYP (UTILITY GRADE OR BETTER)

NOTES:

MISSING DOWELS: WHERE FOOTING DOWELS ARE PLACED INCORRECTLY OR MISTAKENLY ELIMINATED, REPLACE DOWEL AT PROPER LOCATION W/ GRADE 40 #5 BAR. INSTALL IN SLAB W/ 5" MINIMUM EMBEDMENT, USE EPOXY GROUT.

MISSING TRUSS ANCHORS: TRUSSES WHICH ARE PLACED SUCH THAT AN EMBEDMENT ANCHOR IS MISPLACED OR MISSING MAY BE FASTENED TO THE MASONRY BOND BEAM USING ONE SIMPSON MTSM16 W/ (4) 1/4"x2 1/4" TITEN SCREWS AND 7-10 D NAILS IN TRUSS. MAS CAP IS 840 #.

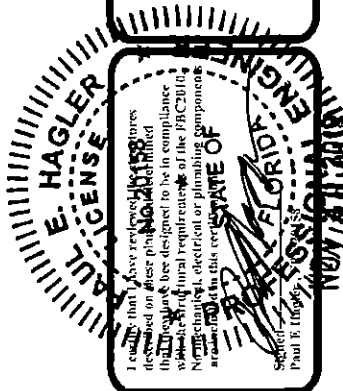
STRUCTURAL ENGINEER NOTES

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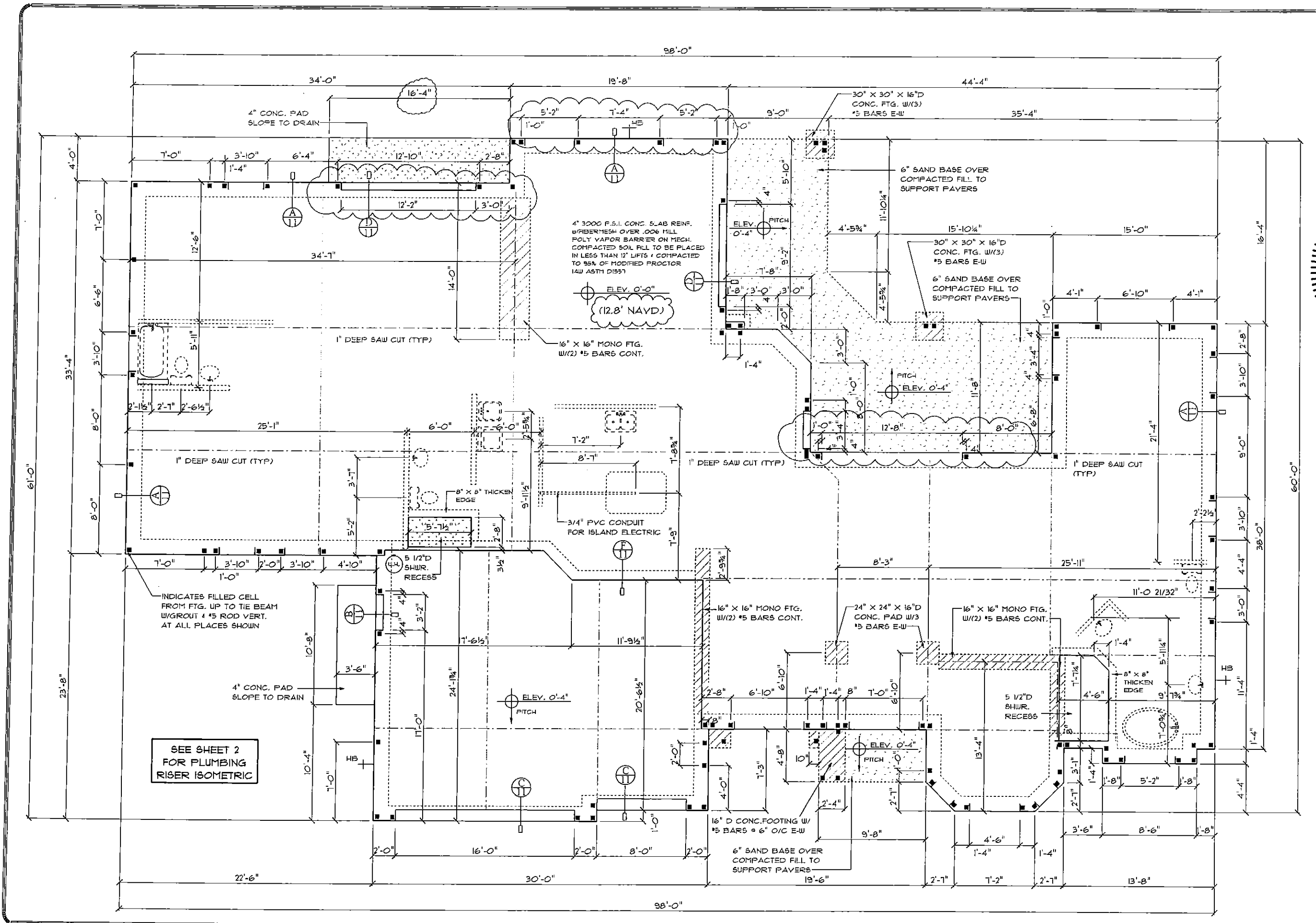
S2



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INVENTORY
LOT 14, PLANTATION
PINELLAS COUNTY



SEE SHEET 2
FOR PLUMBING
RISER ISOMETRIC

INDICATES FILLED CELL
FROM FTG. UP TO THE BEAM
W/GROUT 4 #5 ROD VERT.
AT ALL PLACES SHOWN

UNIT 3386

SCALE 1/8" = 1'-0"

FOUNDATION PLAN

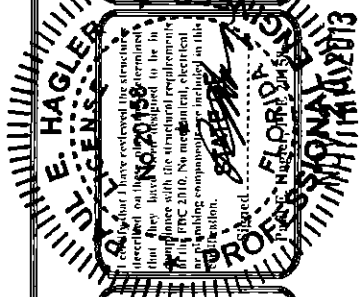
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727-738-9025

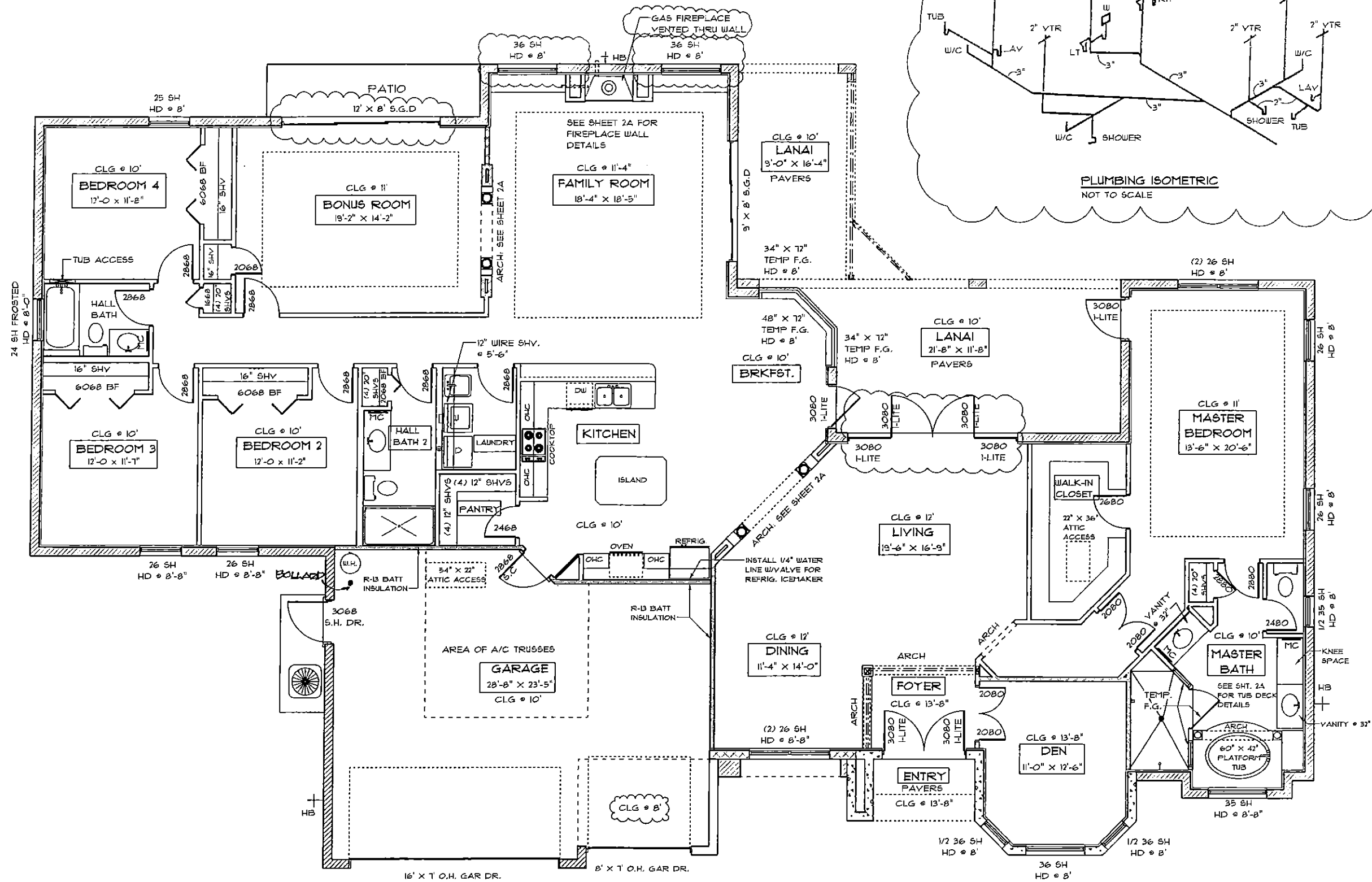
LOT 14
PLANTATION

PLAN DATE	DATE
8-28-13	10-11-13
8-29-13	10-22-13
9-13-13	10-23-13
9-24-13	11-16-13
10-10-13	

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

1

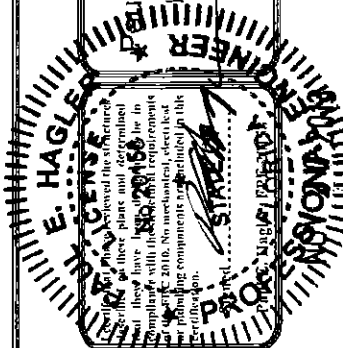




UNIT 3386

SCALE 1/8" = 1'-0"

FLOOR PLAN NOTES



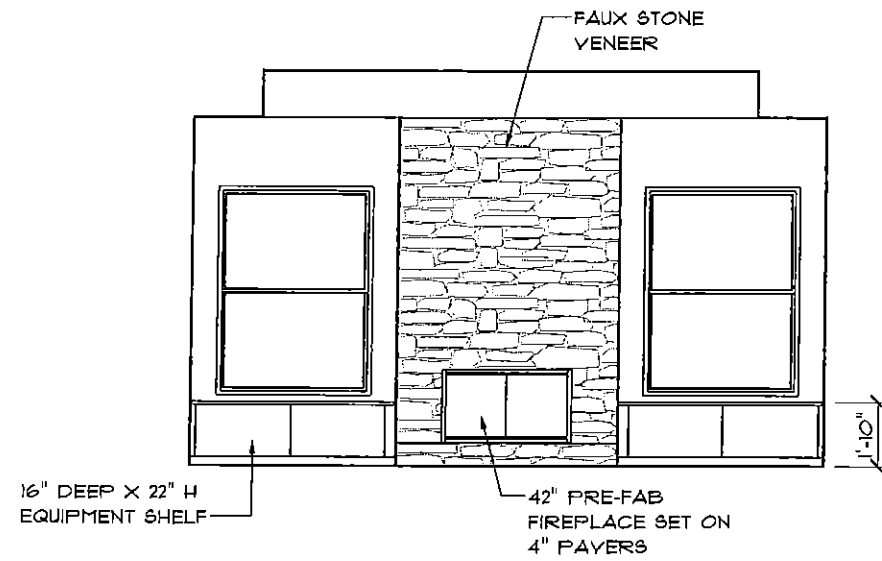
Paul E. Hagler, FPE 20158
280 Heather Ridge Blvd.
Dunedin, FL 34698
727-738-9025

LOT 14
PLANTATION

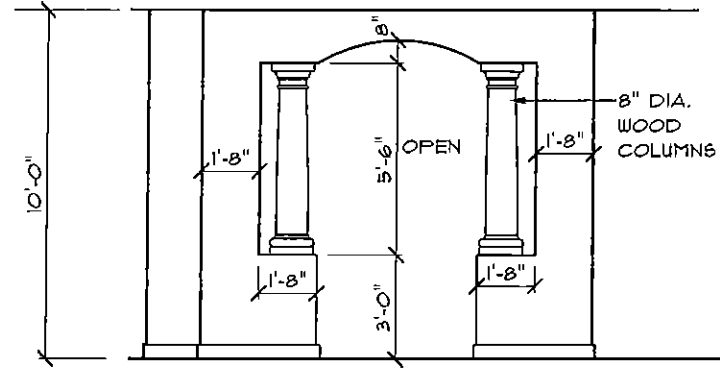
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R-28-13	10-11-13
R-29-13	10-22-13
R-13-13	10-23-13
R-24-13	11-16-13
	10-10-13

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

2



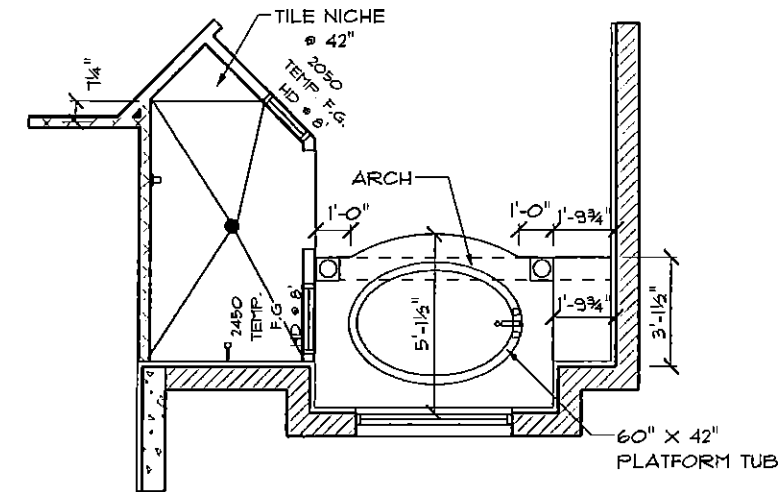
FAMILY ROOM FIREPLACE WALL



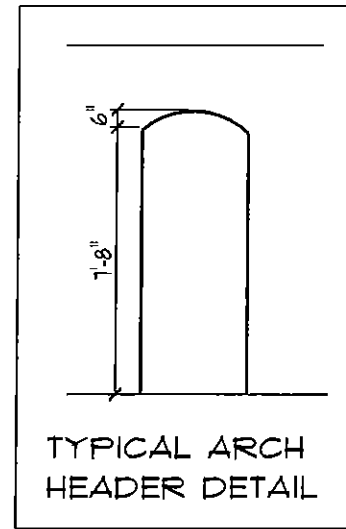
BONUS ROOM ARCH



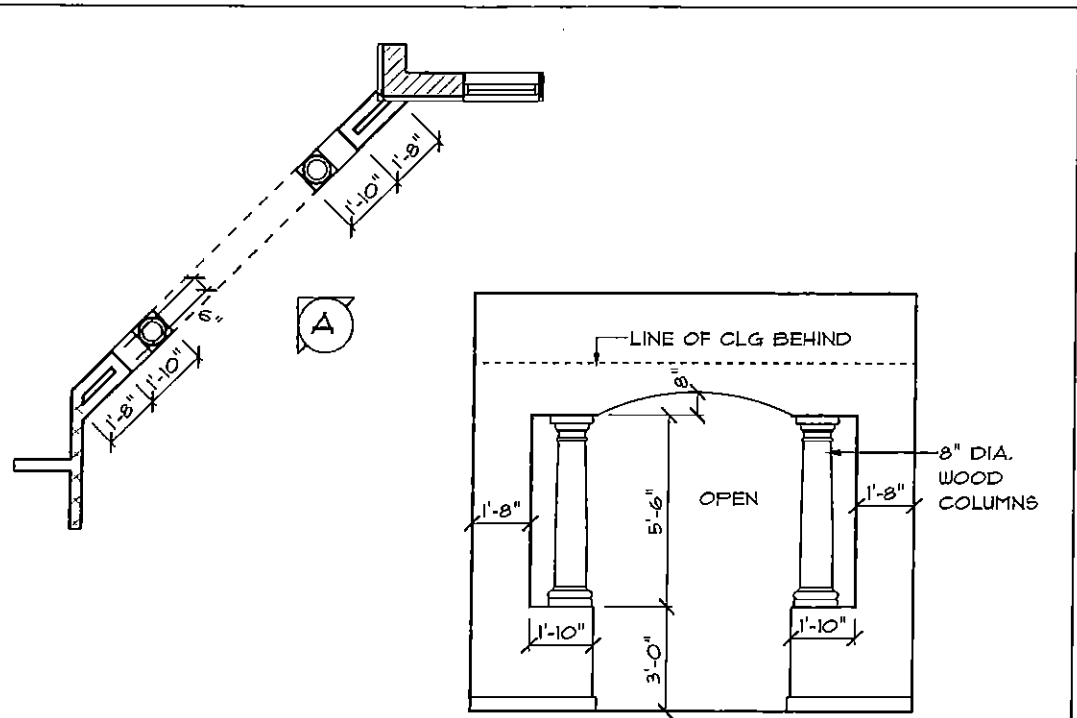
MASTER BATH TUB WALL



MASTER BATH TUB DECK



TYPICAL ARCH HEADER DETAIL



LIVING ROOM ARCH

UNIT 3386

SCALE 3/16" = 1'-0"

FLOOR PLAN DETAILS

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 AL ROBBIAN A.I.B.D.
 6397 CONNIEWOOD SQ.
 NEW PORT RICHEY, FL. 34657
 (727) 848-2259
 MAIL - al@robbiandesign.com

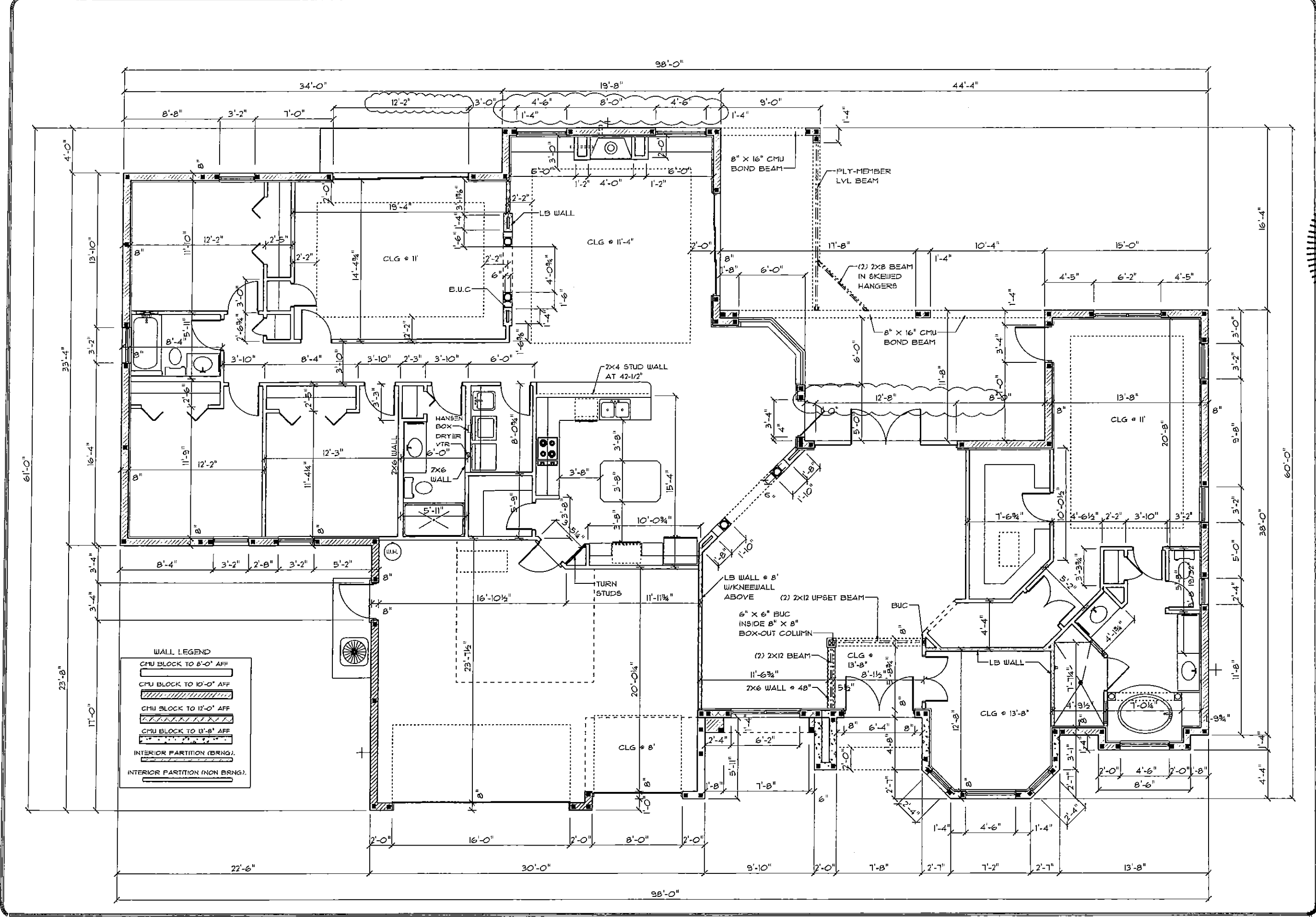
Rich V. P.
 10-159
 11-25-13

LOT 14
 PLANTATION

PLAN DATE	8-28-13	10-11-13	10-22-13	10-23-13	11-16-13	10-10-13

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2A



UNIT 3386

PAUL E. HAGLER
ENGINEER
No. 20185
STATE OF FLORIDA

Paul E. Hagler, FPE 20158
1280 Heather Ridge Blvd.
Dunedin, FL 34698
727-738-9025

DIMENSION PLAN

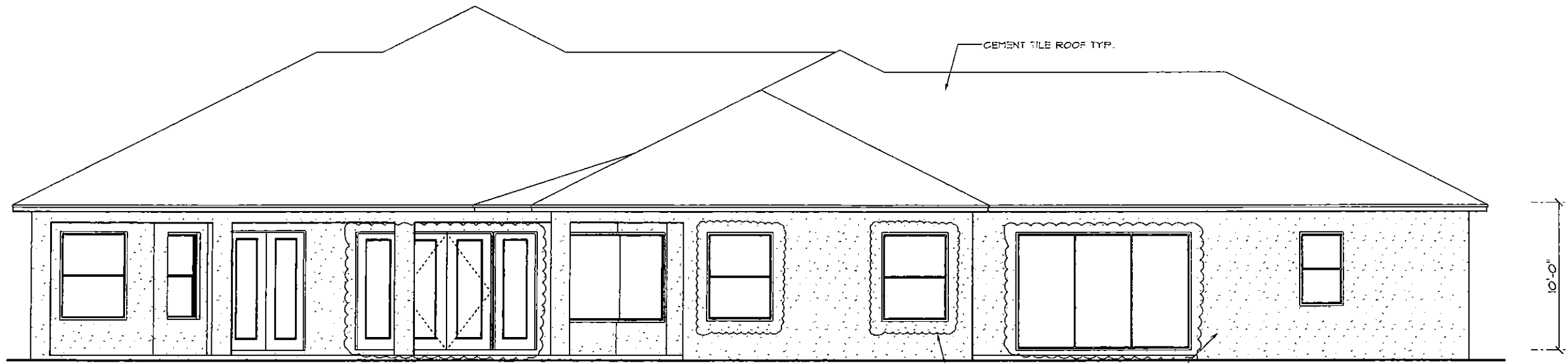
SCALE 1/8" = 1'-0"

LOT 14
PLANTATION

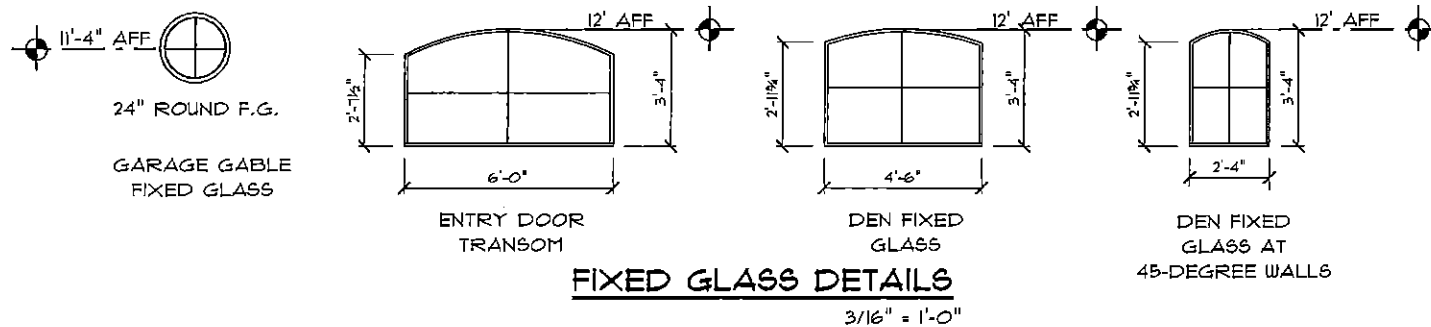
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8-29-13	10-22-13
9-13-13	10-23-13
9-24-13	11-16-13
10-10-13	

**DEBB FAMILY
HOMES, LTD.**

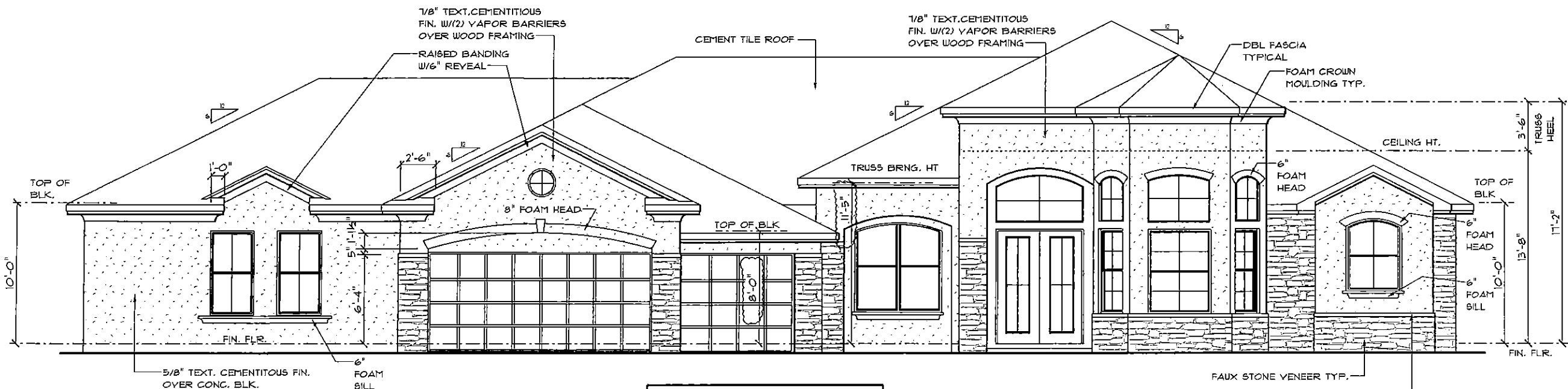
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655



REAR ELEVATION



FIXED GLASS DETAILS



FRONT ELEVATION

UNIT 3386

SCALE 1/8" = 1'-0"

EXTERIOR ELEVATIONS

LOT 14
PLANTATION

PLAN DATE	10-11-13	10-22-13	10-23-13	11-16-13
8-28-13	10-11-13	10-22-13	10-23-13	11-16-13
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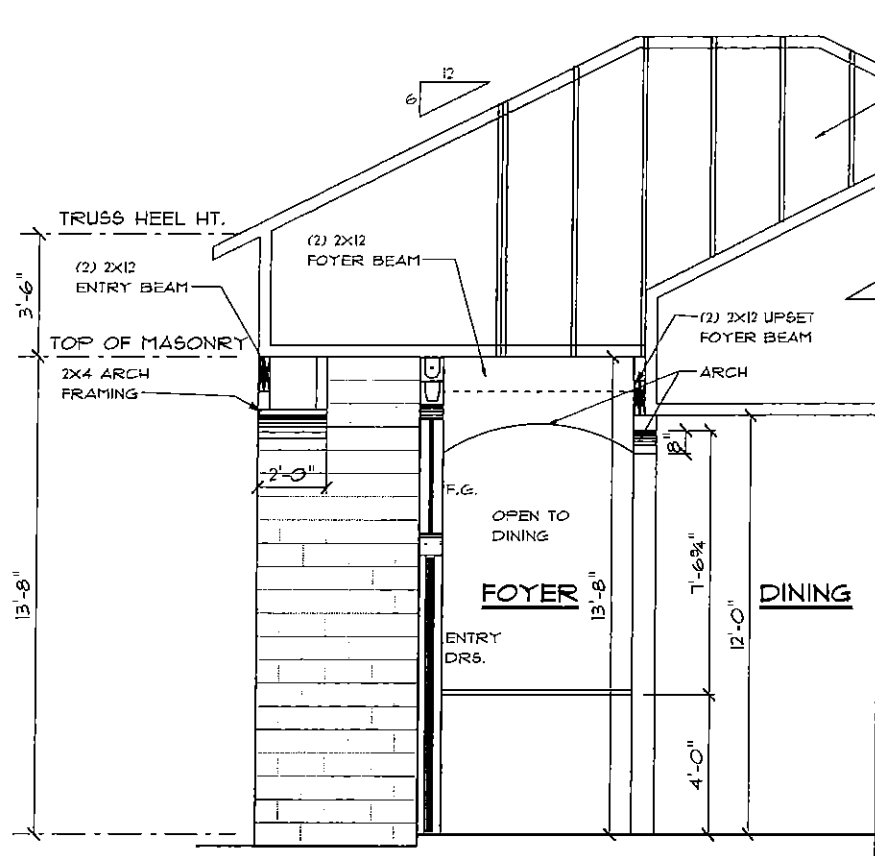
DEEB FAMILY
HOMES, LTD.
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NEW PORT RICHEY, FL. 34655

4

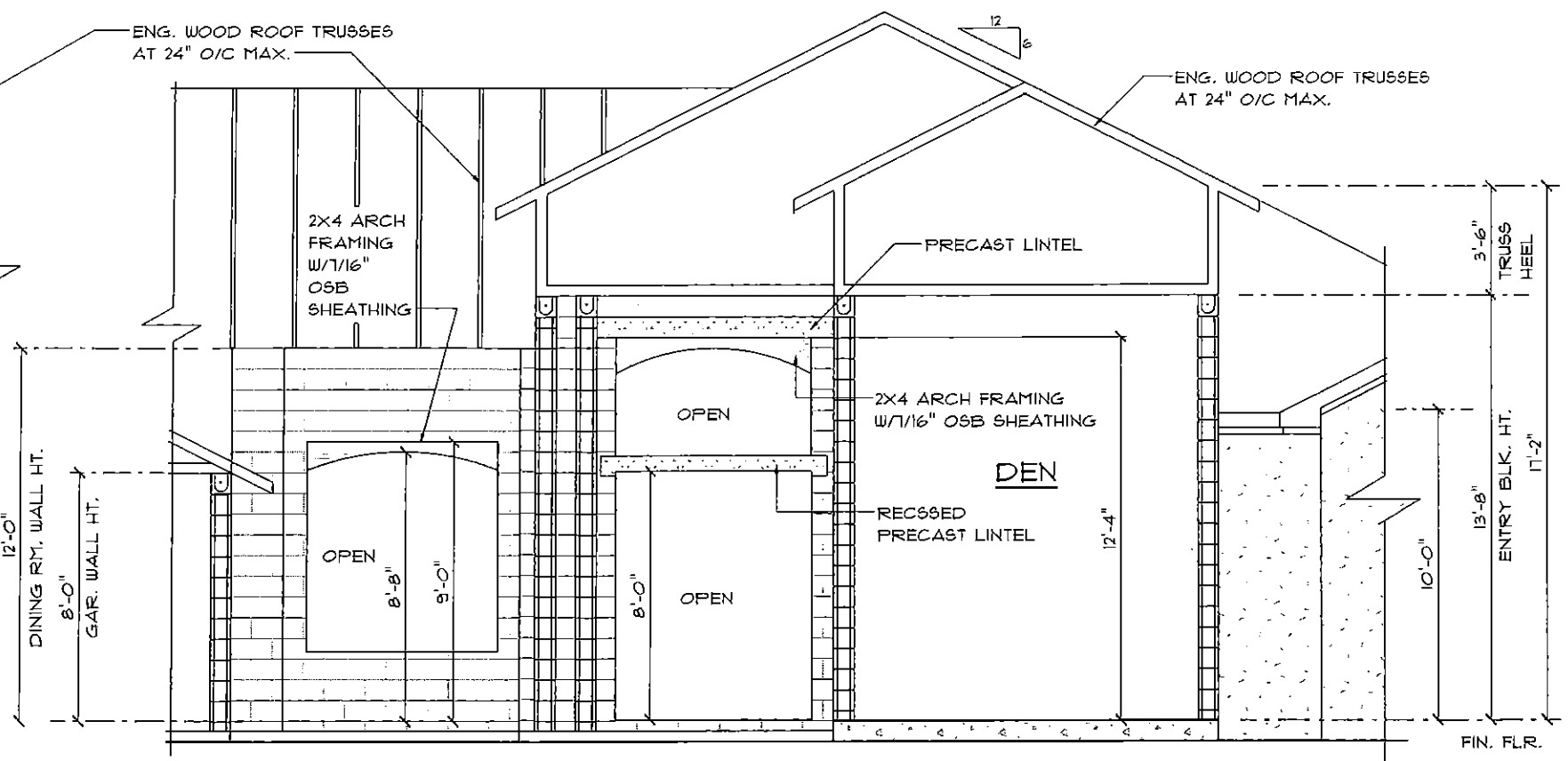
UNIT 3386

Paul E Hagler, FPE 20158
1280 Heather Ridge Blvd.
Dunedin, FL 34698
727-738-9025

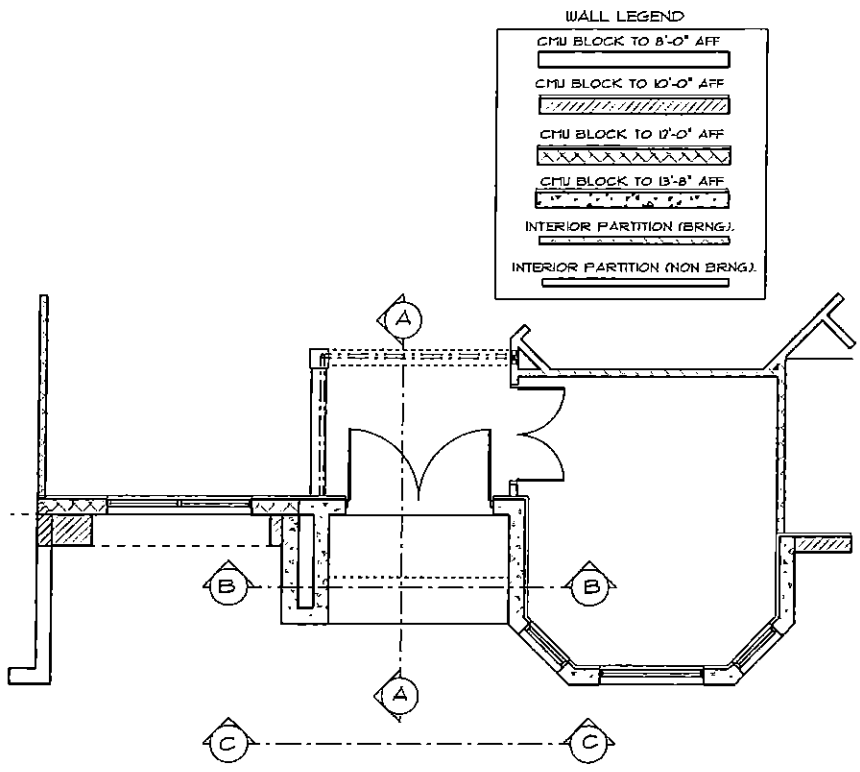
STATE OF FLORIDA
PAUL E. HAGLER, FPE 20158



ENTRY SECTION A



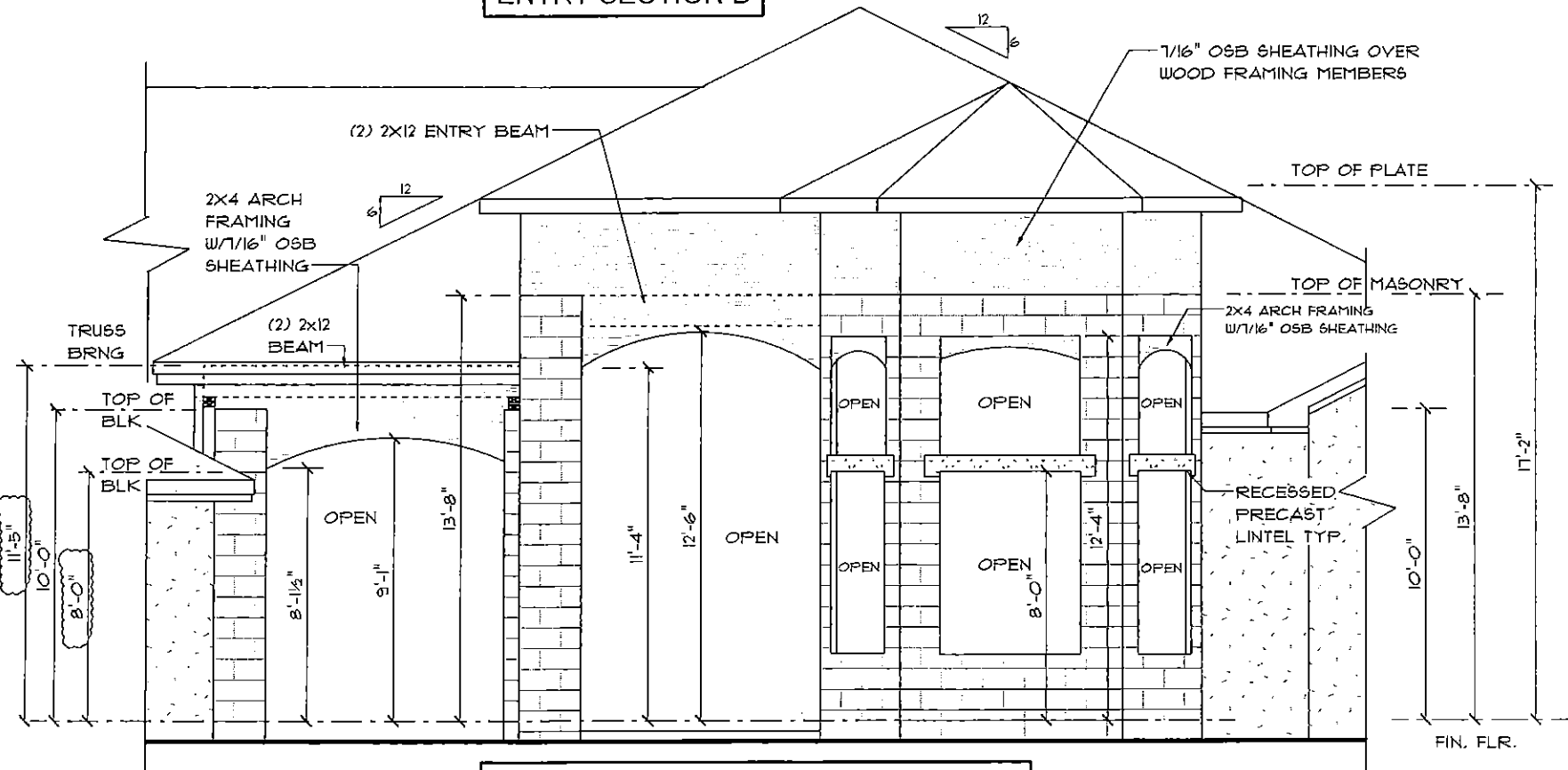
ENTRY SECTION B



ENTRY PLAN

WALL LEGEND

	CMU BLOCK TO 8'-0" AFF
	CMU BLOCK TO 10'-0" AFF
	CMU BLOCK TO 12'-0" AFF
	CMU BLOCK TO 13'-8" AFF
	INTERIOR PARTITION (BRNG.)
	INTERIOR PARTITION (NON BRNG.)



ENTRY CONSTRUCTION ELEVATION C

UNIT 3386

SCALE 3/16" = 1'-0"

ENTRY CONSTRUCTION DETAILS

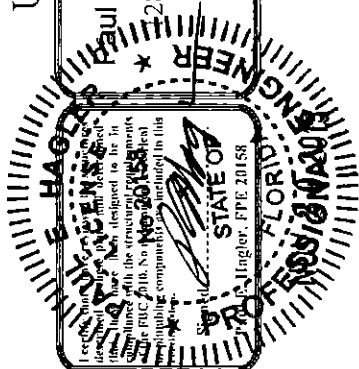
Paul E Hagler, FPE 20158
 2880 Heather Ridge Blvd.
 Dunedin, FL 34698
 727-738-9025

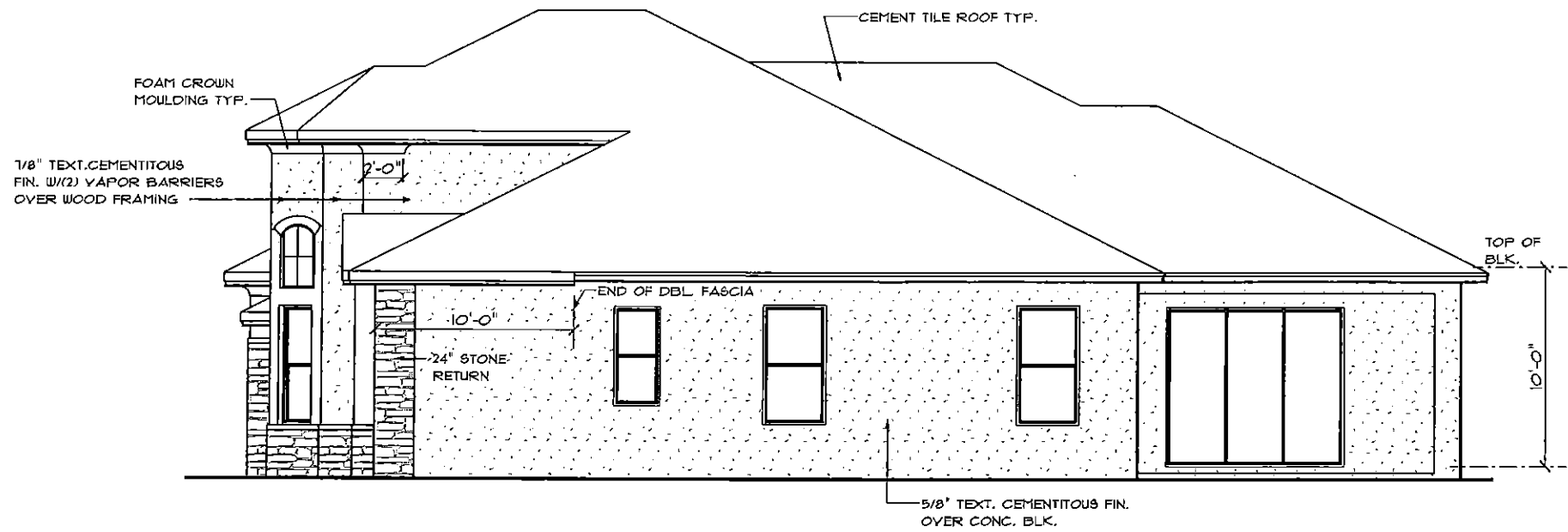
LOT 14
 PLANTATION

PLAN DATE	10-11-13	10-23-13	10-23-13	11-16-13
8-28-13	8-29-13	9-13-13	9-24-13	10-10-13

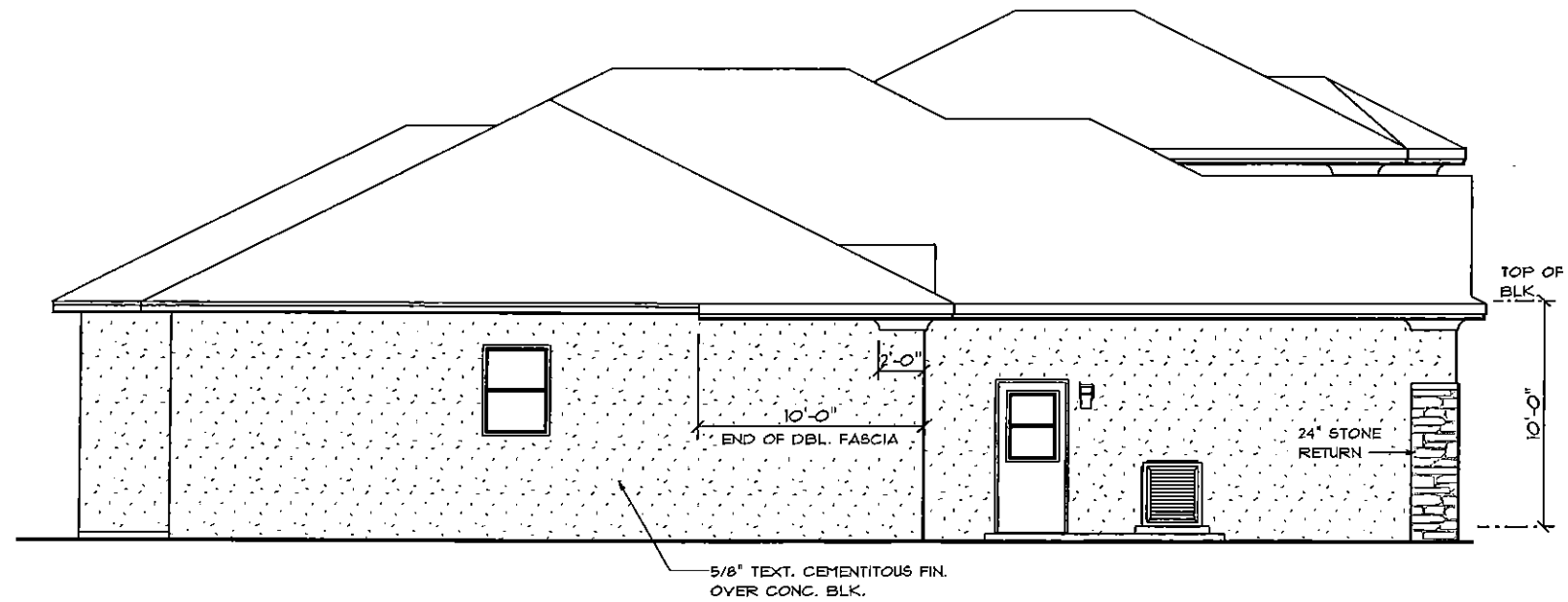
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4A





RIGHT ELEVATION



LEFT ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

UNIT 3386

5

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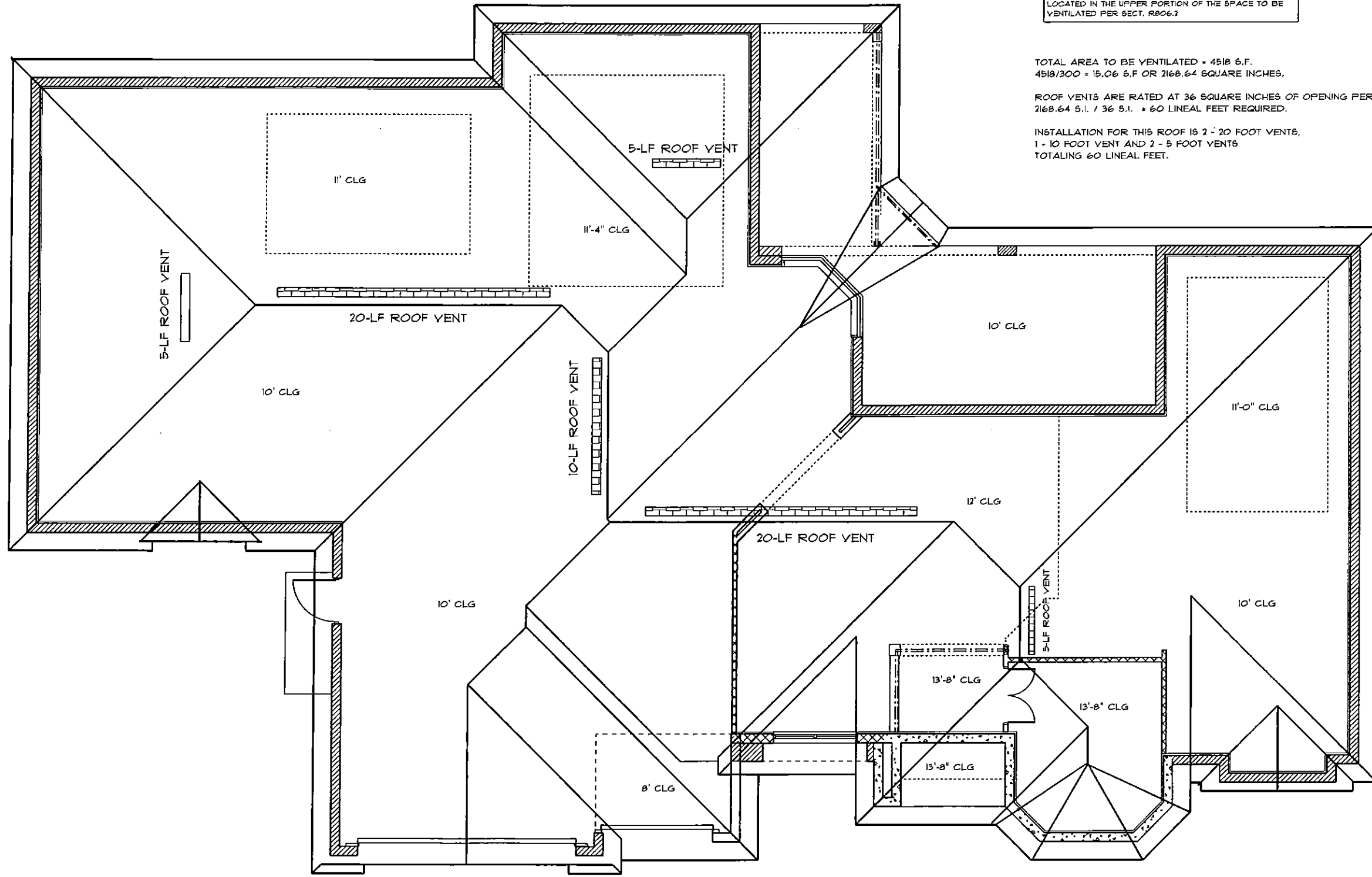
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8-28-13				
8-29-13				
9-13-13				
9-24-13				
10-10-13				

LOT 14
PLANTATION

Allen O. P.
10-15-13
11-24-13



ROBBIAN DESIGN
AL ROBBIAN A.I.B.D.
6397 CONNIEWOOD SQ.
NEW PORT RICHEY, FL 34653
(727) 848-2259
MAIL - al@robbiandesign.com



TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R206.2

TOTAL AREA TO BE VENTILATED = 4518 S.F.
 $4518/300 = 15.06$ S.F. OR 2168.64 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
 2168.64 S.I. / 36 S.I. = 60 LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 2 - 20 FOOT VENTS,
 1 - 10 FOOT VENT AND 2 - 5 FOOT VENTS
 TOTALING 60 LINEAL FEET.

ROOF PLAN

SCALE 1/8" = 1'-0"

UNIT 3386

6

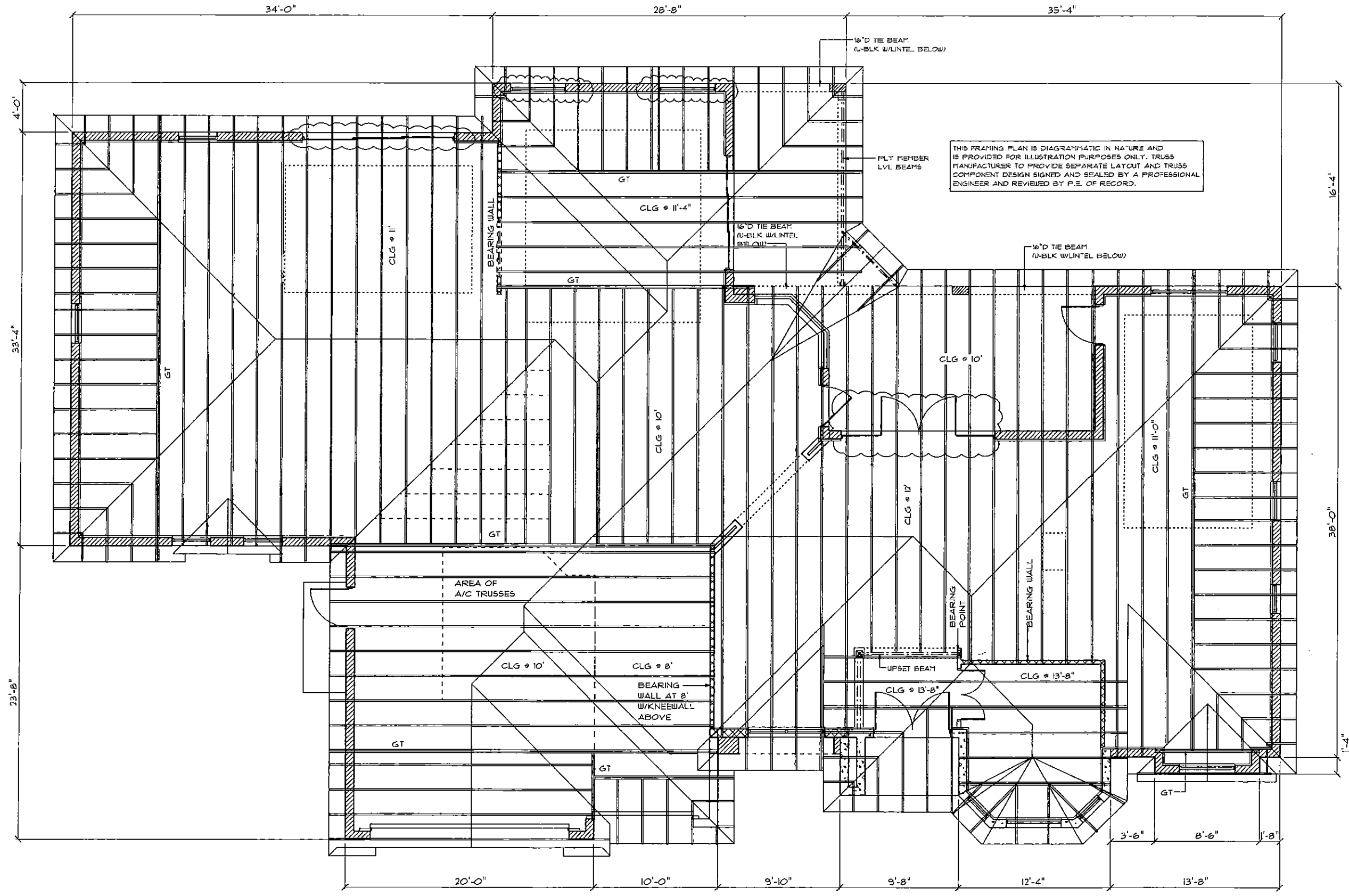
DEEB FAMILY HOMES, LTD.
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PLAN DATE	10-11-13	10-22-13	10-23-13	11-16-13
8-28-13				
8-29-13				
9-13-13				
9-24-13				
10-10-13				

LOT 14 PLANTATION

Al Robbian
 10-15-13
 11-25-13

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 6397 CONNORWOOD SQ.
 NEW PORT RICHEY, FL. 34653
 (727) 848-2259
 MAIL - al@robbiandesign.com



TRUSS PLAN

SCALE 1/8" = 1'-0"

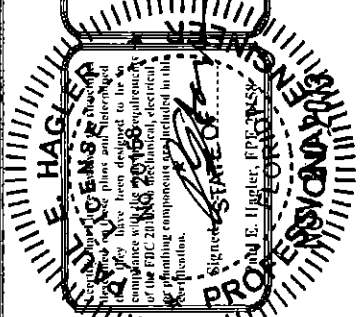
UNIT 3386

6A

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9400 RIVER CROSSING BLD.
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PLAN DATE	DATE
8-28-13	10-11-13
8-29-13	10-22-13
9-13-13	10-23-13
9-24-13	11-16-13
10-10-13	

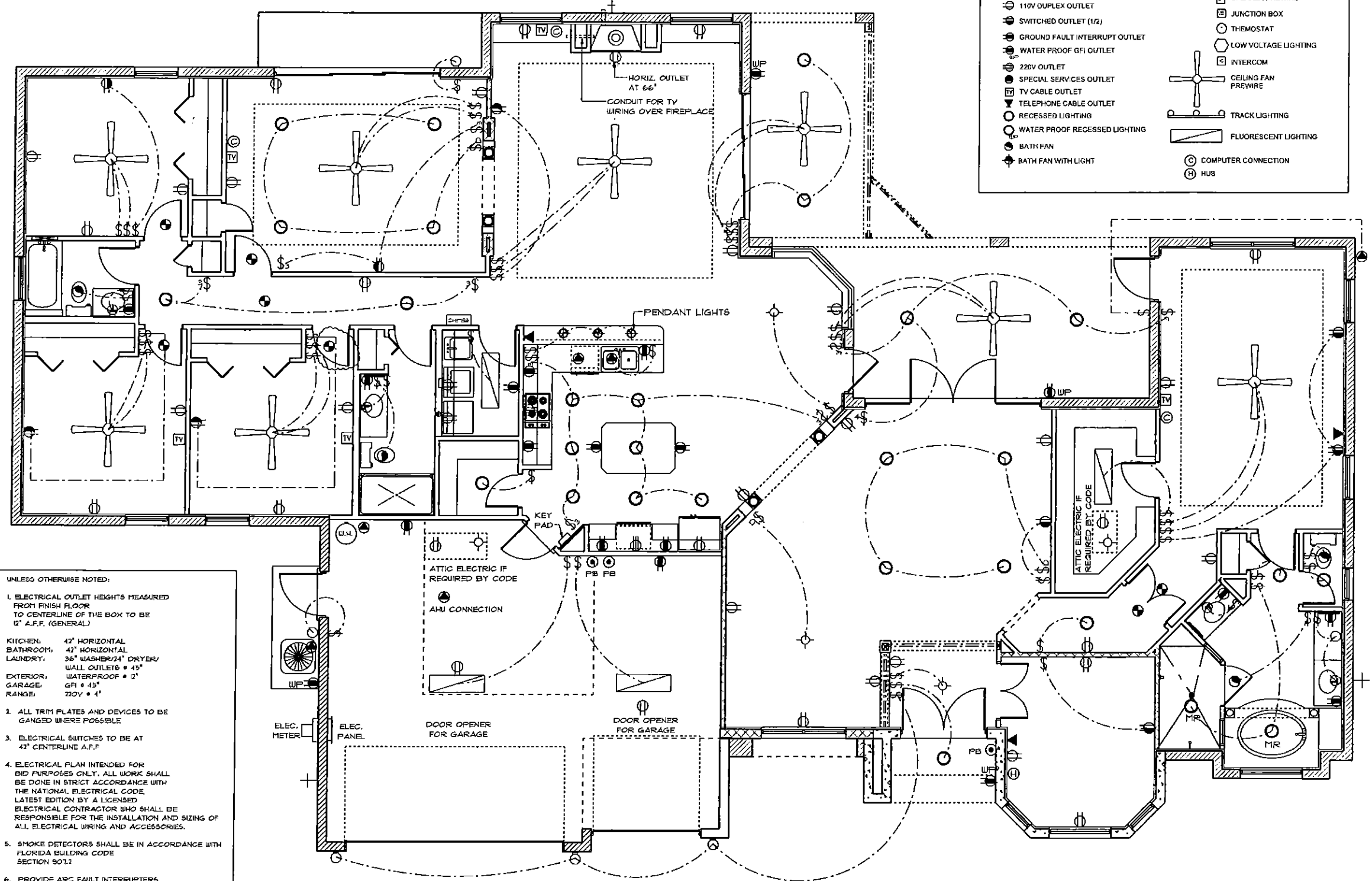
LOT 14 PLANTATION



Paul E Hagler, FPE 20158
1280 Heather Ridge Blvd.
Dunedin, FL 34698
727-738-9025

UNLESS OTHERWISE NOTED:

- ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 42" A.F.F. (GENERAL)
- KITCHEN: 42" HORIZONTAL
BATHROOM: 42" HORIZONTAL
LAUNDRY: 36" WASHER/24" DRYER/
WALL OUTLETS • 45"
EXTERIOR: WATERPROOF • 2"
GARAGE: GFI • 45"
RANGE: 220V • 4"
- ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
- ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
- ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
- SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH FLORIDA BUILDING CODE SECTION 507.2
- PROVIDE ARC FAULT INTERRUPTERS PER NEC. SECT. 210.8
- ALL RECEPTACLES TO BE TAMPER PROOF PER NEC. SECT. 406.11



- ⌚ SINGLE POLE SWITCH
- ⌚ DOUBLE POLE SWITCH
- ⌚ THREE WAY SWITCH
- ⌚ FOUR WAY SWITCH
- ⌚ DIMMER SWITCH
- ⌚ CEILING FIXTURE
- SCONCE (WALL MOUNTED FIXTURE)
- ⌚ 110V DUPLEX OUTLET
- ⌚ SWITCHED OUTLET (1/2)
- ⌚ GROUND FAULT INTERRUPT OUTLET
- ⌚ WATER PROOF GFI OUTLET
- ⌚ 220V OUTLET
- ⌚ SPECIAL SERVICES OUTLET
- ⌚ TV CABLE OUTLET
- ⌚ TELEPHONE CABLE OUTLET
- ⌚ RECESSED LIGHTING
- ⌚ WATER PROOF RECESSED LIGHTING
- ⌚ BATH FAN
- ⌚ BATH FAN WITH LIGHT
- ⌚ SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- ⌚ FLOOD LIGHT
- ⌚ PUSH BUTTON
- ⌚ CHIMES/DOOR BELL
- ⌚ DISCONNECT SWITCH
- ⌚ SPEAKER PREWIRE
- ⌚ JUNCTION BOX
- ⌚ THERMOSTAT
- ⌚ LOW VOLTAGE LIGHTING
- ⌚ INTERCOM
- ⌚ CEILING FAN PREWIRE
- ⌚ TRACK LIGHTING
- ⌚ FLUORESCENT LIGHTING
- ⌚ COMPUTER CONNECTION
- ⌚ HUB

NOTE: HANG ALL (6) INDOOR CEILING FANS

30A POOL PUMP PREWIRE

ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

UNIT 3386

7

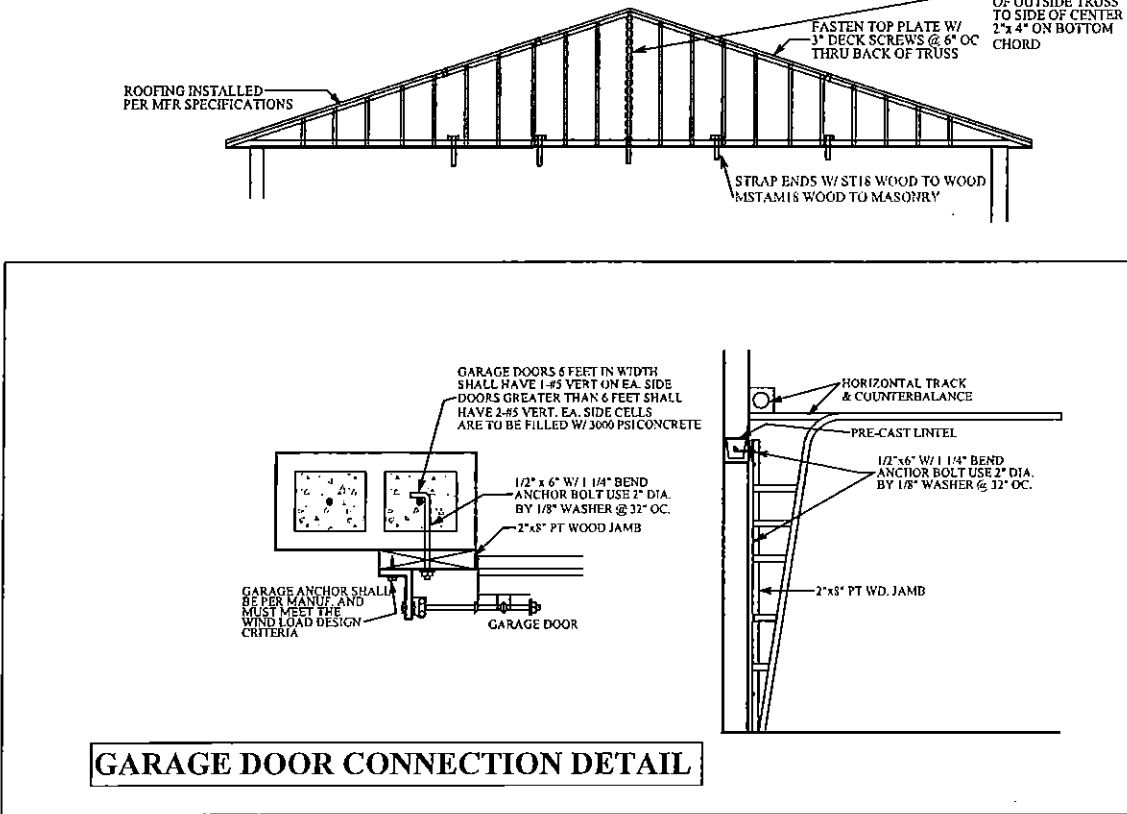
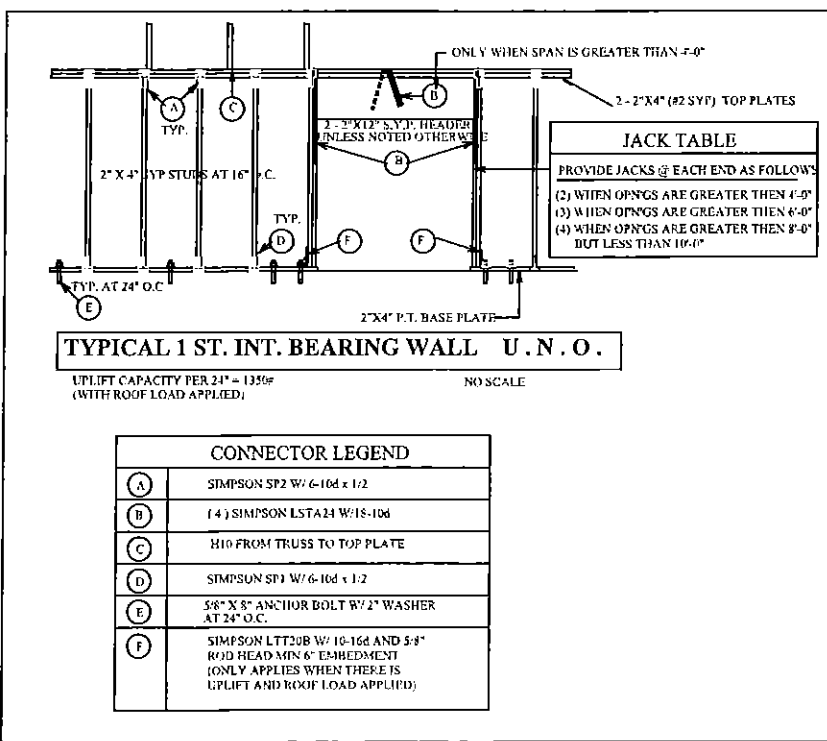
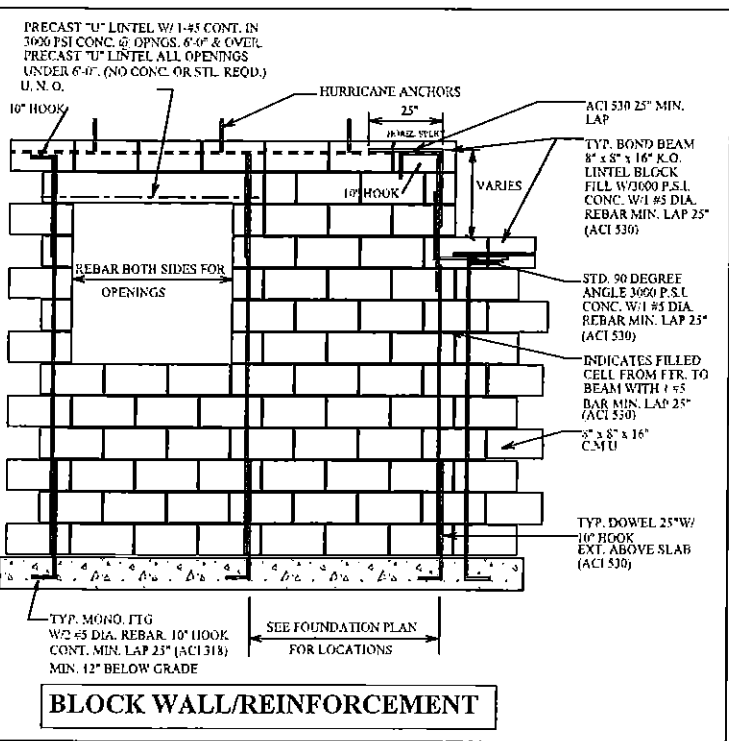
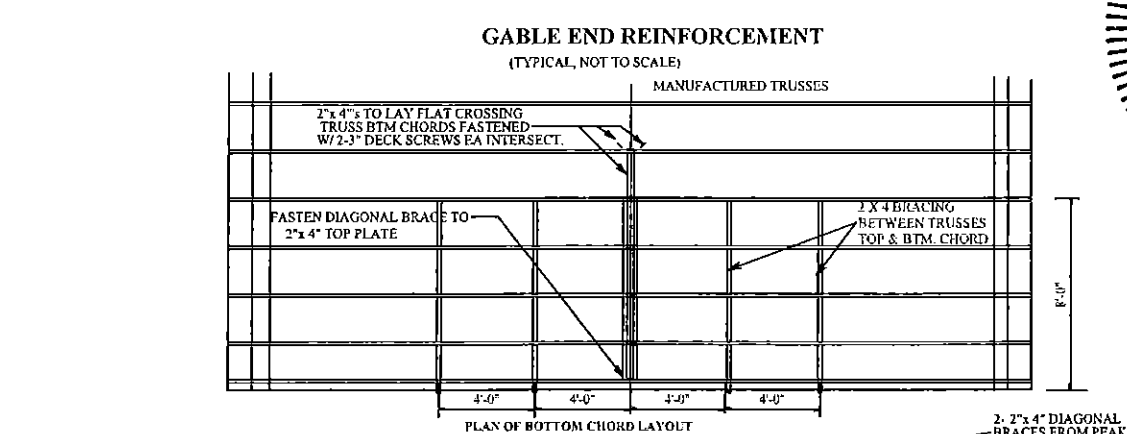
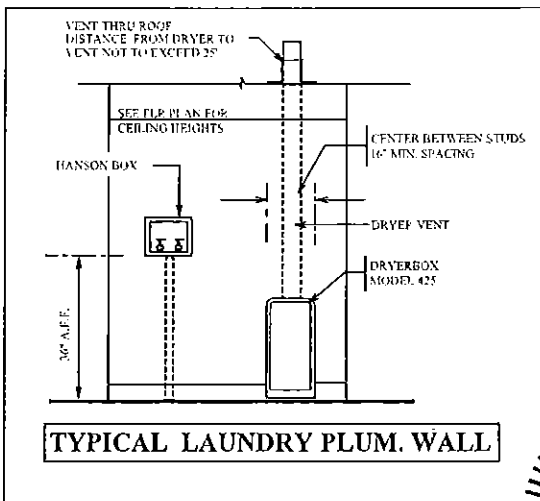
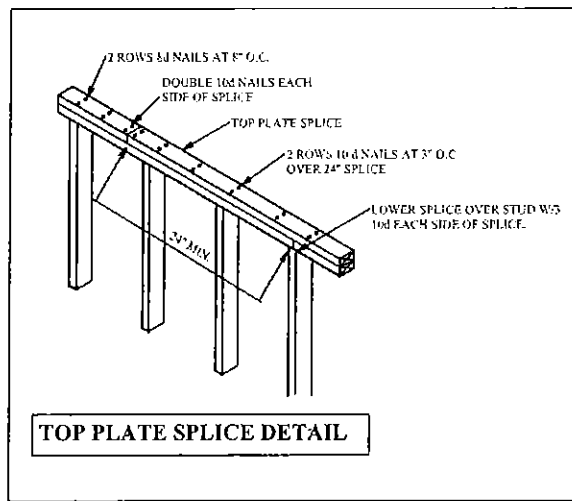
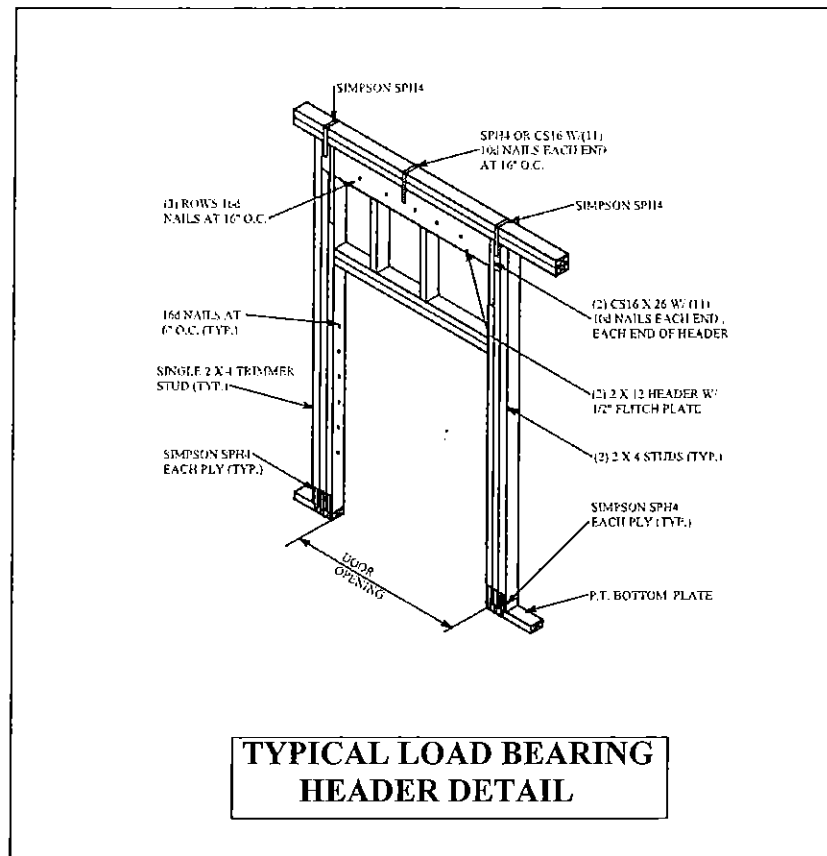
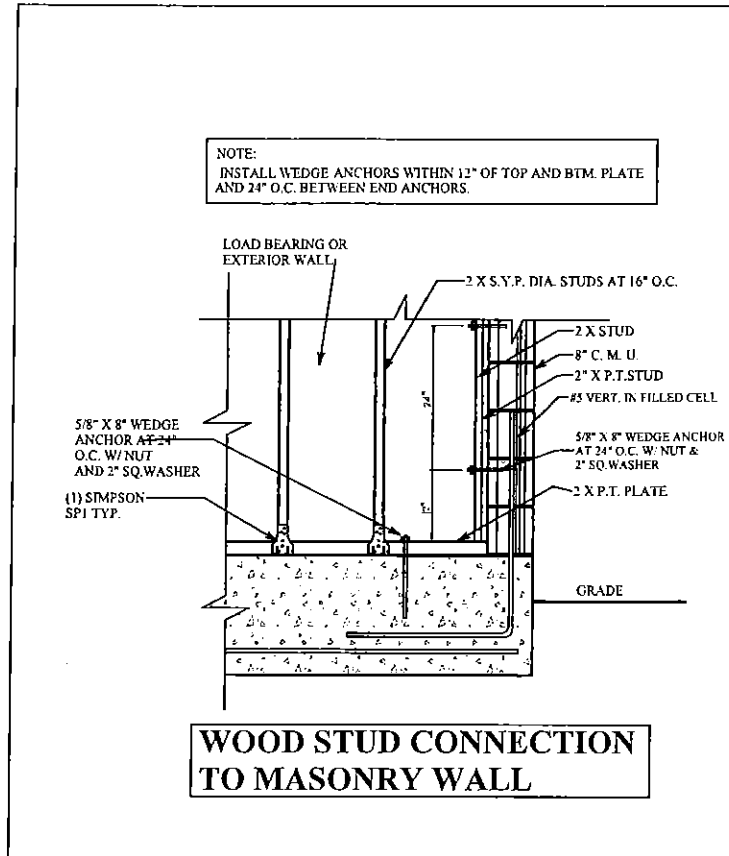
DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE	DATE
8-28-13	10-11-13
8-29-13	10-22-13
9-13-13	10-23-13
9-24-13	11-16-13
	10-10-13

LOT 14 PLANTATION

Alida V. Deeb
10-15-13
11-25-13

ROBBIAN DESIGN
AL ROBBIAN A.I.B.D.
6397 CONNIEWOOD SQ.
NEW PORT RICHEY, FL. 34653
(727) 848-2259
MAIL - info@robbiandesign.com



UNIT 3386

PAUL E. HAGLER
CONSULTING ENGINEER
1280 Heather Ridge Boulevard
Dunedin, FL 34698
727-738-9025

PAUL E. HAGLER
LICENSE
No. 20156
I certify that I have reviewed the drawings and specifications on these plans and determine that they have been prepared to the best of my knowledge and skill in accordance with the provisions of the Florida Building Code, Chapter 6, Part 9, and the Florida Building Code, Chapter 6, Part 10, and the Florida Building Code, Chapter 6, Part 11, and the Florida Building Code, Chapter 6, Part 12, and the Florida Building Code, Chapter 6, Part 13, and the Florida Building Code, Chapter 6, Part 14, and the Florida Building Code, Chapter 6, Part 15, and the Florida Building Code, Chapter 6, Part 16, and the Florida Building Code, Chapter 6, Part 17, and the Florida Building Code, Chapter 6, Part 18, and the Florida Building Code, Chapter 6, Part 19, and the Florida Building Code, Chapter 6, Part 20, and the Florida Building Code, Chapter 6, Part 21, and the Florida Building Code, Chapter 6, Part 22, and the Florida Building Code, Chapter 6, Part 23, and the Florida Building Code, Chapter 6, Part 24, and the Florida Building Code, Chapter 6, Part 25, and the Florida Building Code, Chapter 6, Part 26, and the Florida Building Code, Chapter 6, Part 27, and the Florida Building Code, Chapter 6, Part 28, and the Florida Building Code, Chapter 6, Part 29, and the Florida Building Code, Chapter 6, Part 30, and the Florida Building Code, Chapter 6, Part 31, and the Florida Building Code, Chapter 6, Part 32, and the Florida Building Code, Chapter 6, Part 33, and the Florida Building Code, Chapter 6, Part 34, and the Florida Building Code, Chapter 6, Part 35, and the Florida Building Code, Chapter 6, Part 36, and the Florida Building Code, Chapter 6, Part 37, and the Florida Building Code, Chapter 6, Part 38, and the Florida Building Code, Chapter 6, Part 39, and the Florida Building Code, Chapter 6, Part 40, and the Florida Building Code, Chapter 6, Part 41, and the Florida Building Code, Chapter 6, Part 42, and the Florida Building Code, Chapter 6, Part 43, and the Florida Building Code, Chapter 6, Part 44, and the Florida Building Code, Chapter 6, Part 45, and the Florida Building Code, Chapter 6, Part 46, and the Florida Building Code, Chapter 6, Part 47, and the Florida Building Code, Chapter 6, Part 48, and the Florida Building Code, Chapter 6, Part 49, and the Florida Building Code, Chapter 6, Part 50, and the Florida Building Code, Chapter 6, Part 51, and the Florida Building Code, Chapter 6, Part 52, and the Florida Building Code, Chapter 6, Part 53, and the Florida Building Code, Chapter 6, Part 54, and the Florida Building Code, Chapter 6, Part 55, and the Florida Building Code, Chapter 6, Part 56, and the Florida Building Code, Chapter 6, Part 57, and the Florida Building Code, Chapter 6, Part 58, and the Florida Building Code, Chapter 6, Part 59, and the Florida Building Code, Chapter 6, Part 60, and the Florida Building Code, Chapter 6, Part 61, and the Florida Building Code, Chapter 6, Part 62, and the Florida Building Code, Chapter 6, Part 63, and the Florida Building Code, Chapter 6, Part 64, and the Florida Building Code, Chapter 6, Part 65, and the Florida Building Code, Chapter 6, Part 66, and the Florida Building Code, Chapter 6, Part 67, and the Florida Building Code, Chapter 6, Part 68, and the Florida Building Code, Chapter 6, Part 69, and the Florida Building Code, Chapter 6, Part 70, and the Florida Building Code, Chapter 6, Part 71, and the Florida Building Code, Chapter 6, Part 72, and the Florida Building Code, Chapter 6, Part 73, and the Florida Building Code, Chapter 6, Part 74, and the Florida Building Code, Chapter 6, Part 75, and the Florida Building Code, Chapter 6, Part 76, and the Florida Building Code, Chapter 6, Part 77, and the Florida Building Code, Chapter 6, Part 78, and the Florida Building Code, Chapter 6, Part 79, and the Florida Building Code, Chapter 6, Part 80, and the Florida Building Code, Chapter 6, Part 81, and the Florida Building Code, Chapter 6, Part 82, and the Florida Building Code, Chapter 6, Part 83, and the Florida Building Code, Chapter 6, Part 84, and the Florida Building Code, Chapter 6, Part 85, and the Florida Building Code, Chapter 6, Part 86, and the Florida Building Code, Chapter 6, Part 87, and the Florida Building Code, Chapter 6, Part 88, and the Florida Building Code, Chapter 6, Part 89, and the Florida Building Code, Chapter 6, Part 90, and the Florida Building Code, Chapter 6, Part 91, and the Florida Building Code, Chapter 6, Part 92, and the Florida Building Code, Chapter 6, Part 93, and the Florida Building Code, Chapter 6, Part 94, and the Florida Building Code, Chapter 6, Part 95, and the Florida Building Code, Chapter 6, Part 96, and the Florida Building Code, Chapter 6, Part 97, and the Florida Building Code, Chapter 6, Part 98, and the Florida Building Code, Chapter 6, Part 99, and the Florida Building Code, Chapter 6, Part 100.

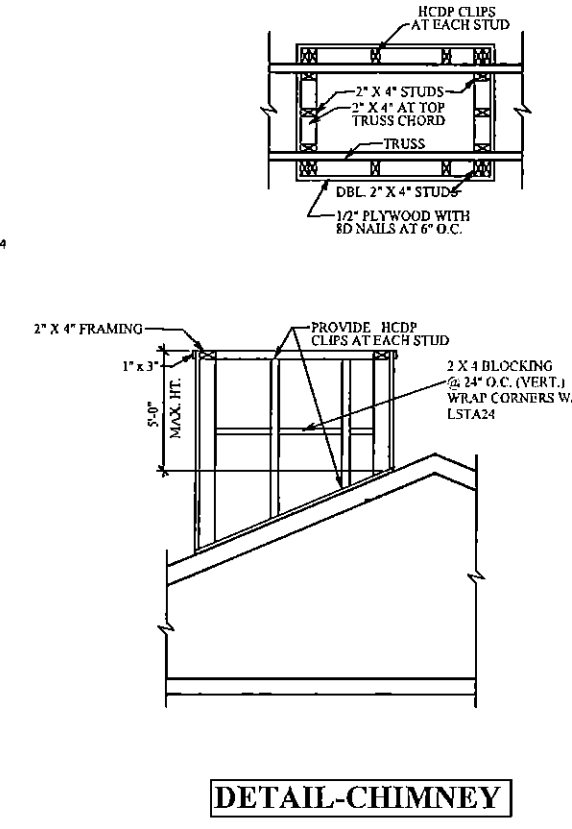
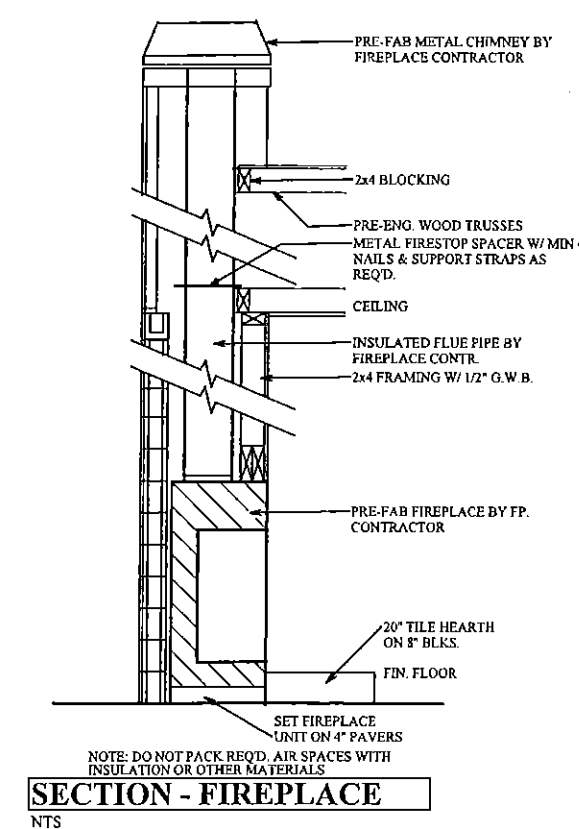
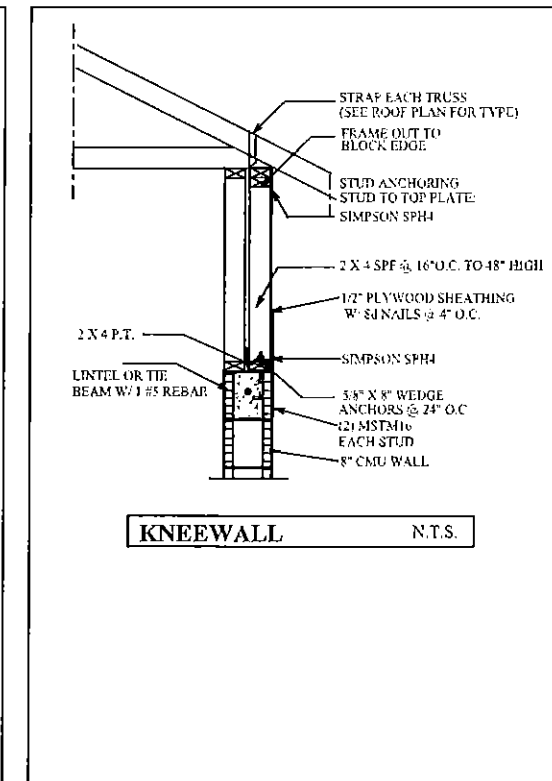
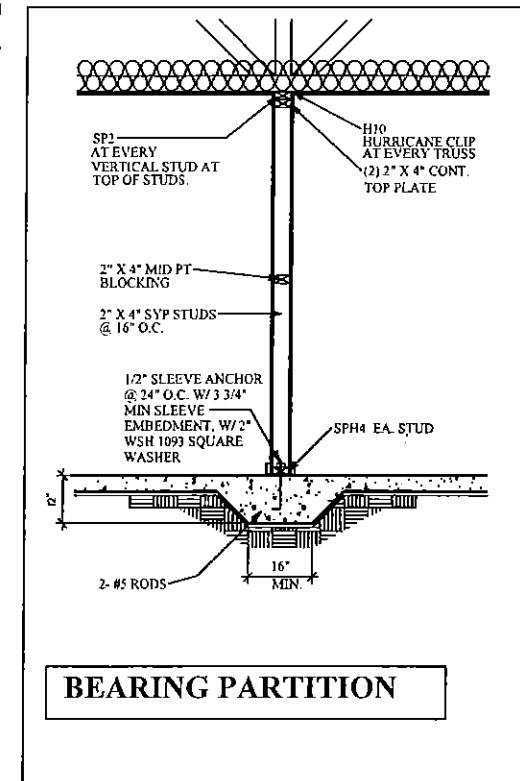
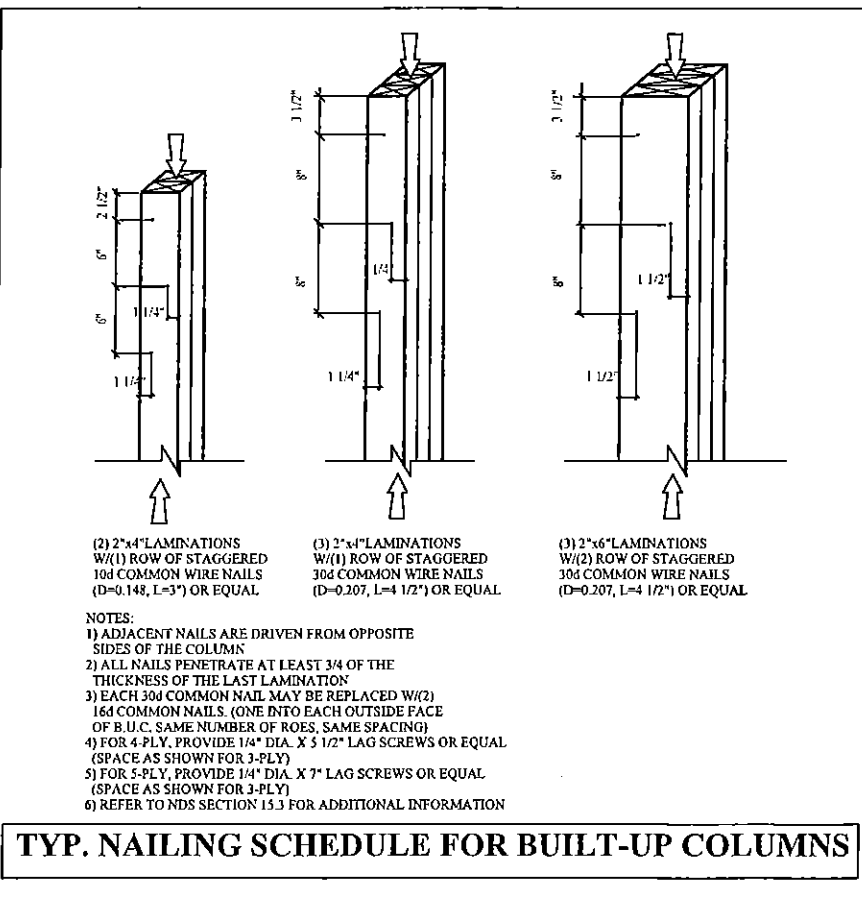
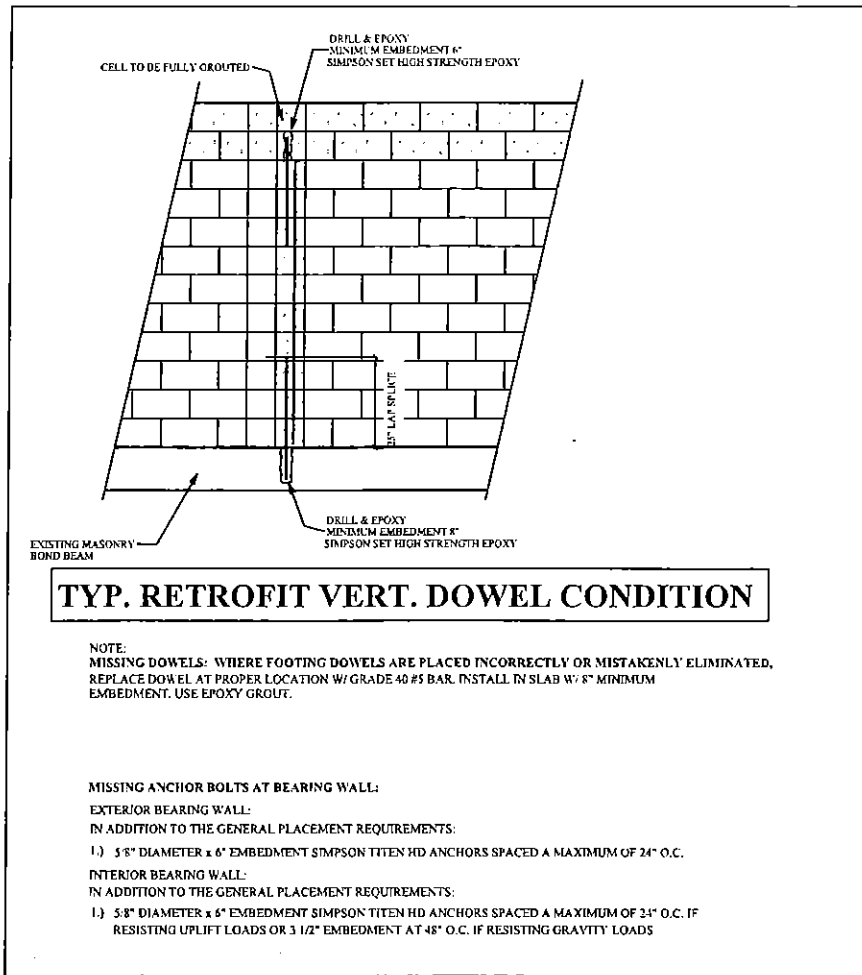
INVENTORY
LOT 14, PLANTATION
PINELLAS COUNTY

CONSTRUCTION DETAILS

PLAN DATE
10-1-2013
11-16-2013

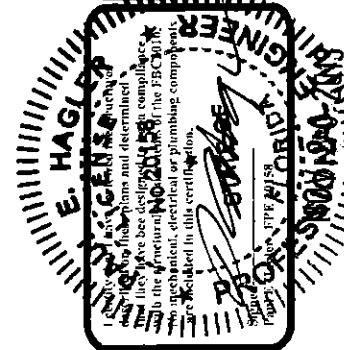
DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
727-376-6831

8



UNIT 3386

PAUL E. HAGLER
CONSULTING ENGINEER
1280 Heather Ridge Boulevard
Dunedin, FL 34698
727-738-9025



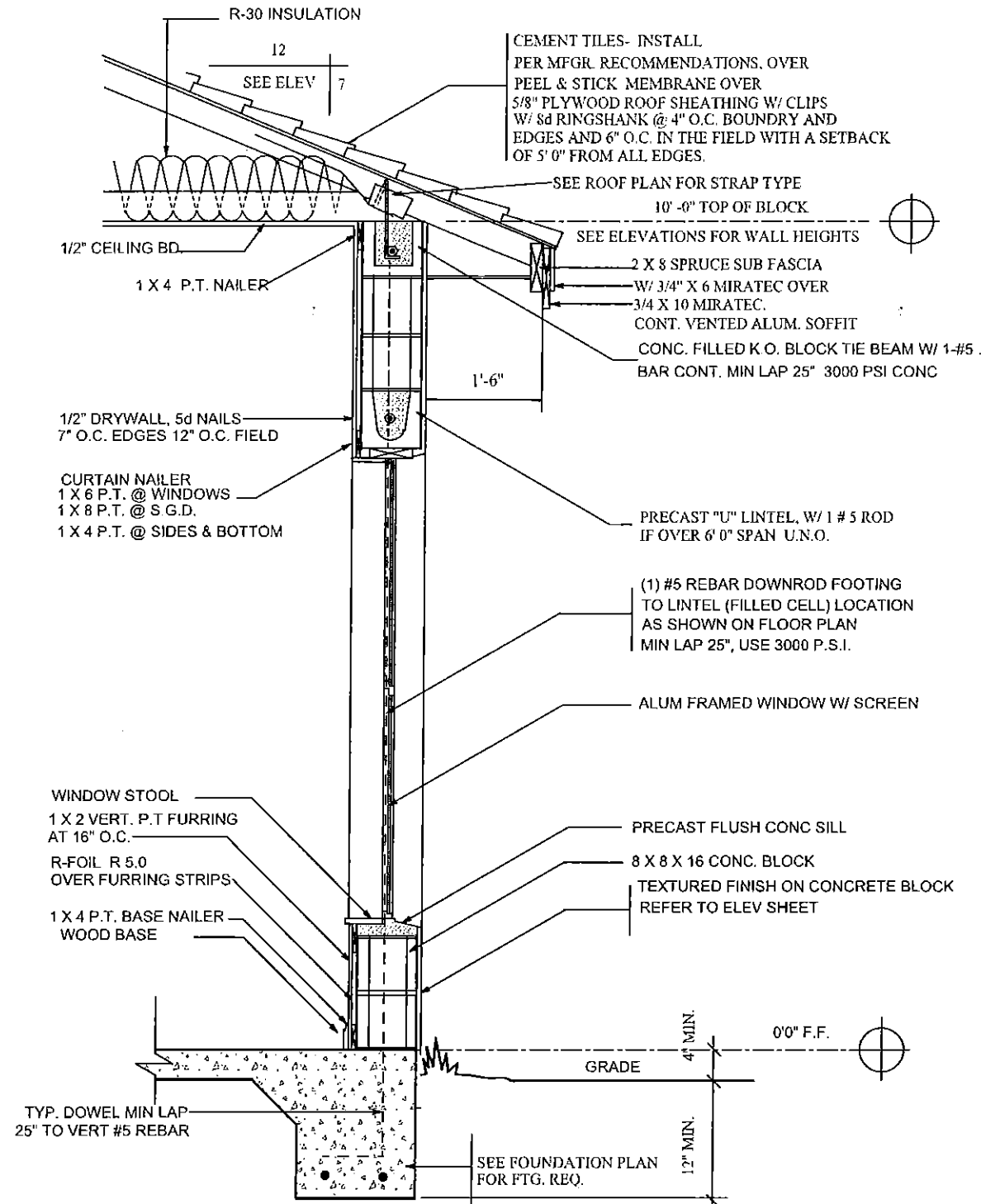
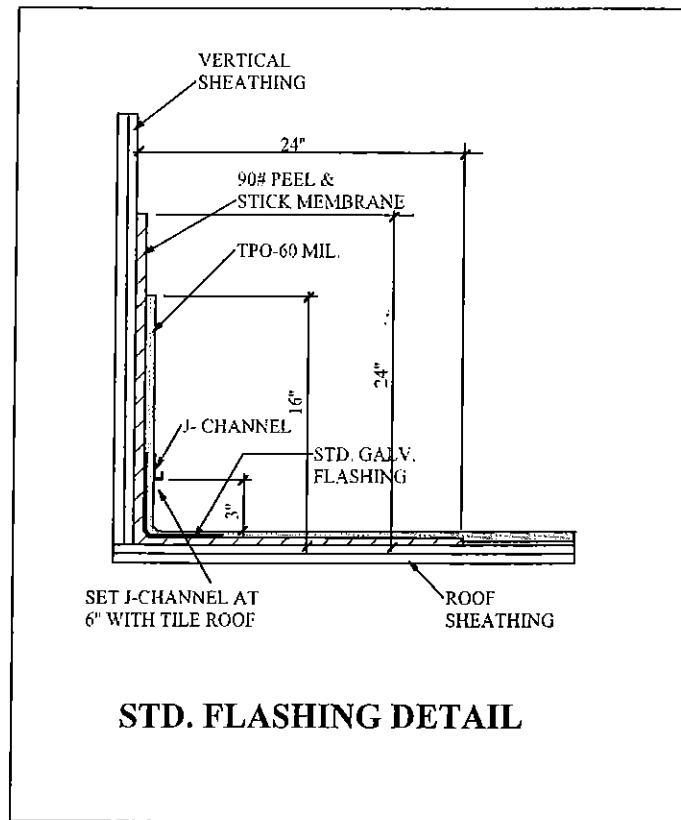
INVENTORY
LOT 14, PLANTATION
PINELLAS COUNTY

PLAN DATE
10-1-2013
1-1-16-2013

CONSTRUCTION DETAILS

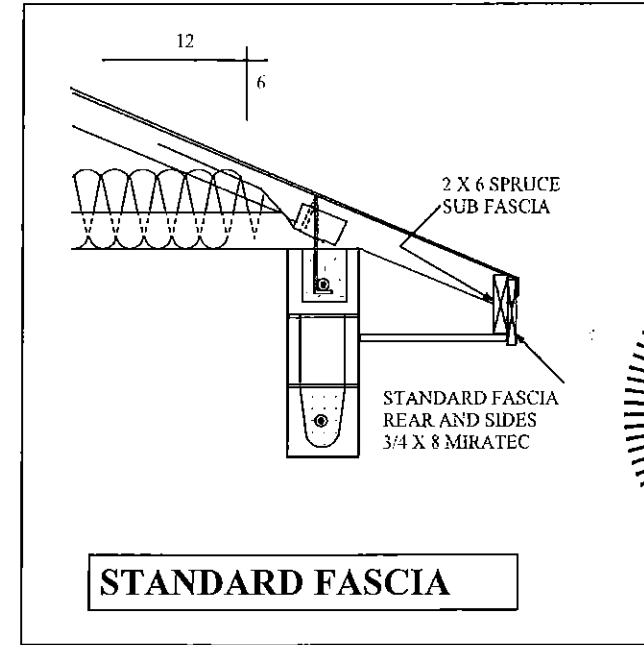
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HOMES, LTD.
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NEW PORT RICHEY, FL 34655
727-376-6831



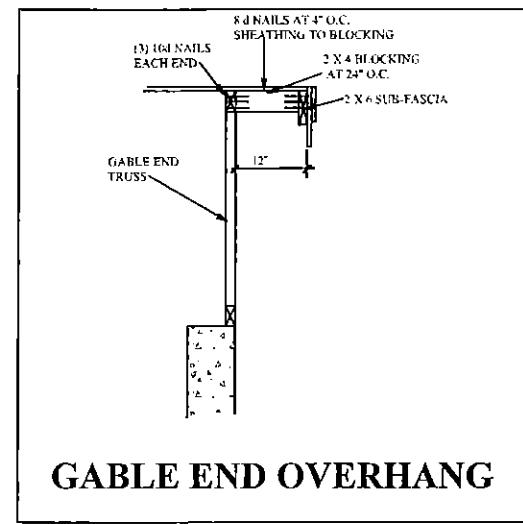


TYPICAL WALL SECTION

TERMITE SPECIFICATIONS:
 INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS



STANDARD FASCIA



GABLE END OVERHANG

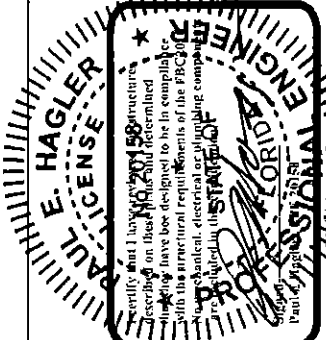
CONNECTOR TABLE

SIMPSON	FLORIDA PRODUCT NUMBERS PER INDEX 2-25-2011
MBHA3 69/11.89	10369.12
H2	10456.10
H8	10456.16
H10	10456.5
LGT2	11470.6
MGT	11470.7
LSTA16	10852.4
LSTA24	10852.4
SP1	10456.41
SP2	10459.42
HTS20	10456.23
HTS16	10456.22
META16	11473.17
L30	10446.11
MSTAM24	11473.19
MSTAM36	11473.19
MSTCM60	11473.19
CS16	10852.1
SPH4	10456.46
SPH8	10456.47
HTT4	11496.2
HTT5	11496.2
ABU66	10649.6

CONSTRUCTION DETAILS

UNIT 3386

PAUL E. HAGLER
 CONSULTING ENGINEER
 1280 Heather Ridge Boulevard
 Dunedin, FL 34698
 727-738-9125

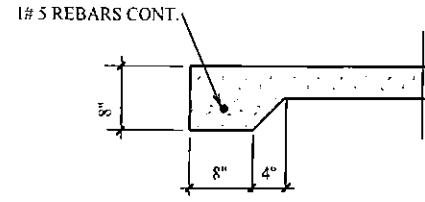


INVENTORY
 LOT 14, PLANTATION
 PINELLAS COUNTY

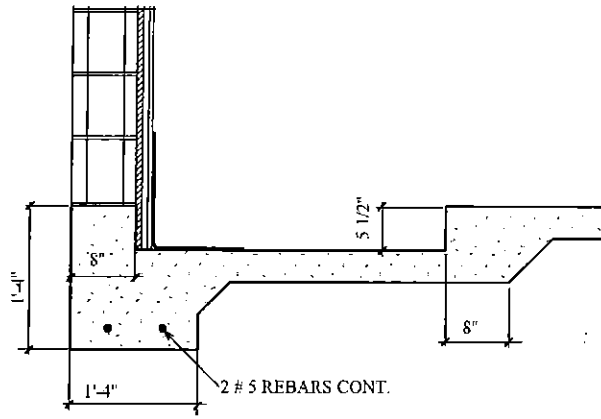
PLAN DATE
10-1-2013
11-16-2013

DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL. 34655
 727-376-6831

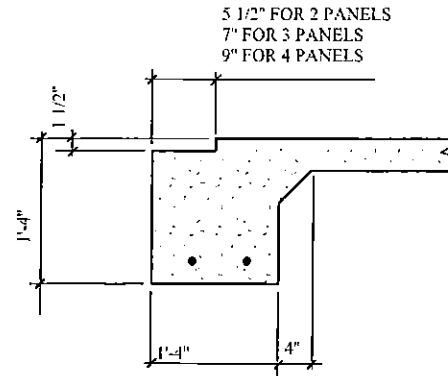
10



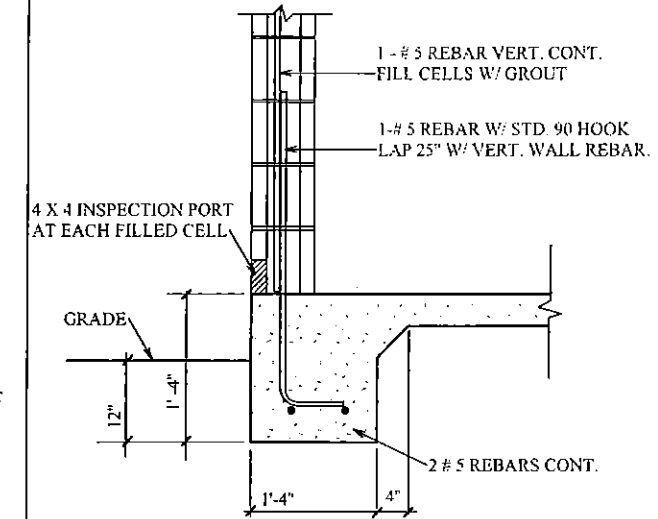
8" THICKENED SLAB (J)



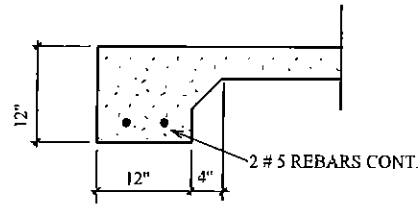
SHOWER RECESS (G)



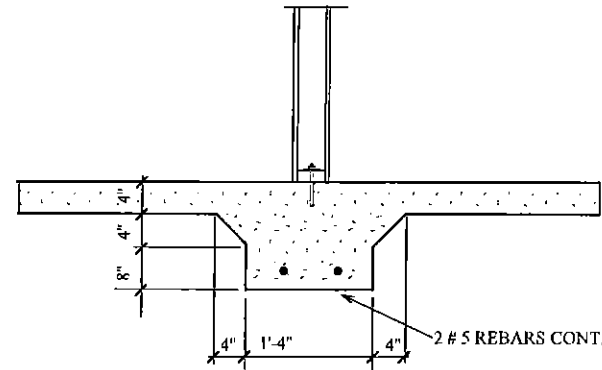
SLIDING GLASS DR. RECESS (D)



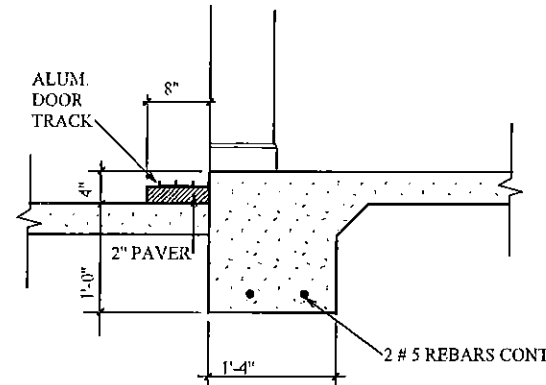
TYPICAL ONE STORY (A)



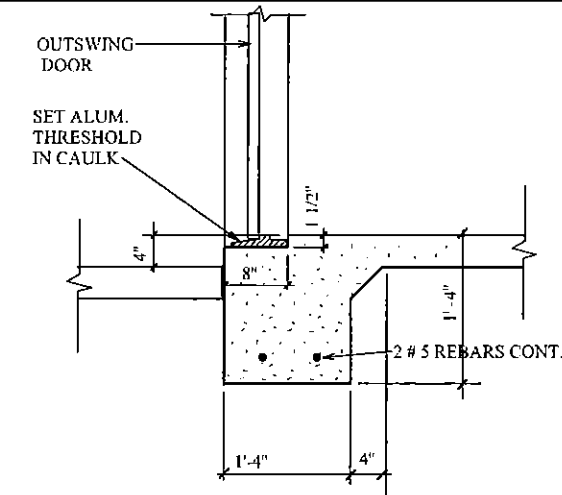
12" THICKENED SLAB (K)



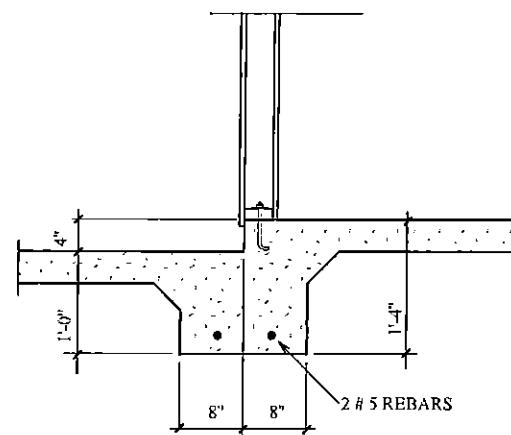
INTERIOR BEARING FTG. (H)



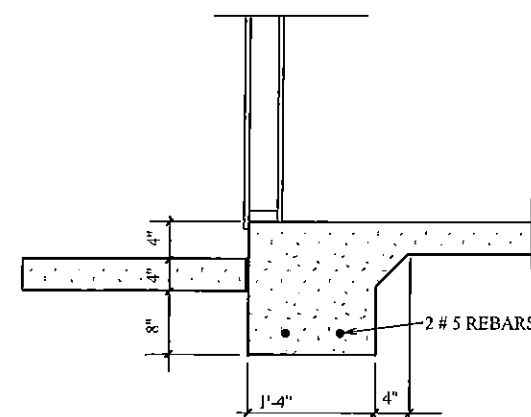
EXTERIOR POCKET S.G.D. (E)



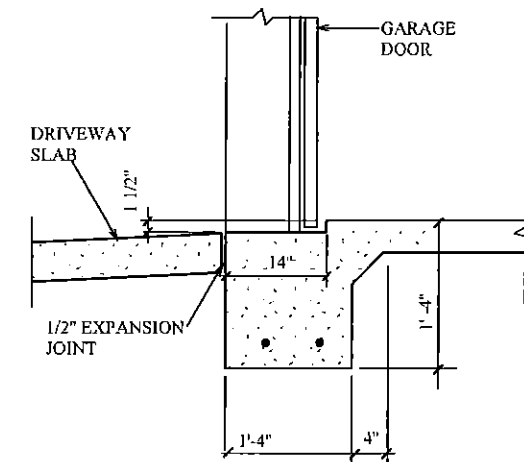
EXTERIOR DOOR RECESS (B)



BEARING GARAGE STEP (I)



NON-BRG. GARAGE STEP (F)



GARAGE DOOR RECESS (C)

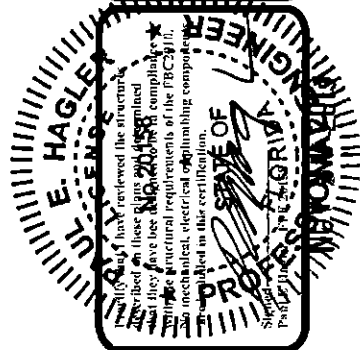
FOOTING DETAILS

11

DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655
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PLAN DATE
10-1-2013
11-16-2013

INVENTORY
LOT 14, PLANTATION
PINELLAS COUNTY



UNIT 3386

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