

**NOTES**

- 1) THE FOUNDATION SYSTEM FOR THIS PLAN IS DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2000 P.S.F. WITH NO SOILS REPORT OR INFORMATION PROVIDED.
- 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
- 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
- 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 5) REFER TO STRUCTURAL ENGINEER NOTES.

**CONCRETE PADS**

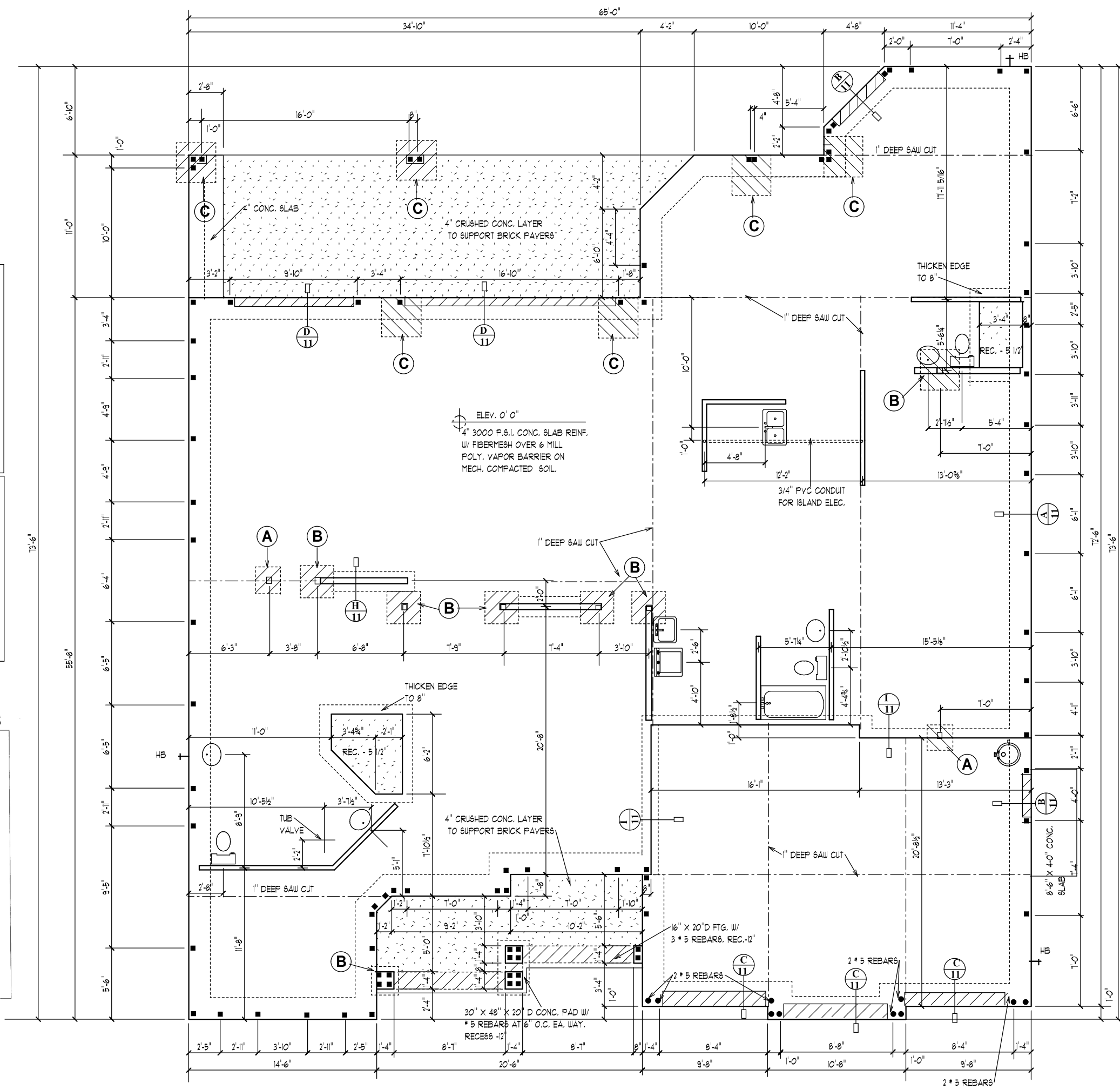
- A** 24" X 24" X 20" DEEP CONC. PAD W/ 3 # 5 REBAR EACH WAY
- B** 30" X 30" X 20" DEEP CONC. PAD W/ 4 # 5 REBAR EACH WAY
- C** 36" X 36" X 20" DEEP CONC. PAD W/ 4 # 5 REBAR EACH WAY
- D** 42" X 42" X 20" DEEP CONC. PAD W/ 5 # 5 REBAR EACH WAY
- E** 48" X 48" X 20" DEEP CONC. PAD W/ 6 # 5 REBAR EACH WAY
- F** 54" X 54" X 20" DEEP CONC. PAD W/ 7 # 5 REBAR EACH WAY

**TERMITE SPECIFICATIONS:**

INSTALL "BOR-A-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB-ON-GRADE SHALL COMPLY WITH REC. SECT. 1912 (EXCEPTION 1)

DRIVEWAY SPEC:  
DRIVEWAY NOT IN RIGHT OF WAY AND ALL SIDEWALKS TO BE 4" 3000PSI CONC. W/ FIBERMESH.  
DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT.

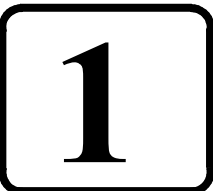


**FOUNDATION PLAN**

SCALE 1/8" = 1'-0"

AECS 15054

WILLOW 3168



**DEEB FAMILY HOMES, LTD.**  
9400 RIVER CROSSING BLD.  
NEW PORT RICHEY, FL. 34655  
727-376-6831

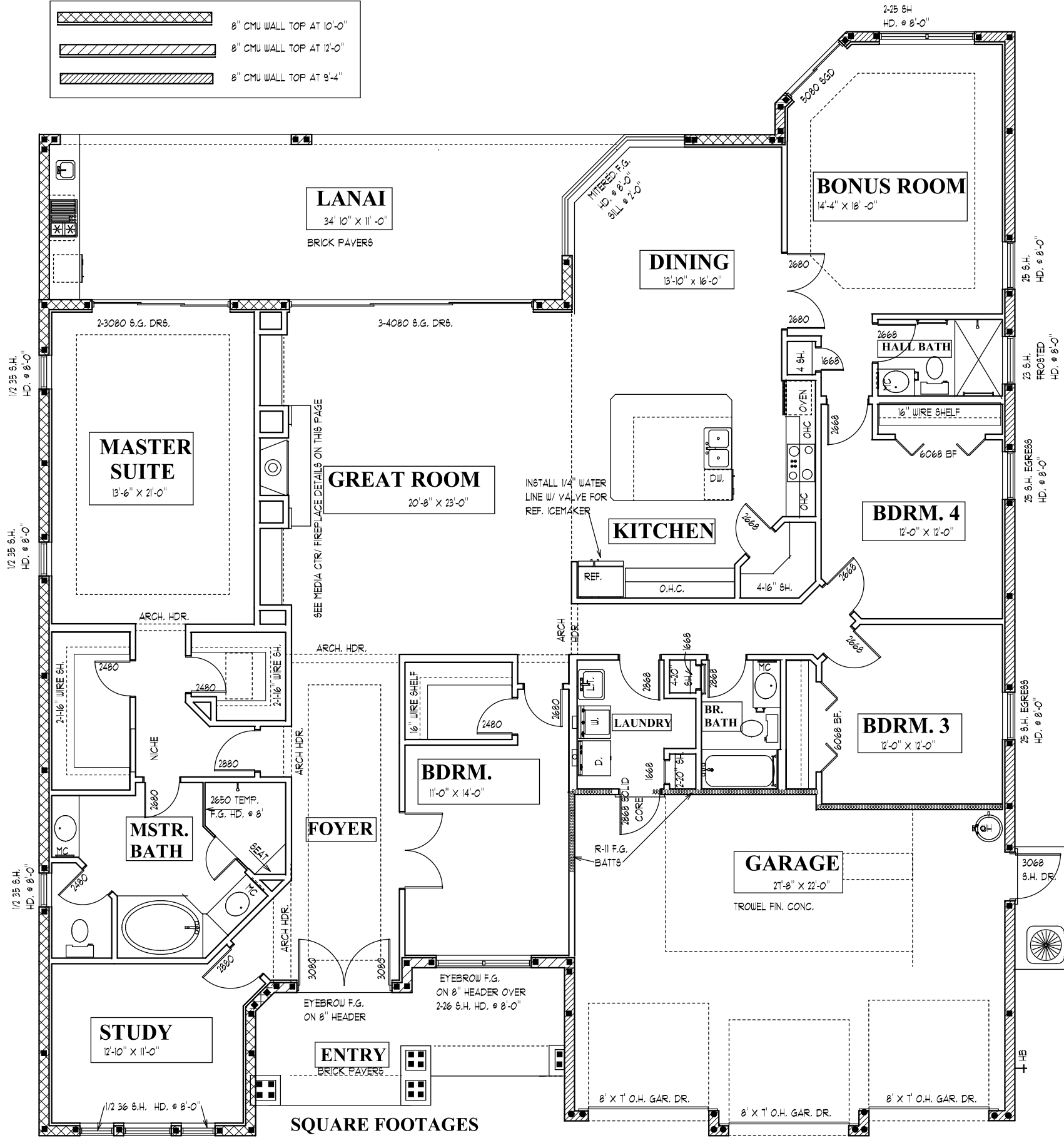
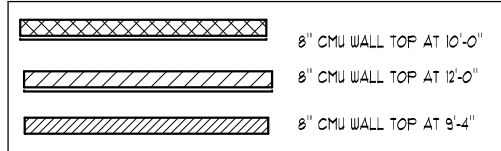
**INVENTORY**  
LOT 9 MAJESTIC OAKS  
PINELLAS COUNTY, FL.

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE CODES AND STANDARDS AND THAT I AM IN COMPLIANCE WITH THE PROFESSIONAL ENGINEERING BOARD OF FLORIDA. I HAVE SEALED THIS DRAWING IN ACCORDANCE WITH THE PROFESSIONAL ENGINEERING BOARD OF FLORIDA REQUIREMENTS.  
SIGNED: RICHARD E. ALLEN P.E. #66920  
richallenpc@gmail.com

**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. # 56920 C.A. # 9542  
P.O. BOX 351  
NEW PORT RICHEY, FL. 34656  
727-842-6100  
richallenpc@gmail.com

PLAN DATE	DATE
5-15-2015	7-13-2015
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6-3-2015	
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**WALL LEGEND**



**SQUARE FOOTAGES**

LIVING AREA	- 3168 S.F.
GARAGE	- 647 S.F.
LANAI	- 394 S.F.
ENTRY	- 146 S.F.
TOTAL	- 4355 S.F.

**FIRST FLOOR NOTES**

DEEB FAMILY HOMES, LTD.  
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**2**

PLAN DATE

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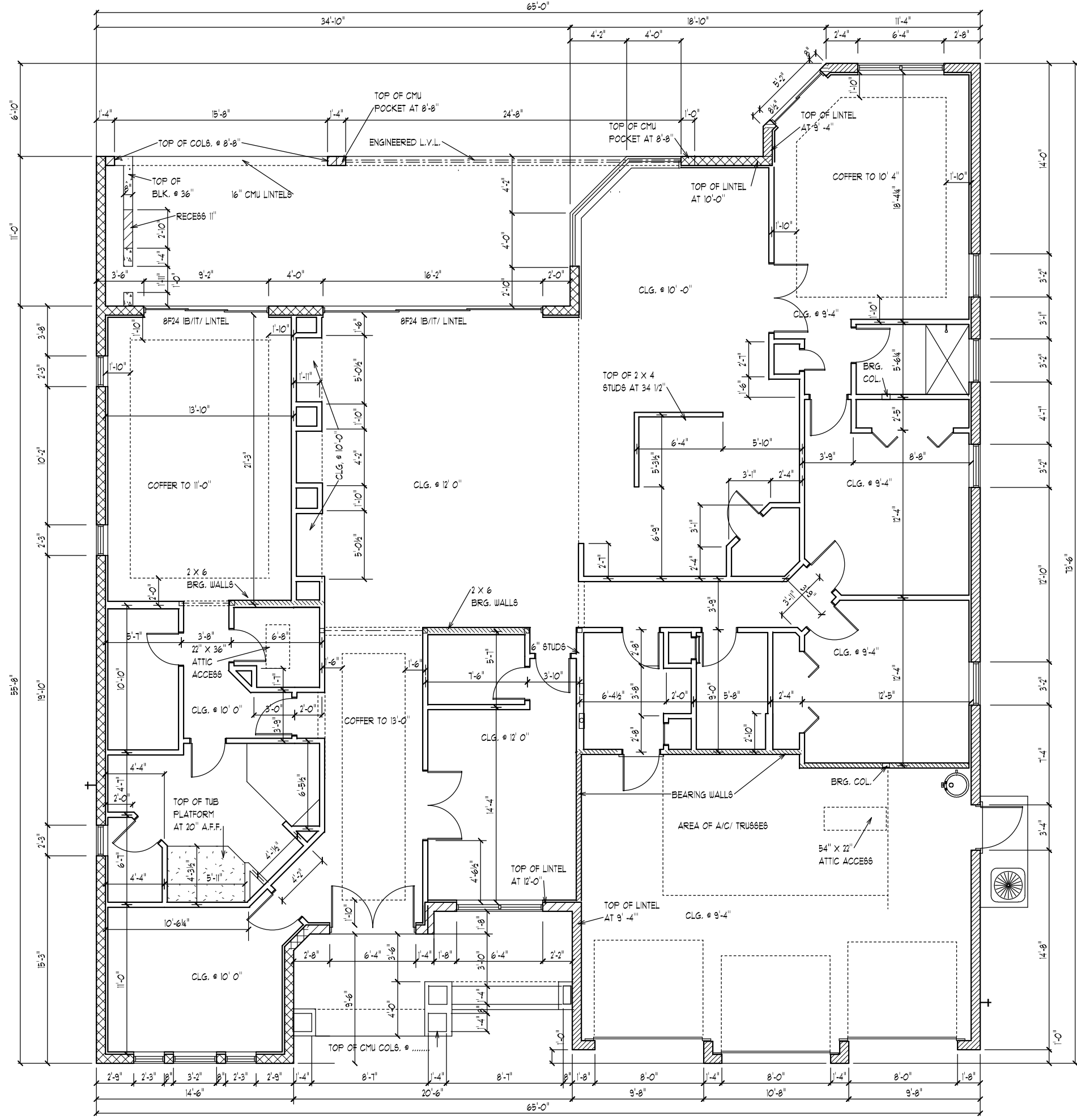
INVENTORY LOT 9 MAJESTIC OAKS PINELLAS COUNTY, FL.

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2010 FLORIDA RESIDENTIAL BUILDING CODE SEALED FOR STRUCTURE ONLY  
 SIGNED RICHARD E. ALLEN P.E. #6930

AECS 15054

WILLOW 3168

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**DIMENSION PLAN**

SCALE 1/8" = 1'-0"

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**WILLOW 3168**



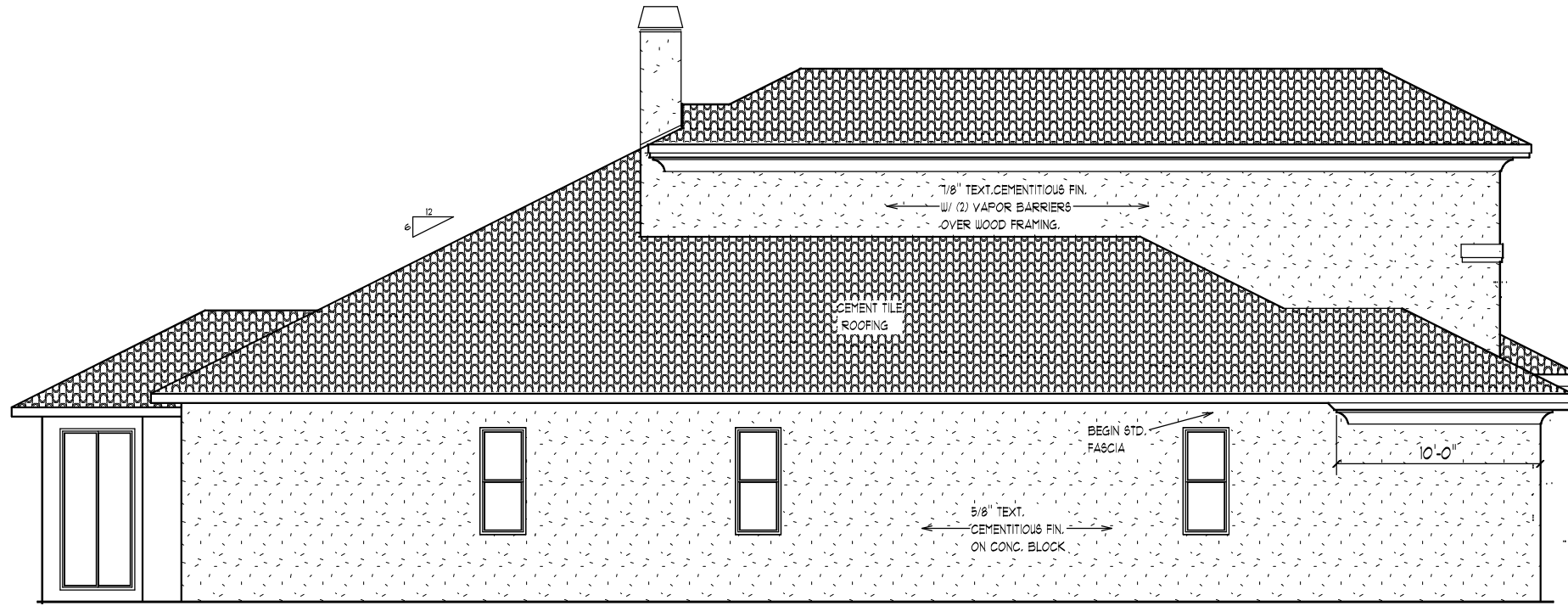
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**LEFT SIDE ELEVATION**



**FRONT ELEVATION**

**EXTERIOR ELEV. - E**

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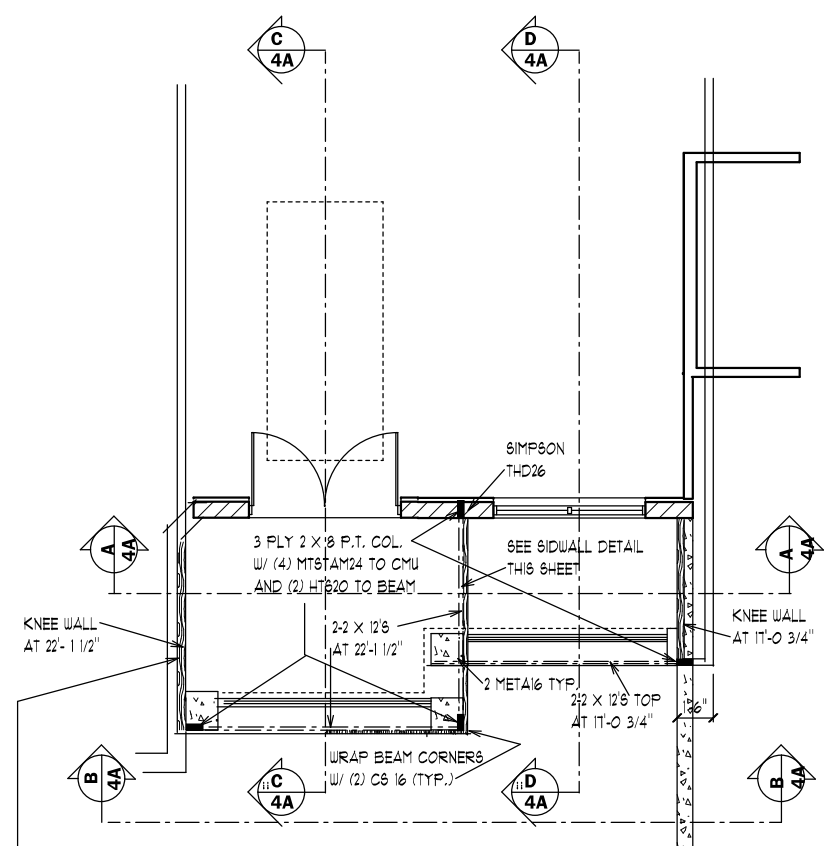
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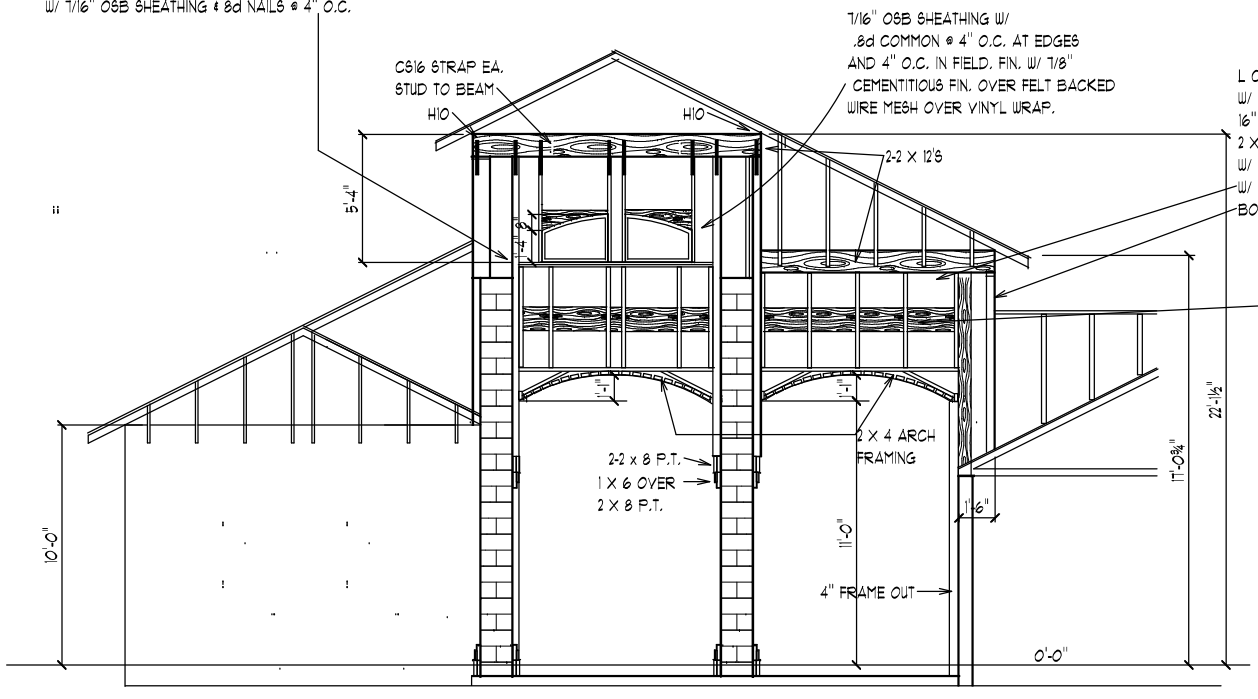
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**PLAN VIEW**

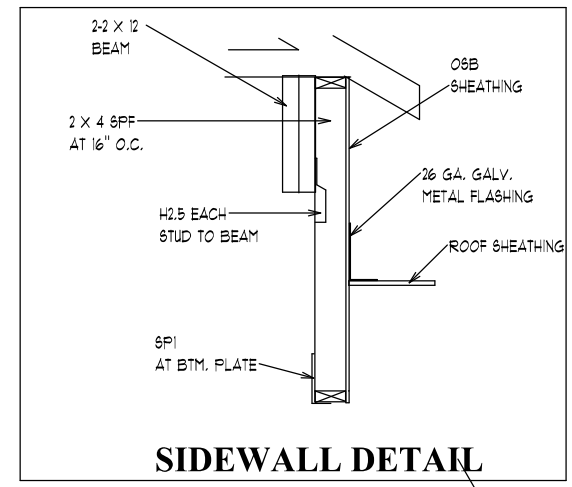
2 X 4 KNEEWALL W/ 8P1 @ 16" O.C.  
 W/ H10 TO TRUSSES W/ 8P2 TO TOP PLATES  
 W/ 8P1 TO BOTTOM PLATE. W/ 2 X 4 BLOCKING  
 BETWEEN TRUSS BAYS AT 16" O.C. W/ 3/8" X 4"  
 LAG SCREW EACH BLOCK TO BOTTOM PLATE  
 W/ 1/16" OSB SHEATHING @ 8d NAILS @ 4" O.C.



**SECTION B - B**

L CURTAIN WALL  
 W/ 1/16" OSB OVER 2 X 4'S AT  
 16" O.C. W/ 8d NAILS AT 4" O.C.  
 2 X 4 BLOCKING BETWEEN TRUSS BAYS  
 W/ SINGLE TOP PLATE AND H3 TO EACH TRUSS  
 W/ 3/8" X 4" LAG SCREW EA. BLK. TO  
 BOTTOM PLATE.

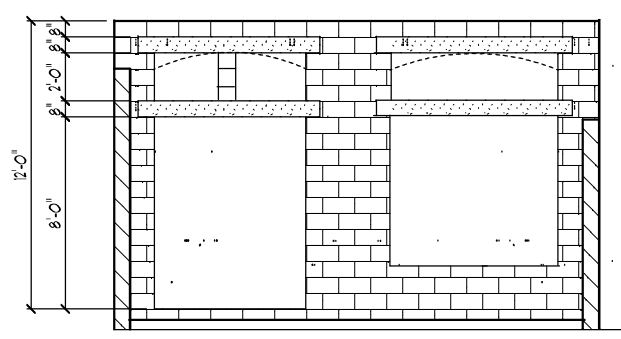
3- 2 X 12'S BETWEEN COLUMNS  
 FOR CEILING RAFTERS W/  
 LGUM28-38D6 TO CMU COLS.



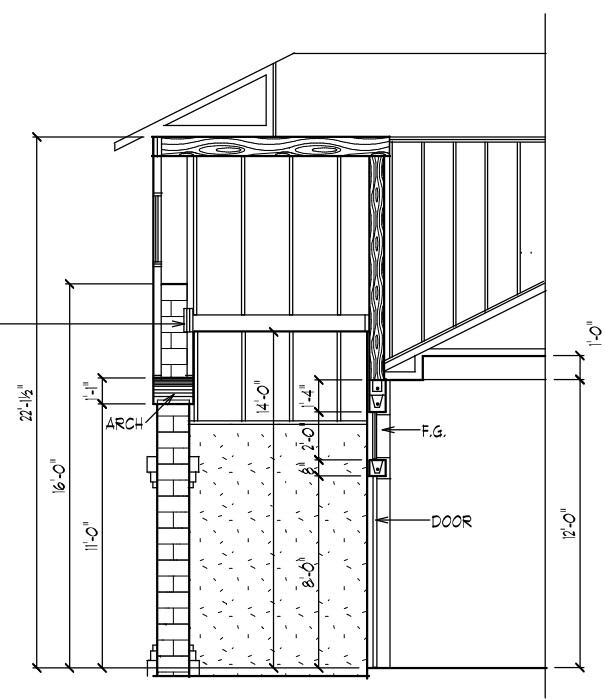
**SIDEWALL DETAIL**

**NAILING SCHEDULE :**  
 8P1 - 4 -10d TO PLATE  
 6- 10 TO STUD  
 H10 - 8-8d X 1 1/2" TO TRUSS & TOP PLATE  
 H2 - 5-8d  
 METAL6 - 6-16d  
 C616 - 20-10d  
 HT620 - 20 -10d  
 M8TAM36 -4- 1/4" X 1 3/4" TAPCONS

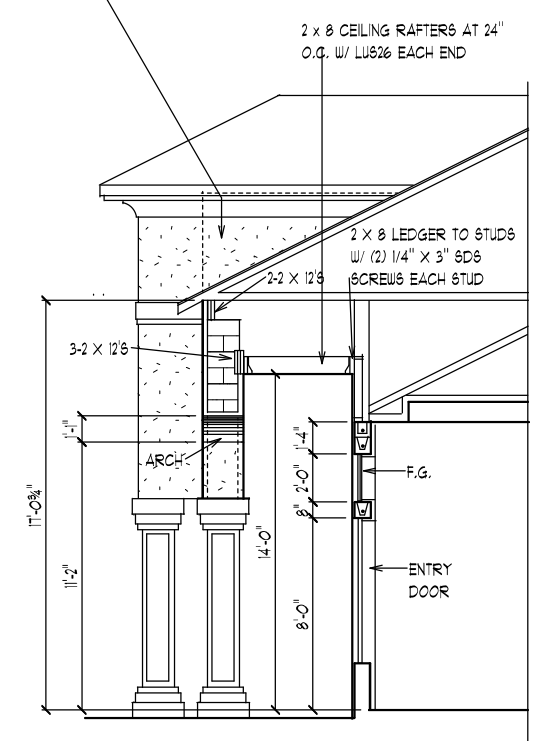
**NOTE: ALL NON STRUCTURAL LUMBER  
 IS TO BE SOUTHERN PINE FIR U.N.O.**



**SECTION A - A**



**SECTION C - C**



**SECTION D - D**

**WILLOW 3168**

**AECS 15054**

**SCALE 3/8" = 1'-0"**

**ENTY DETAILS**

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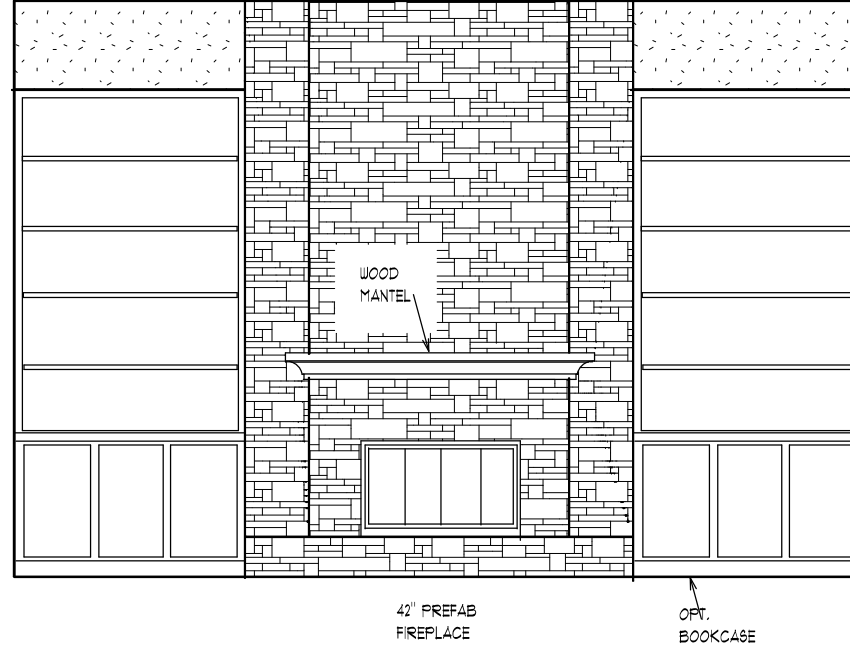
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 RESIDENTIAL BUILDING CODE  
 SEALED FOR STRUCTURE ONLY  
 SIGNED  
 RICHARD E. ALLEN P.E. #6830

**INVENTORY  
 LOT 9 MAJESTIC OAKS  
 PINELLAS COUNTY, FL.**

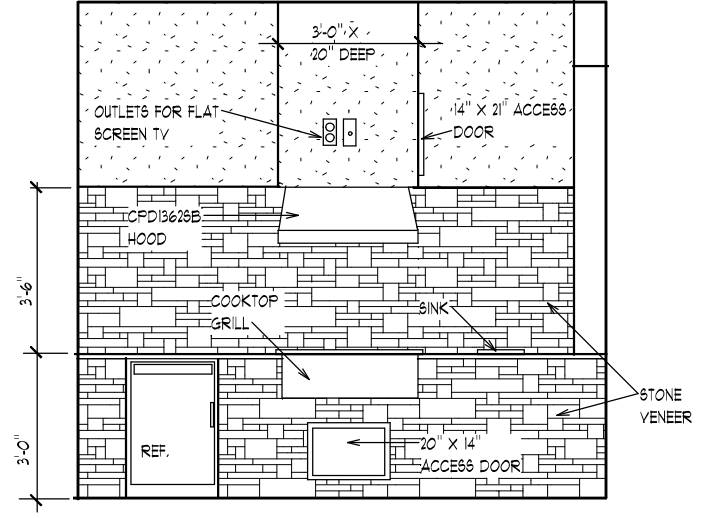
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**GREATROOM FIREPLACE**



**OUTDOOR KITCHEN**

**INTERIOR DETAILS**



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**PINELLAS COUNTY, FL.**

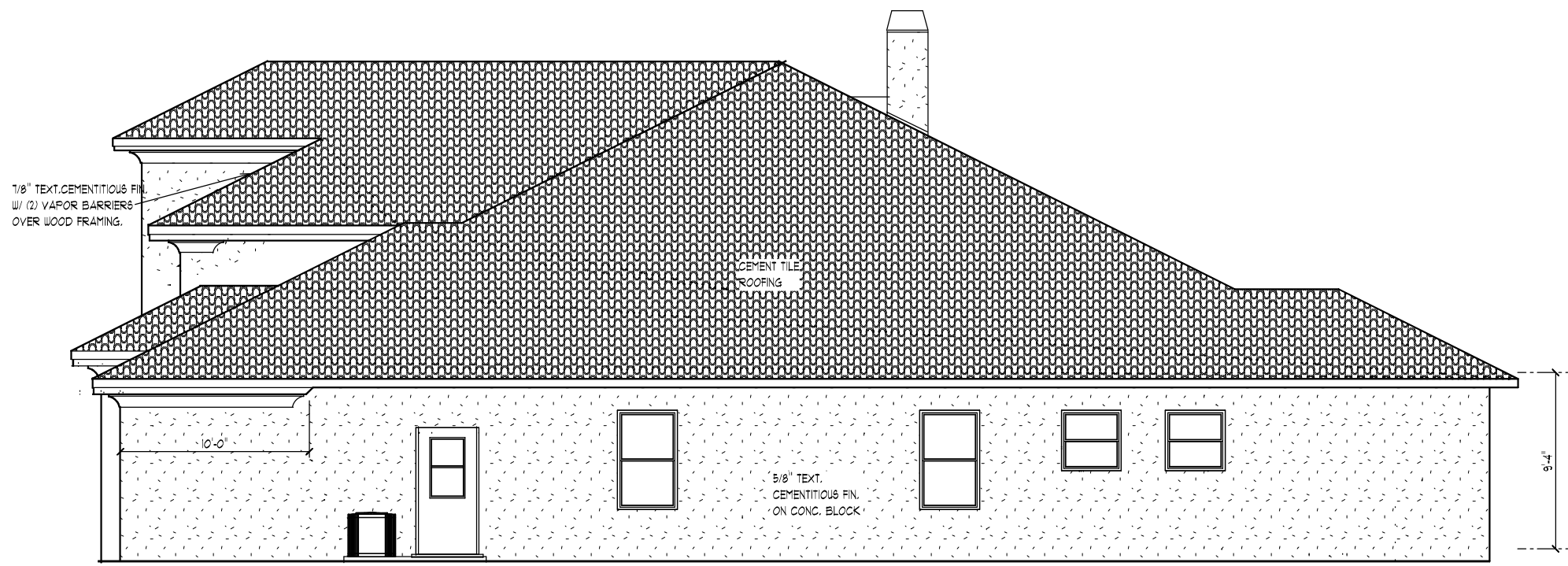
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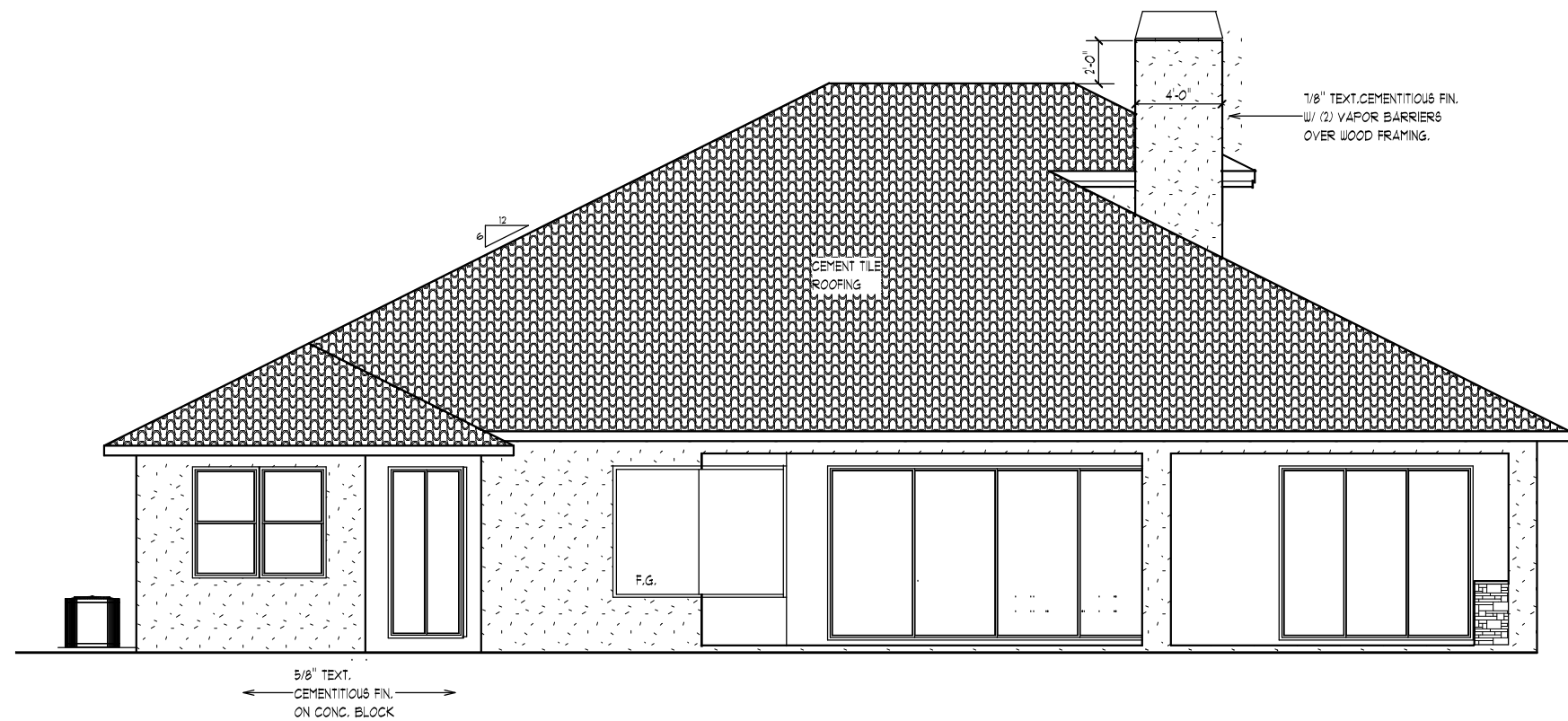
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**RIGHT SIDE ELEVATION**



**REAR ELEVATION**

**EXTERIOR ELEVATIONS -E**

AECS 15054

WILLOW 3168

1/8" = 1' 0"

**5**

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**INVENTORY LOT 9 MAJESTIC OAKS PINELLAS COUNTY, FL.**

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE WIND LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 200 FLORIDA RESIDENTIAL BUILDING CODE SEALED FOR STRUCTURE ONLY.  
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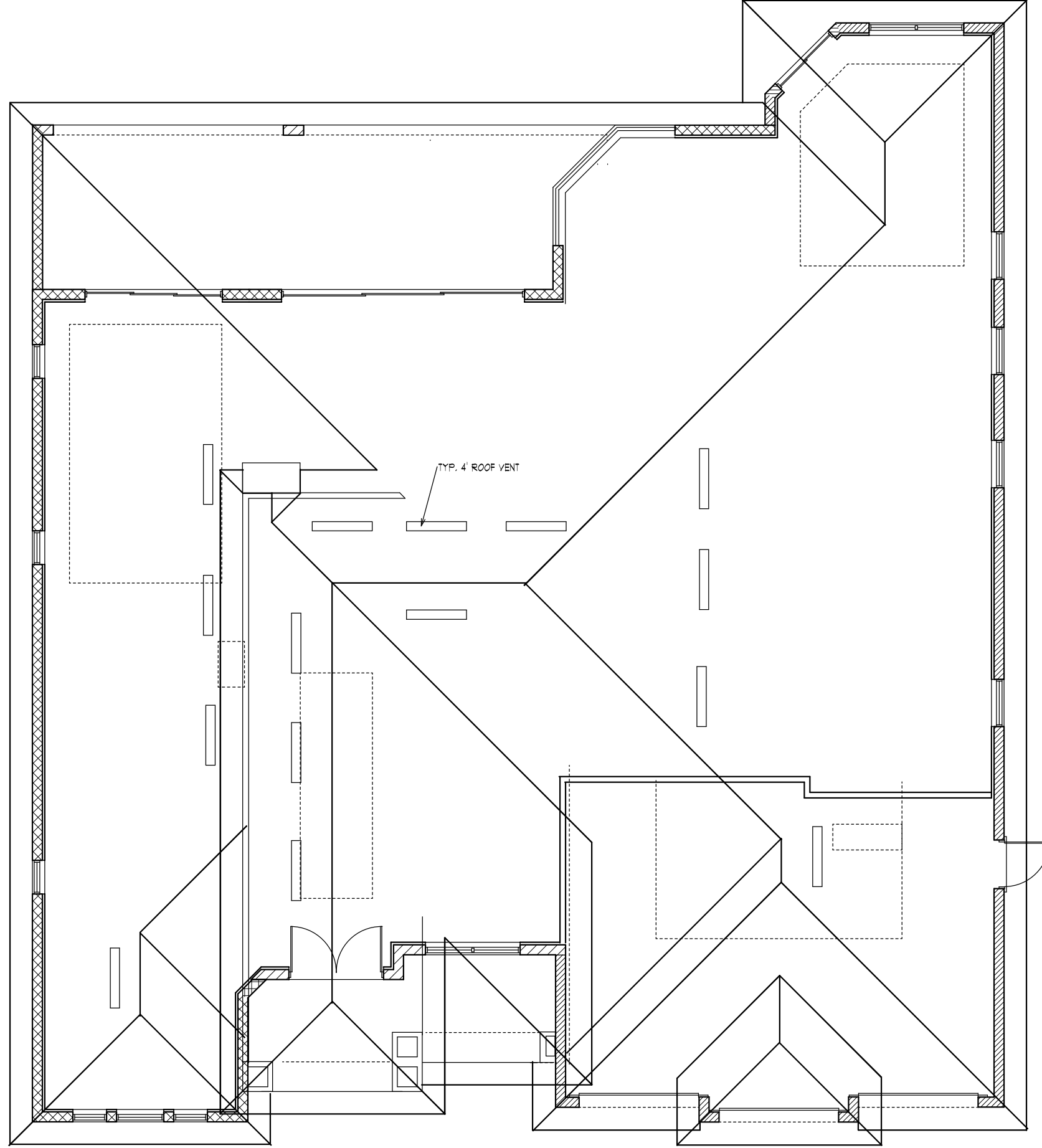
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TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50 % AND NOT MORE THAN 80 % IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

TOTAL AREA TO BE VENTILATED = 4355 S.F.  
 $4355/300 = 14.52$  S.F. OR 209' SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 $209' \times 36 \text{ S.I.} = 58$  LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 60 LINEAL FEET OF ROOF VENTS (15- 4'-0" VENTS)



**ROOF PLAN E**

SCALE 1/8" = 1'-0"

AECS 15054

**WILLOW 3168**

**6**

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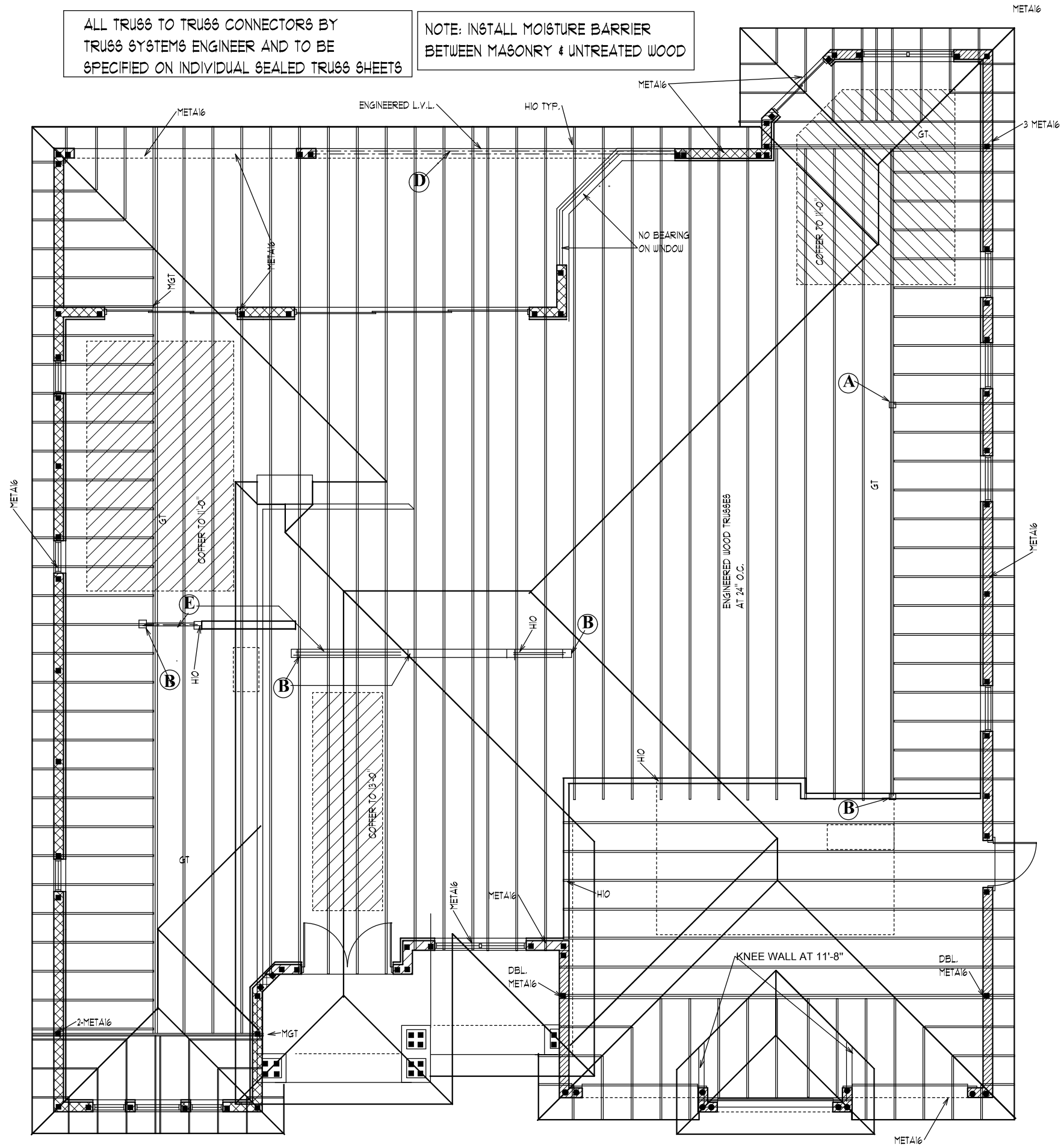
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- Ⓐ 4 STUD 2 X 6 COLUMN  
W/ (2) LGT2 TO GIRDER TRUSS  
W/ HTT4 TO FOUNDATION-5/8"  
A.T.R. , 6" EMBED , EPOXY
- Ⓑ 3 STUD 2 X 4 COLUMN  
W/ (2) LGT2 TO GIRDER TRUSS  
W/ HTT4 TO FOUNDATION
- Ⓒ (2) LGT2 TO LVL
- Ⓓ 4 PLY 16" L.V.L.  
W/ 1/4" X 5 SD6 SCREWS  
3 ROWS @ 12" O.C. EA. FACE  
  
W/ (2) M6TCM40 AT EACH END  
1 PER FACE -HORIZ. TO CMU.
- Ⓔ (2) M6TAM24 EACH FACE ,  
EACH END, VERTICAL TO CMU
- Ⓕ 2 PLY 12" LVL W/  
(3) JACKS & 1 KING STUD EA. END  
W/ HTT4 TO FOUNDATION W/  
(2) C916 TO LVL

ALL TRUSS TO TRUSS CONNECTORS BY TRUSS SYSTEMS ENGINEER AND TO BE SPECIFIED ON INDIVIDUAL SEALED TRUSS SHEETS

NOTE: INSTALL MOISTURE BARRIER BETWEEN MASONRY & UNTREATED WOOD



TRUSS PLAN E

SCALE 1/8" = 1'-0"

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WILLOW 3168



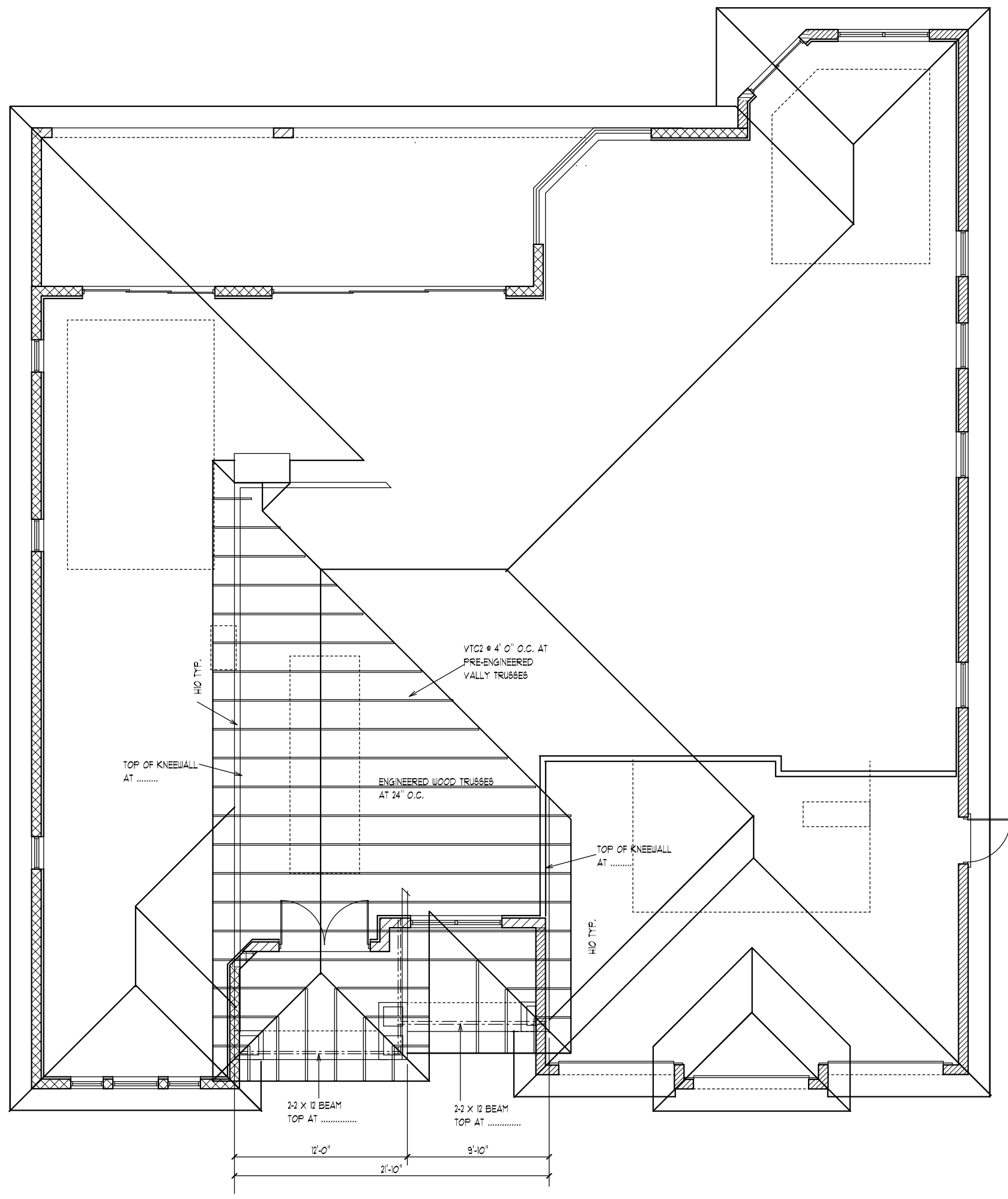
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**ENTRY TRUSS PLAN**

SCALE 1/8" = 1' 0"

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**WILLOW 3168**

**6B**

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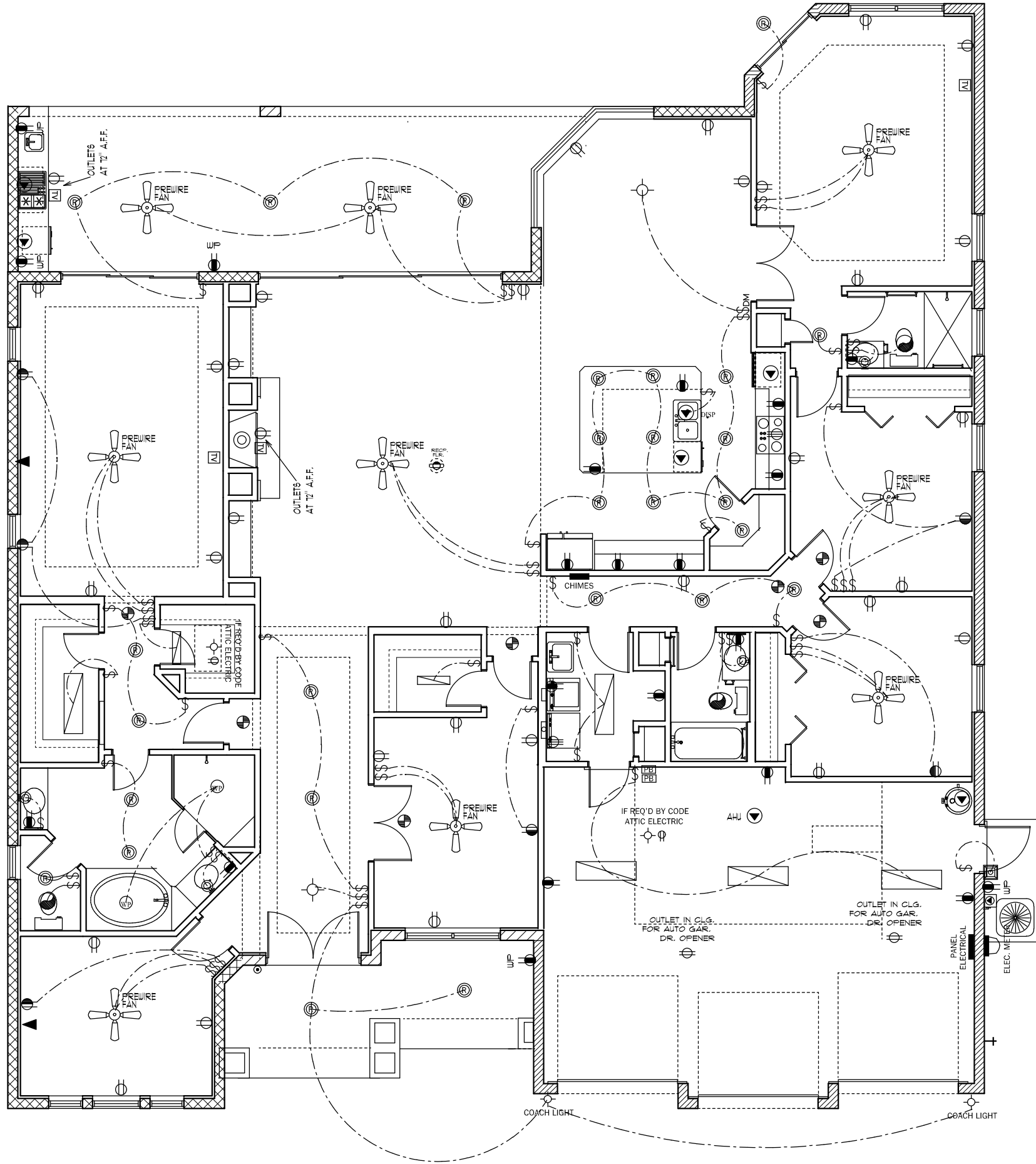
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ELECTRICAL LEGEND			
\$	SINGLE POLE SWITCH		SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
\$2	DOUBLE POLE SWITCH		FLOOD LIGHT
\$3	THREE-WAY SWITCH		FLUORESCENT LIGHTING
\$4	FOUR-WAY SWITCH		TRACK LIGHTING
\$DM	DIMMER SWITCH		CEILING FAN
	CEILING FIXTURE		DOOR BELL CHIMES
	SCOUNCE ( WALL MOUNTED ) FIXTURE		DOOR BELL
	110 VOLT DUPLEX OUTLET		DISPOSAL
	110 VOLT SPLIT SWITCHED OUTLET		DISCONNECT SWITCH
	GROUND FAULT INTERRUPT		PREWIRE SPEAKER
	WATER PROOF W/ GROUND FAULT		JUNCTION BOX
	220 VOLT OUTLET		THERMOSTAT
	SPECIAL SERVICES OUTLET		LOW VOLTAGE LIGHTING
	T.V. CABLE OUTLET		INTERCOM SYSTEM
	TELEPHONE CABLE OUTLET		GARAGE DOOR PUSH BUTTON
	RECESSED LIGHTING		
	WATER PROOF RECESSED LIGHTING		
	BATH FAN		
	BATH FAN W/ LIGHT		

- UNLESS OTHERWISE NOTED
- ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. ( GENERAL )
- |          |   |
|----------|---|
| KITCHEN  | 42"                                     |
| BATHROOM | 42"                                     |
| LAUNDRY  | 36" WASHER/ 24" DRYER/ WALL OUTLETS 45" |
| EXTERIOR | WATERPROOF @ 12"                        |
| GARAGE   | GFI @ 45"                               |
| RANGE    | 220V @ 4"                               |
- ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE
  - ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
  - ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.
  - SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION 901.2
  - PROVIDE AFCI ( ARC FAULT INTERRUPTERS ) IN ALL BEDROOMS PER NEC, SECTION 210-12
  - ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11



**ELECTRICAL PLAN**

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**7**

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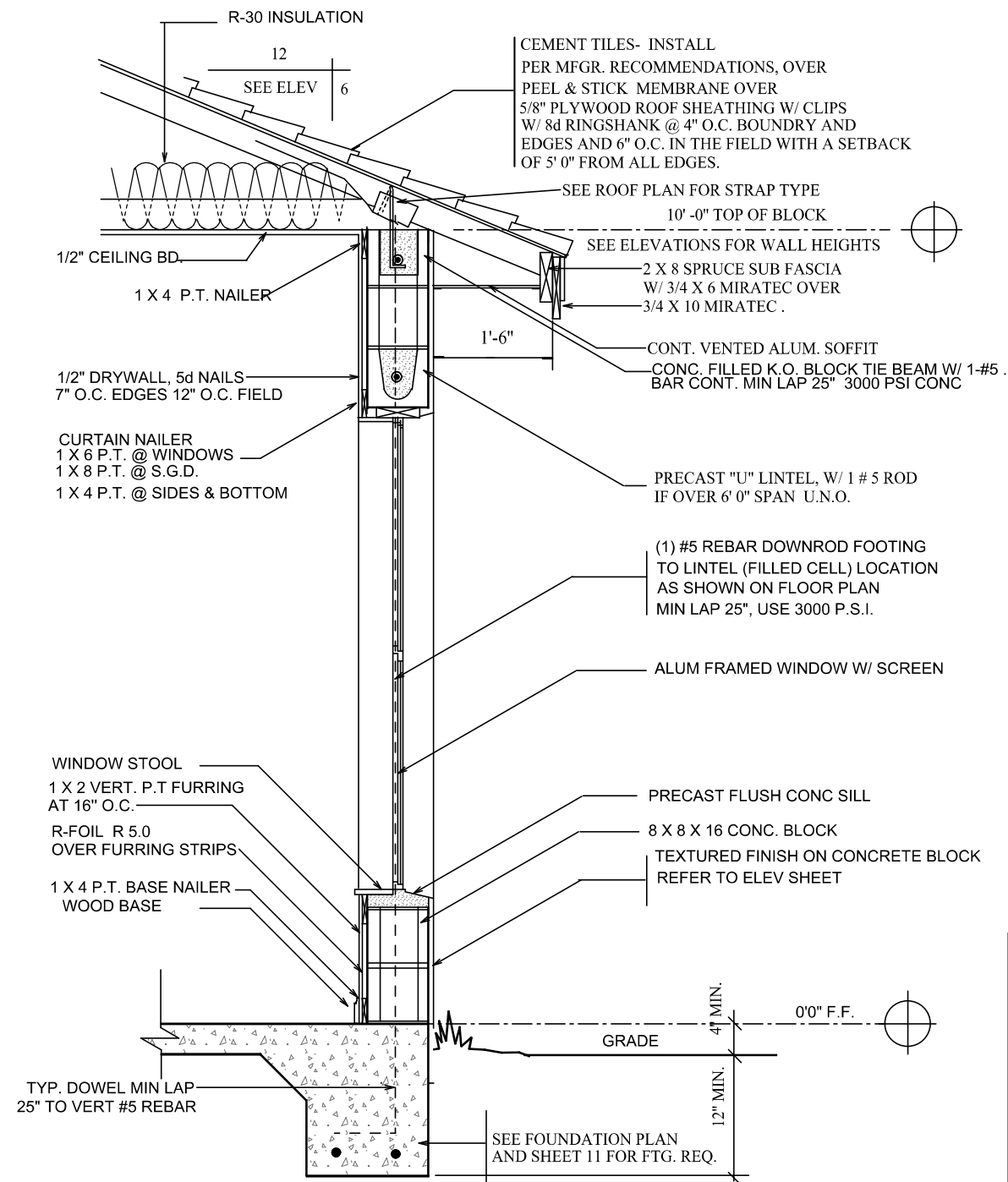
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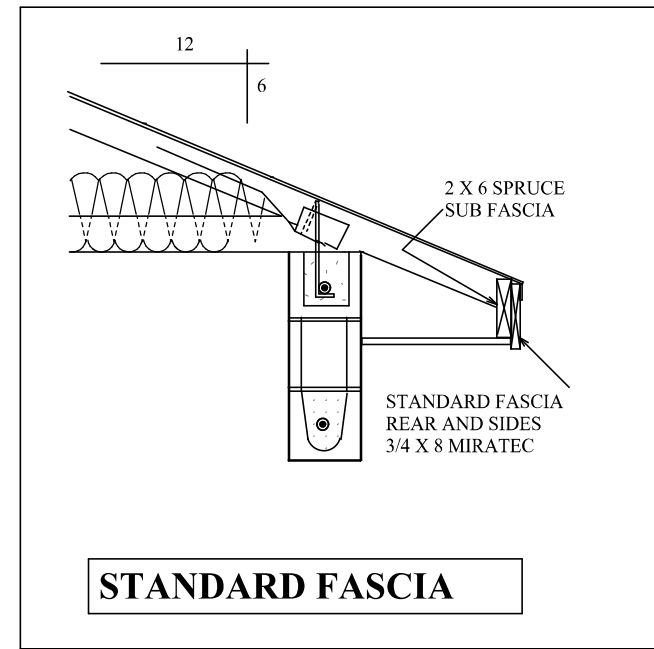
**ALLEN ENGINEERING & CONSTRUCTION SERVICES**  
 RICH ALLEN PROFESSIONAL ENGINEER  
 P.E. # 56920 C.A. # 9542  
 P.O. BOX 351  
 NEW PORT RICHEY, FL. 34656  
 727-842-6100  
 richallenpe@gmail.com



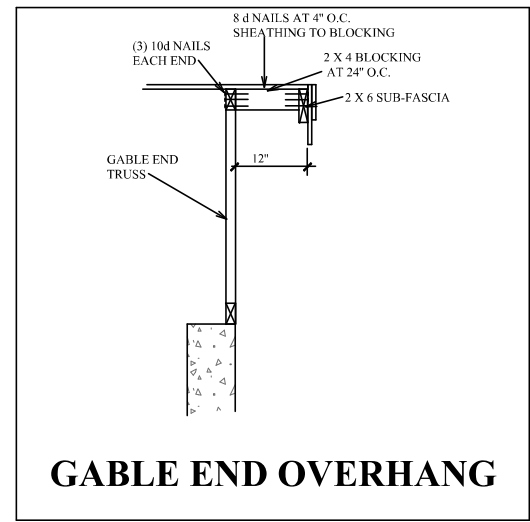
**TYPICAL WALL SECTION**

**TERMITE SPECIFICATIONS:**

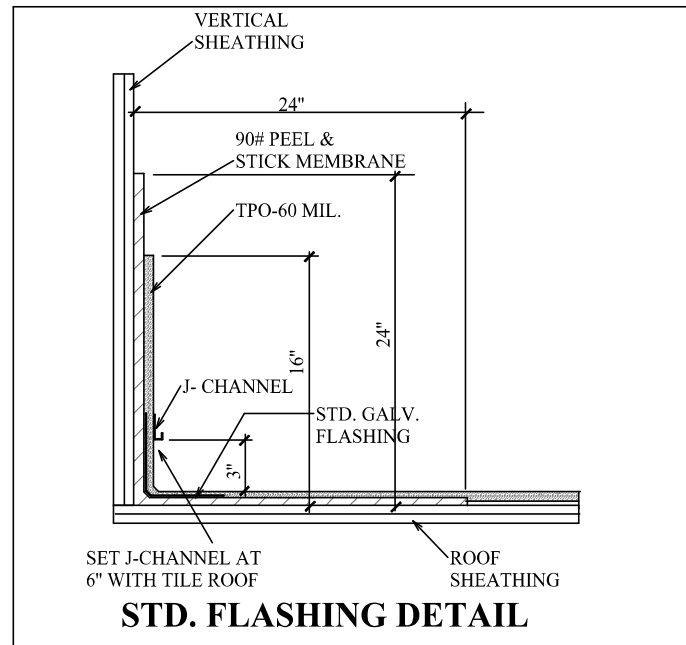
INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS



**STANDARD FASCIA**



**GABLE END OVERHANG**



**STD. FLASHING DETAIL**

**WILLOW 3168**

**AECS 15054**

**CONST. DETAILS**

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I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 200 FLORIDA RESIDENTIAL BUILDING CODE SEALED FOR STRUCTURE ONLY  
 SIGNED RICHARD E. ALLEN P.E. #6690

**INVENTORY**  
**LOT 9 MAJESTIC OAKS**  
**PINELLAS COUNTY, FL.**

PLAN DATE	DATE
5-15-2015	7-13-2015
5-21-2015	
6-3-2015	
6-15-2015	
6-30-2015	

**DEEB FAMILY HOMES, LTD.**  
 9400 RIVER CROSSING BLD.  
 NEW PORT RICHEY, FL. 34655  
 727-376-6831

**10**