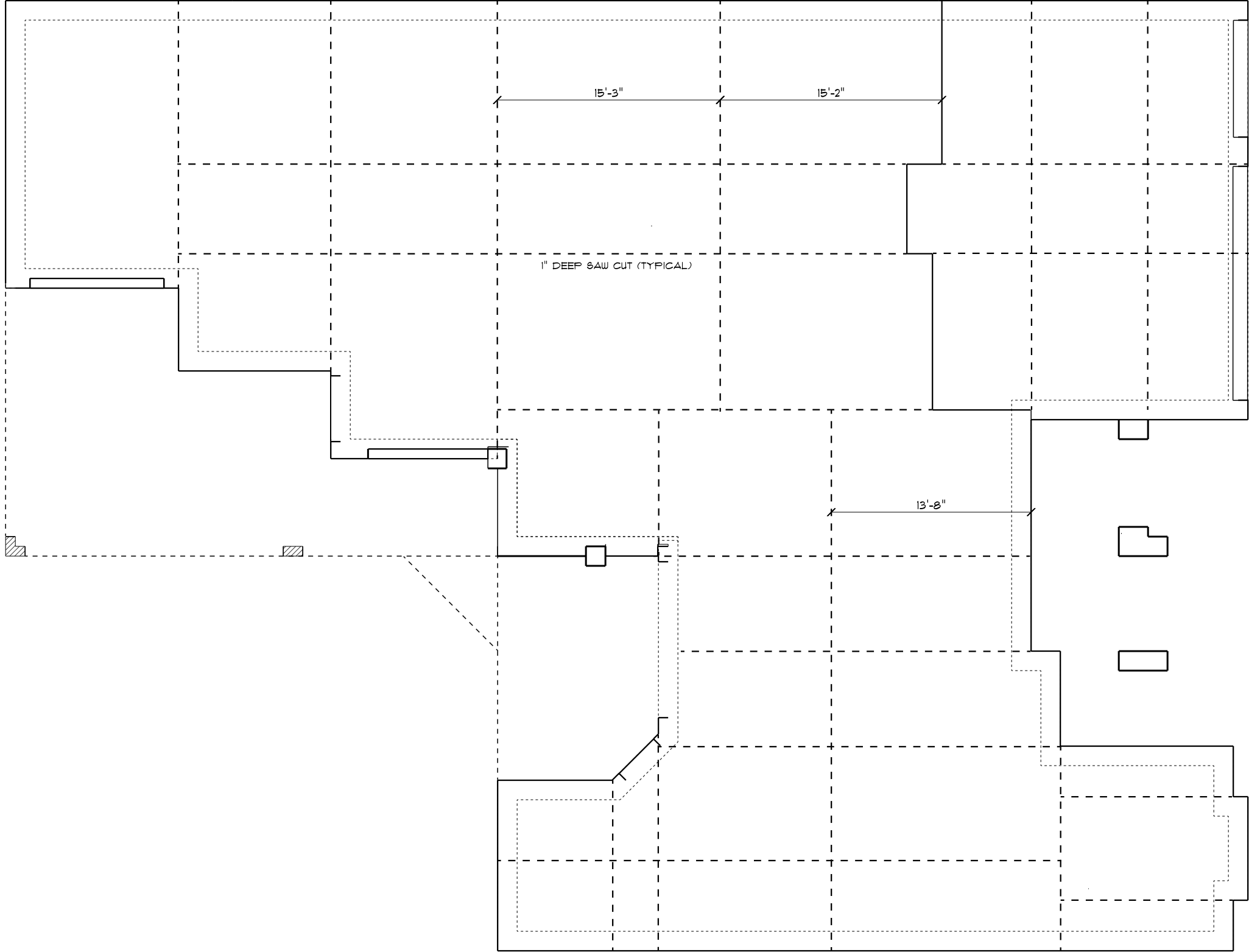




FOUNDATION EXPANSION

1/8" = 1'-0"

ASPEN 3084

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

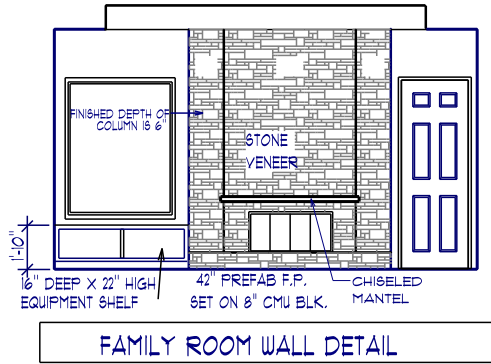
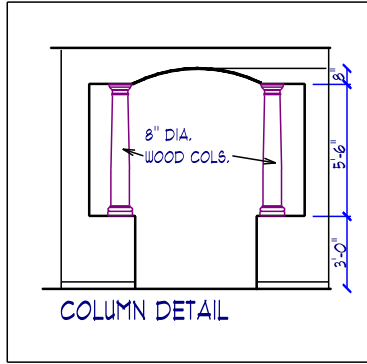
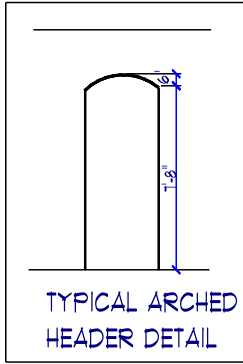
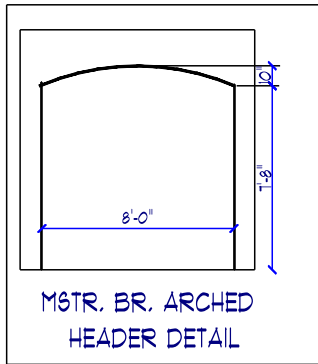
LOT 16
MAJESTIC OAKS

PLAN DATE

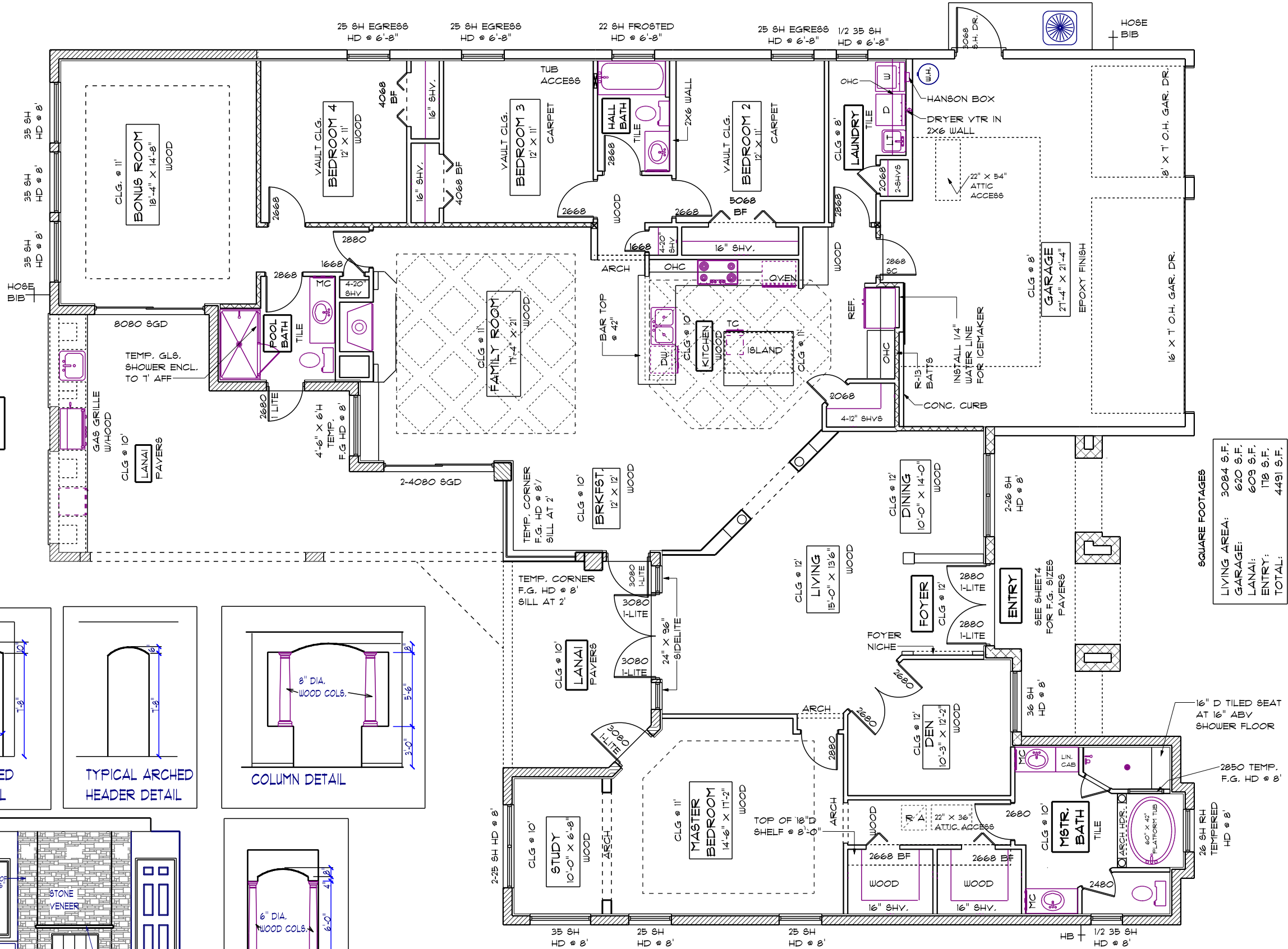
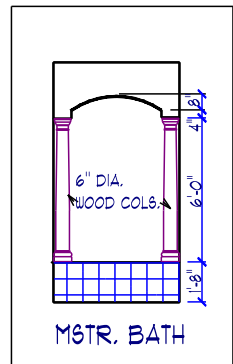
1. 09-18-2015
2. 09-21-2015
3. 09-24-2015
4. 09-25-2015
5. 09-28-2015

1A

NOTE: SEE SHEET 2A
FOR OUTDOOR GRILLE
DETAILS



FIREPLACE DESIGN TBA



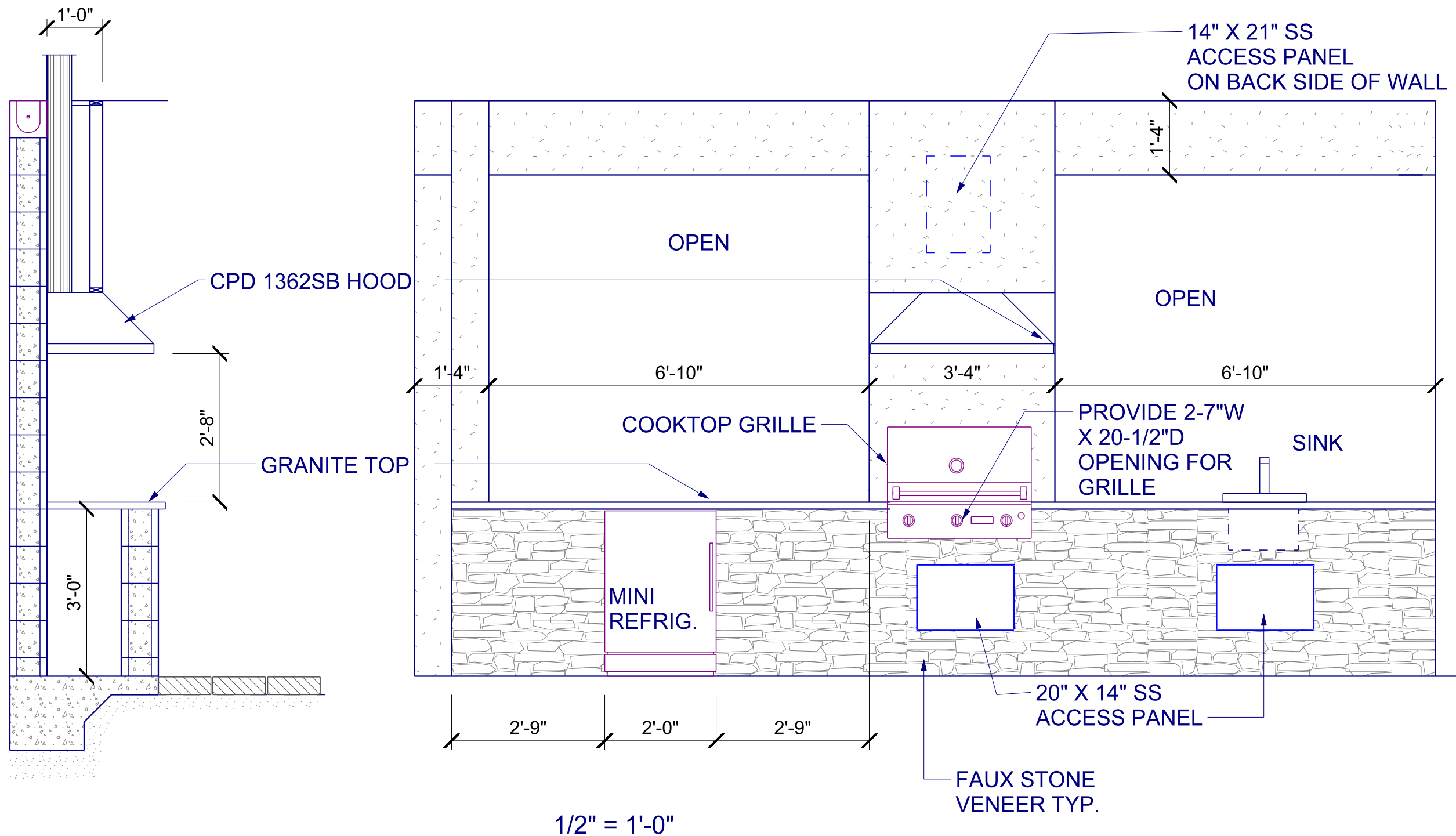
SQUARE FOOTAGES	
LIVING AREA:	3084 S.F.
GARAGE:	620 S.F.
LANAI:	609 S.F.
ENTRY:	178 S.F.
TOTAL:	4491 S.F.

FLOOR PLAN NOTES

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

LOT 16
MAJESTIC OAKS

PLAN DATE	
1. 09-18-2015	
2. 09-21-2015	
3. 09-24-2015	
4. 09-25-2015	
5. 09-28-2015	



OUTDOOR KITCHEN OPTION

A.E.C.S # 15017 ASPEN 3084

2A

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

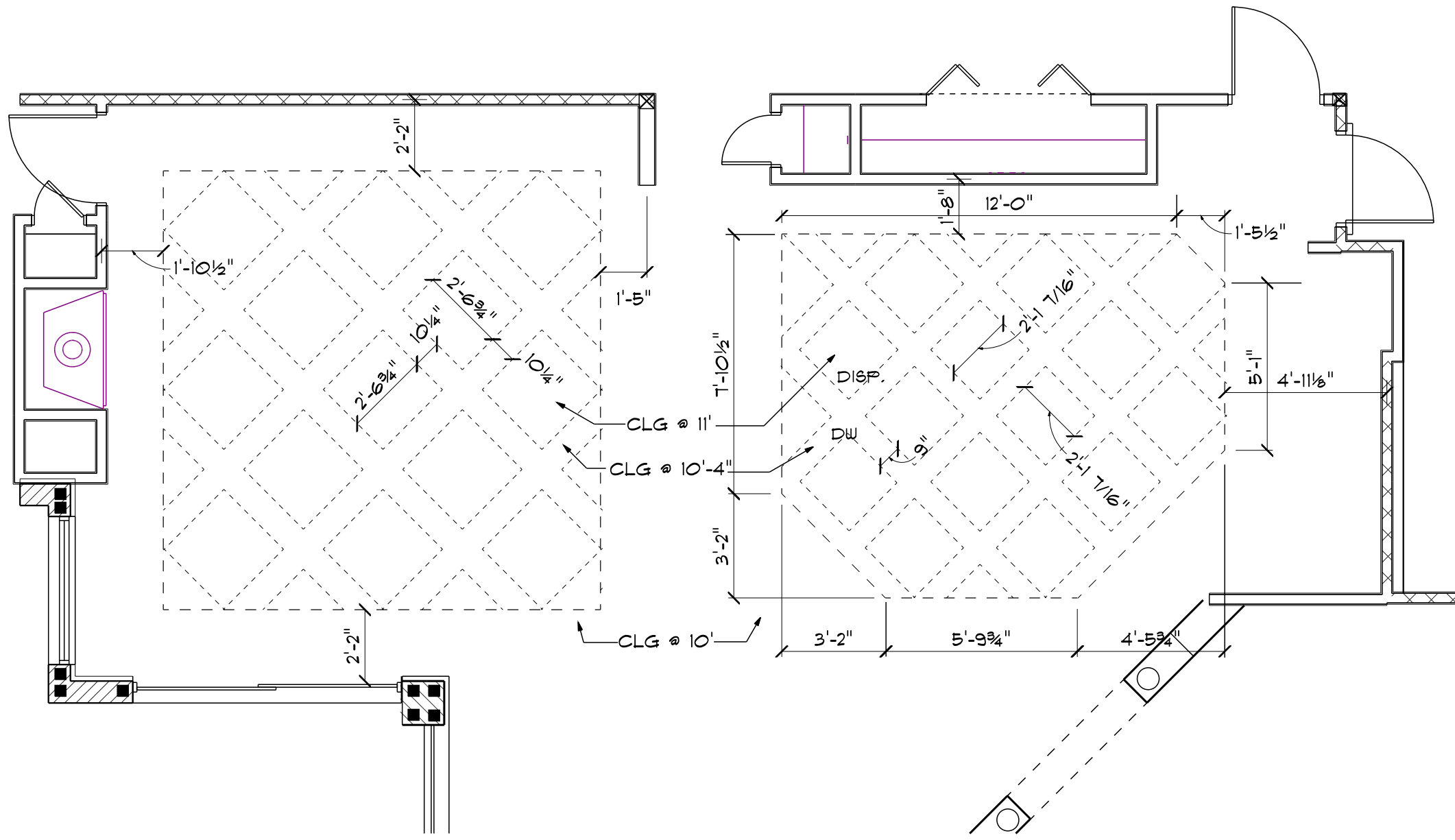
PLAN DATE	
1. 09-18-2015	
2. 09-28-2015	

LOT 16
MAJESTIC OAKS

I HEREBY CERTIFY THAT I HAVE
PERFORMED THE ATTACHED DESIGN
TO COMPLY WITH 145 MPH ULTIMATE
WIND LOADS, EXPOSURE B AND IT IS
IN COMPLIANCE WITH CHAPTER 16 OF
THE 2014 FLORIDA BUILDING CODE.
SEALED FOR THE STRUCTURE ONLY.

SIGNED
RICHARD E. ALLEN P.E. #56920

ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
P.O. BOX 351
NEW PORT RICHEY, FL. 34656
727-842-6100
richallenpe@gmail.com



BEAM CEILING DETAILS

BEAM CEILING LAYOUTS

ASPEN 3084

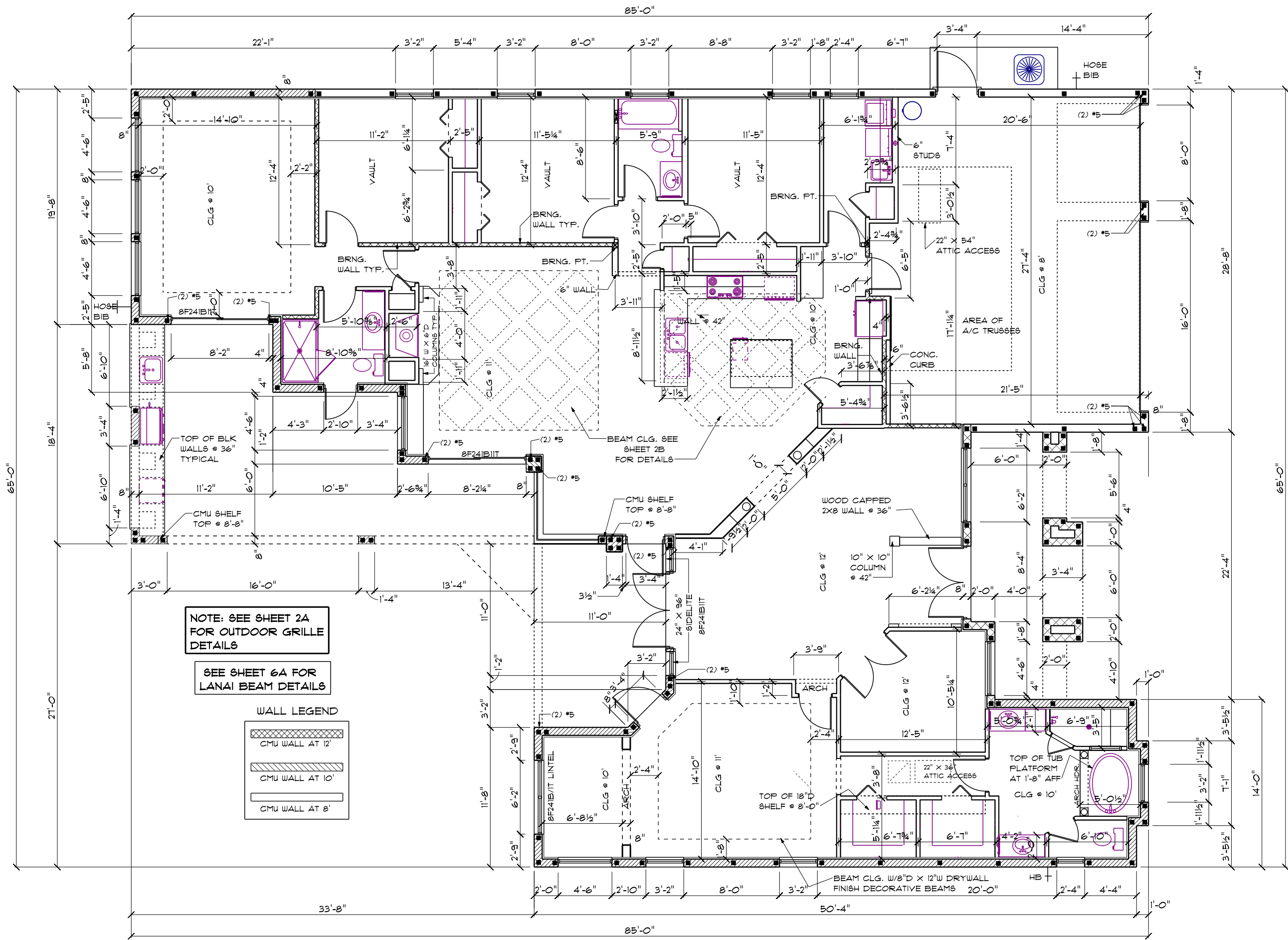
1/4" = 1'-0"

2B

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE
1. 09-18-2015
2. 09-21-2015
3. 09-24-2015
4. 09-25-2015
5. 09-28-2015

LOT 16
MAJESTIC OAKS



DIMENSION PLAN

1/8" = 1'-0"

A.E.C.S # 15017 ASPEN 3084

DEEB FAMILY
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9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

3

PLAN DATE

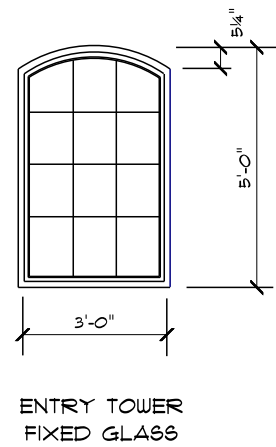
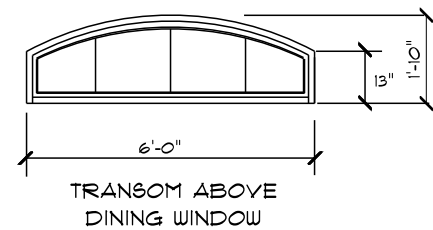
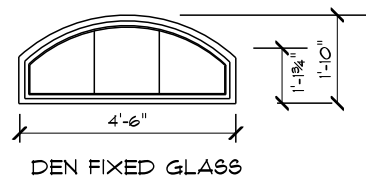
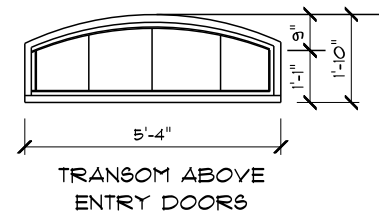
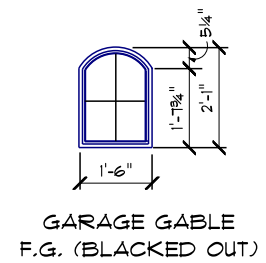
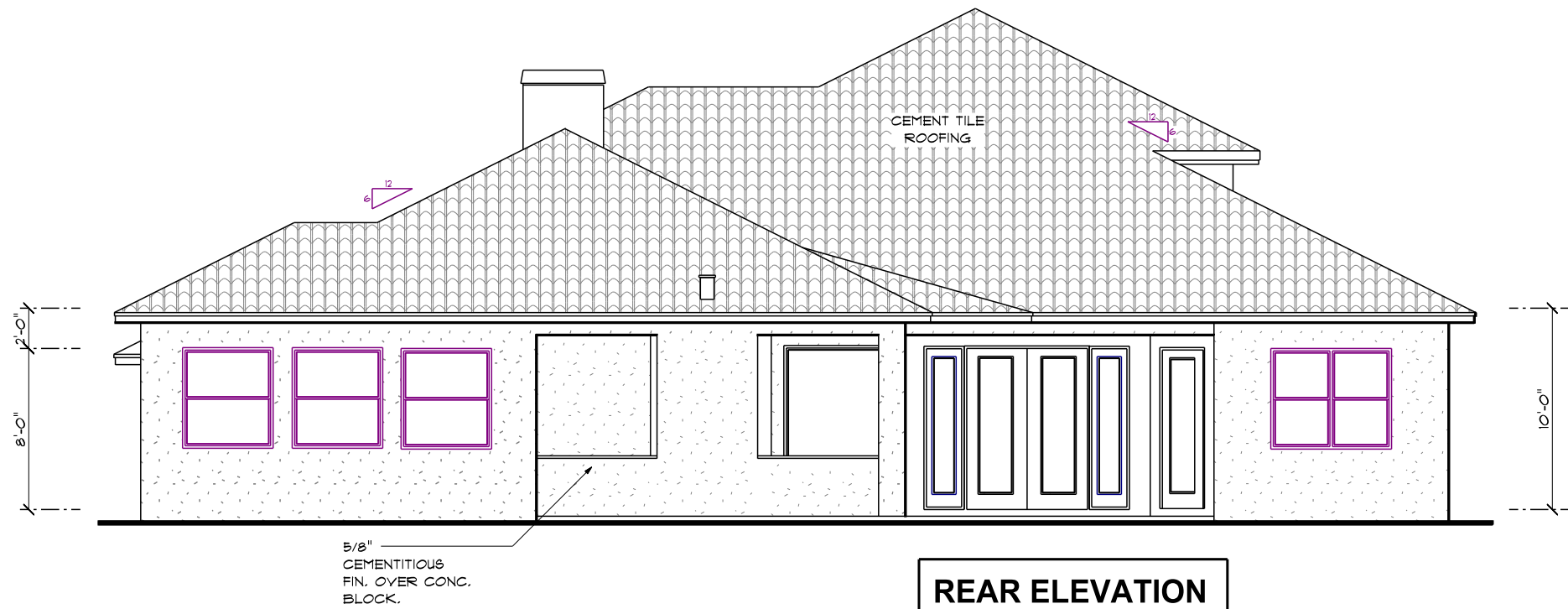
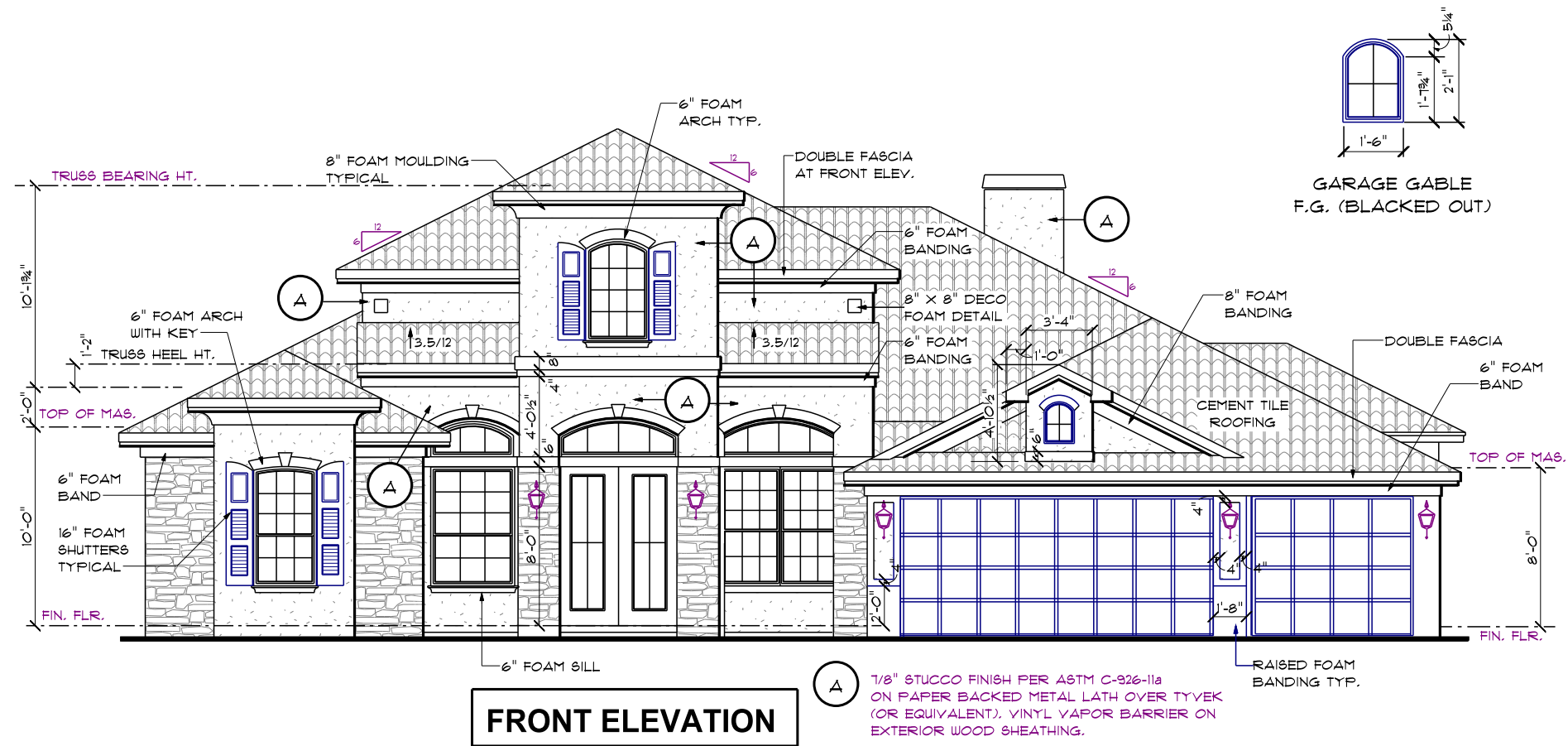
1. 09-18-2015
2. 09-28-2015

LOT 16
MAJESTIC OAKS

1. REVIEW SET
2. BUYER REVS

ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
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NEW PORT RICHEY, FL. 34656
727-842-6100
richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE
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WIND LOADS, EXPOSURE B AND IT IS
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SIGNED
RICHARD E. ALLEN P.E. #56920



EXTERIOR ELEVATIONS

ASPEN 3084

1/8" = 1'-0"

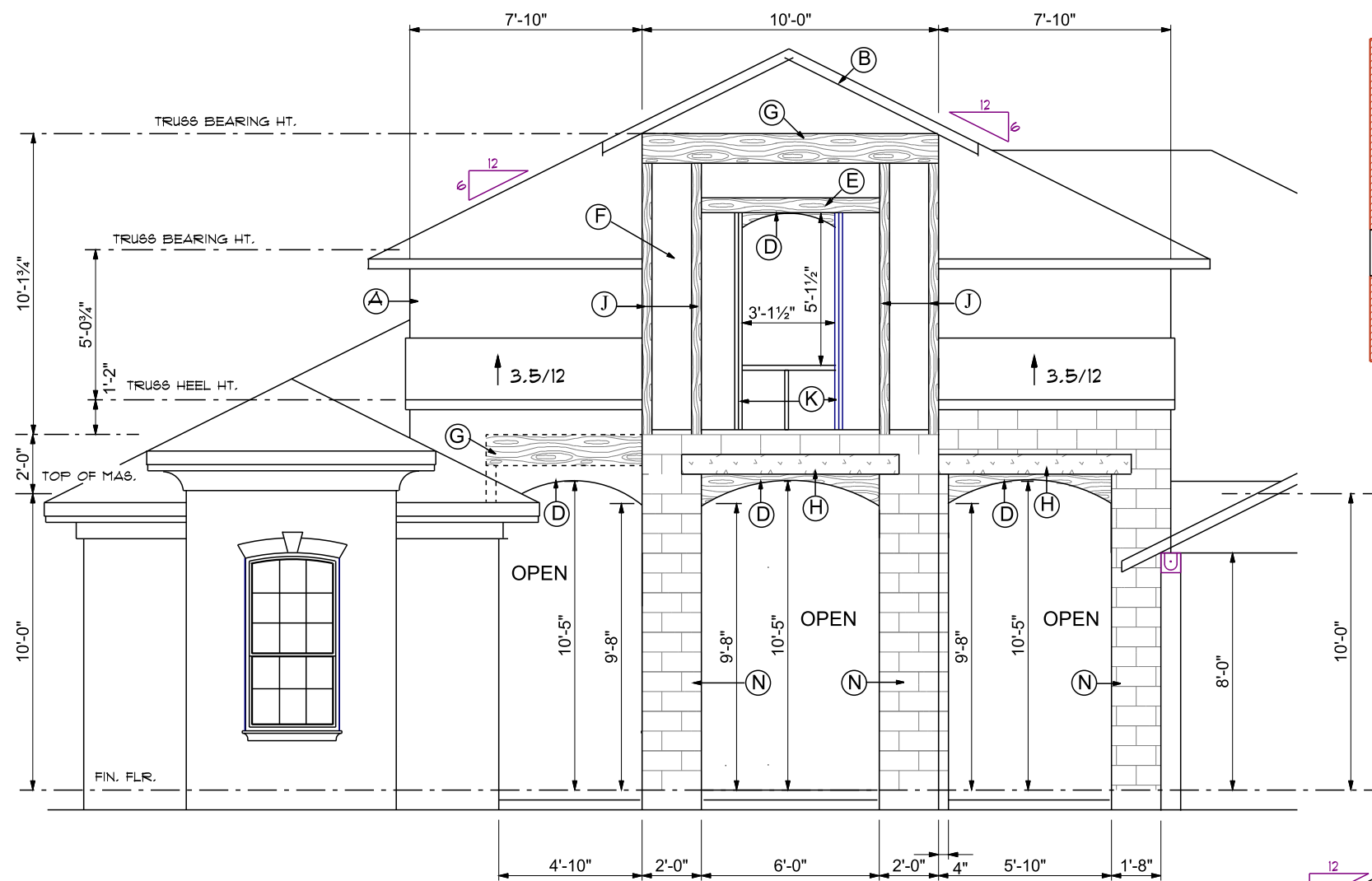
LOT 16
MAJESTIC OAKS

PLAN DATE

1. 09-18-2015
2. 09-21-2015
3. 09-24-2015
4. 09-25-2015
5. 09-28-2015

DEEB FAMILY
HOMES, LTD.
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NEW PORT RICHEY, FL. 34655

4

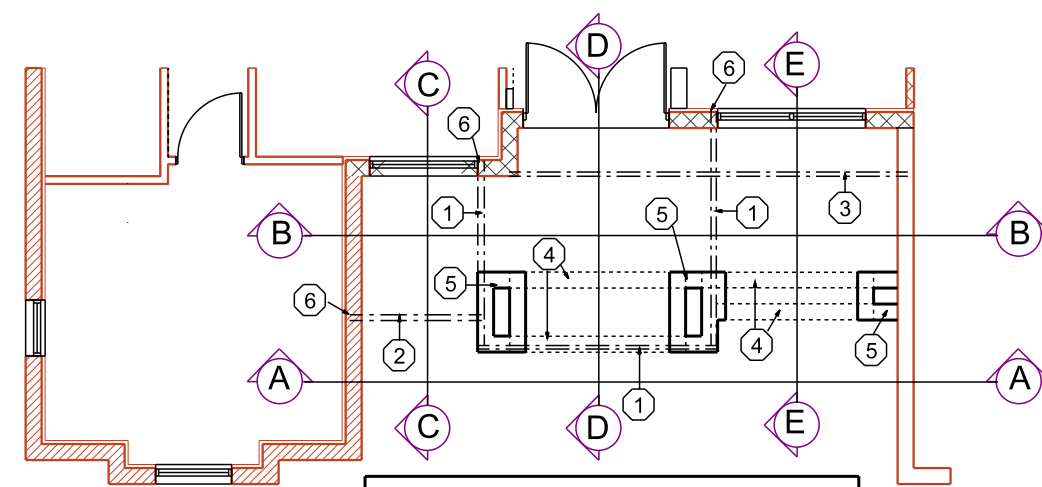


ENTRY ELEVATION 'A'

NOTES:

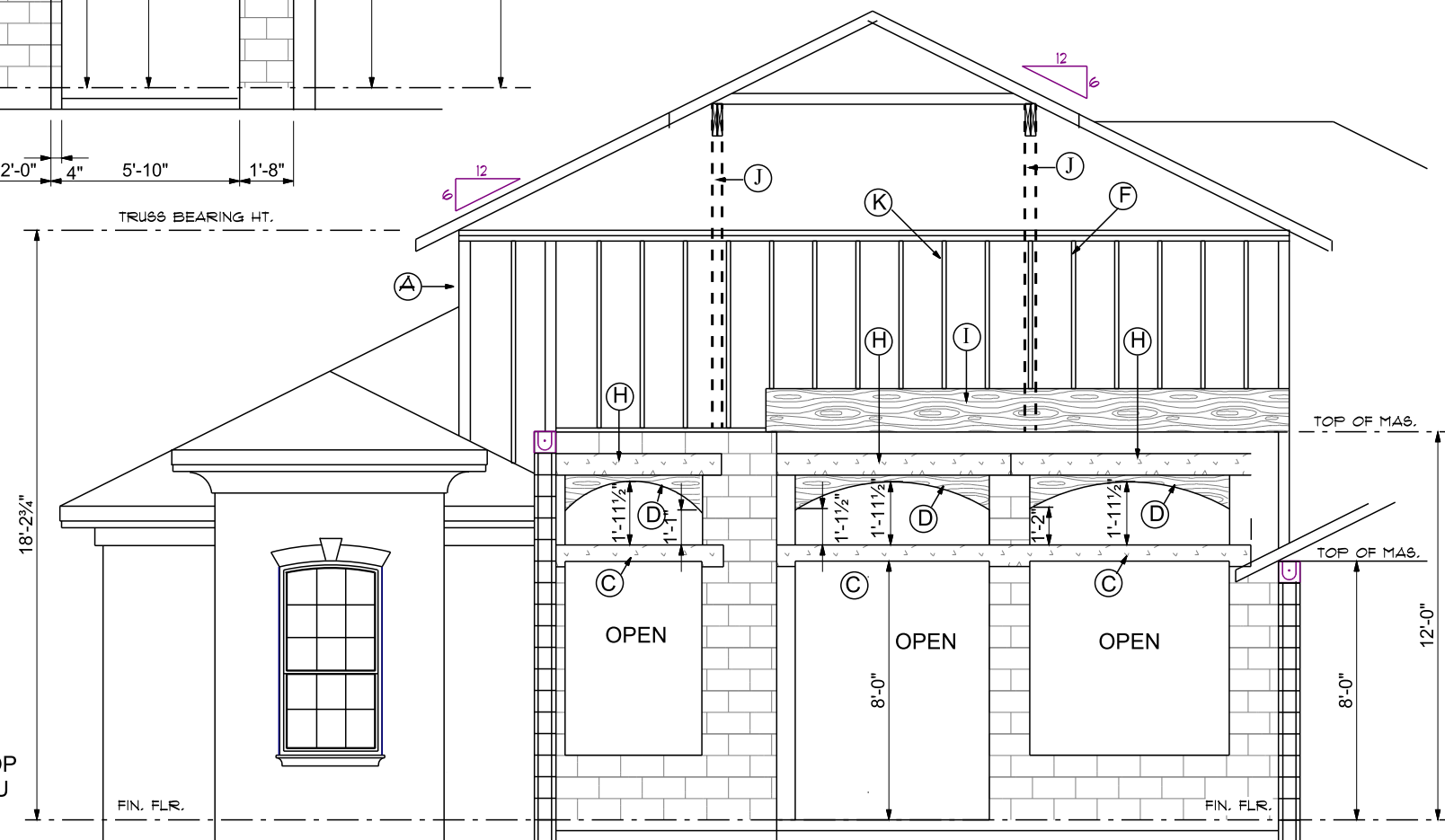
- (A) 2X4 KNEEWALL W/SYP
@ 16" O/C W/H10 TO TRUSS
W/SP2 TO TOP PLATES
W/SP1 TO BTM PLATES
W/2X4 BLOCKING BETWEEN
TRUSS BAYS AT 16" O/C
W/3/8" X 4" LAG SCREW
EACH BLOCK TO BTM PLATE
W/1/2" SHEATHING & 8d
NAILS @ 4" O/C. SEE DETAIL
THIS SHEET
- (B) PRE-ENG. WOOD
ROOF TRUSSES TYP.
- (C) RECESSED PRECAST LINTEL
- (D) 2X4 ARCH FRAMING
W/7/16" OSB SHEATHING
TYPICAL

- (E) DBL 2X6 HDR W/H2.5 AT EACH END
- (F) 7/16" OSB SHEATHING W/8d NAILS AT 4" O/C EDGES & ENDS AND 6" O/C IN FIELD (TYP).
- (G) (2) 2X12 BEAMS. WRAP CORNERS W/(2) CS16 TYPICAL
- (H) 8" PRECAST LINTEL
- (I) 2-PLY 16" D LVL
- (J) (4) STUD CORNER COLUMN W(2) HTS16 TO BEAM AND (2) MSTAM36 TO CMU - 1 PER FACE
- (K) 2X4 AT 16" O/C W/H-10 TO TRUSS W/SP2 TO TOP PLATES W/MTS12 TO LVL OR MSTAM24 TO CMU
- (L) 2X8 LEDGER W(2) 1/4" X 3" SDS SCREWS AT EACH STUD
- (M) 2X8 @ 24" O/C W/LUS26 EACH END
- (N) CMU COLUMN



FRONT WALL LINTEL & BEAM PLAN

- ① (2) 2X12 BEAMS/TOP @ 21'-0 3/4" AFF
- ② (2) 2X12 BEAMS/TOP @ 12' AFF
- ③ 2-PLY 16" D UPSET LVL BEAM/BOTTOM @ 12' AFF W/HTT5 TO CMU
- ④ 8" PRECAST LINTEL W/ K.O. BLK
ABOVE TOP OF K.O. BLK @ 12' AFF
- ⑤ CMU BLK COLUMN/ TOP @ 12' AFF
- ⑥ 3-PLY 2X8 PT COLUMN W/(2) HTS20 TO BEAM ABOVE
W/(2) MSTAM36 TO CMU - 1 PER FACE



ENTRY ELEVATION 'B'

ENTRY TOWER DETAILS

A.E.C.S # 15017 ASPEN 3084

$$\underline{\underline{3/16'' = 1'-0''}}$$

LOT 16
MAJESTIC OAKS

**ALLEN ENGINEERING &
CONSTRUCTION SERVICES**
RICH ALLEN PROFESSIONAL ENGINEER
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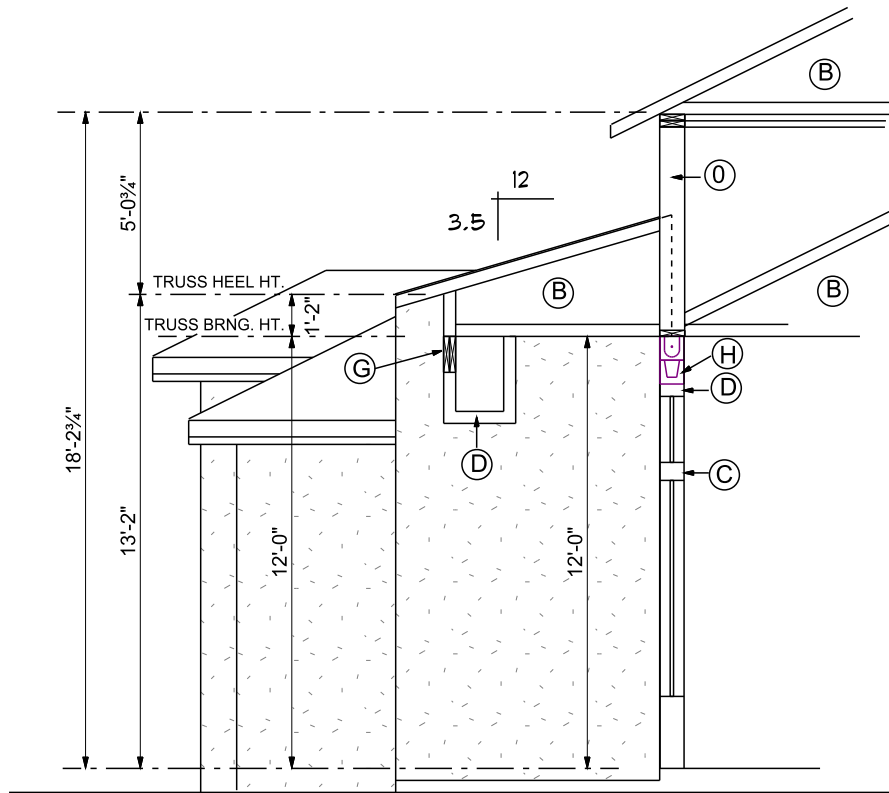
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 145 MPH ULTIMATE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.

2. BUYER REVS

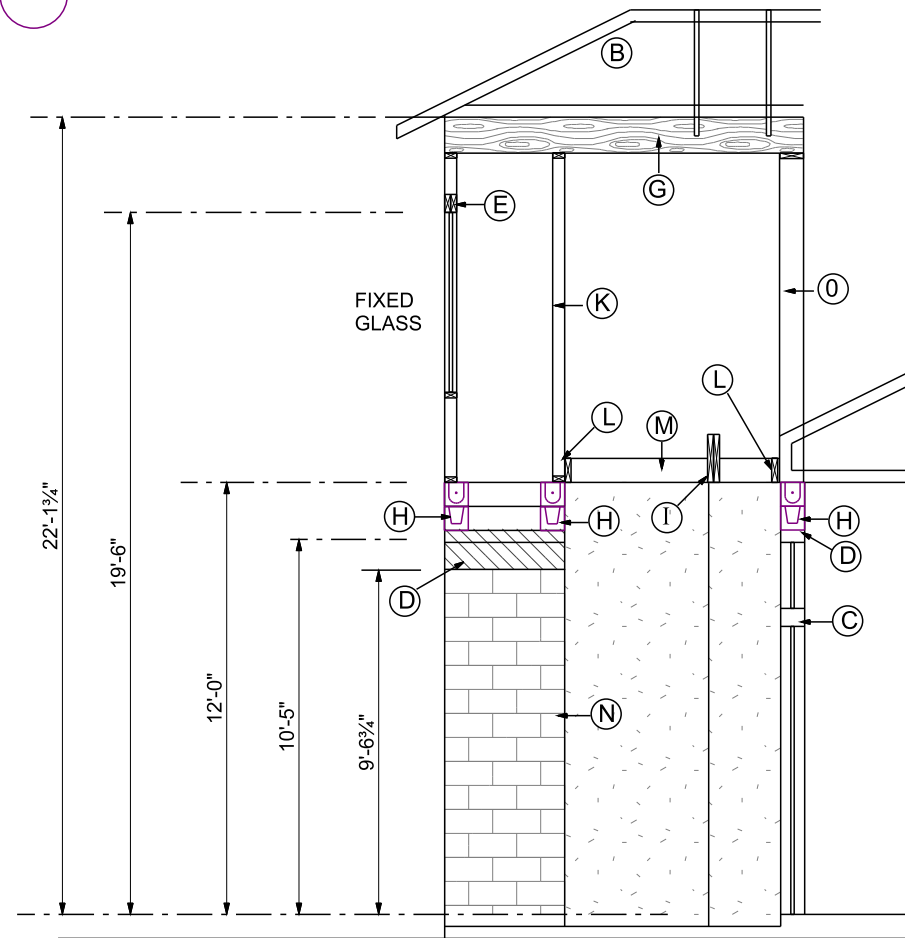
DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

4A



ENTRY SECTION 'C'



ENTRY SECTION 'D'

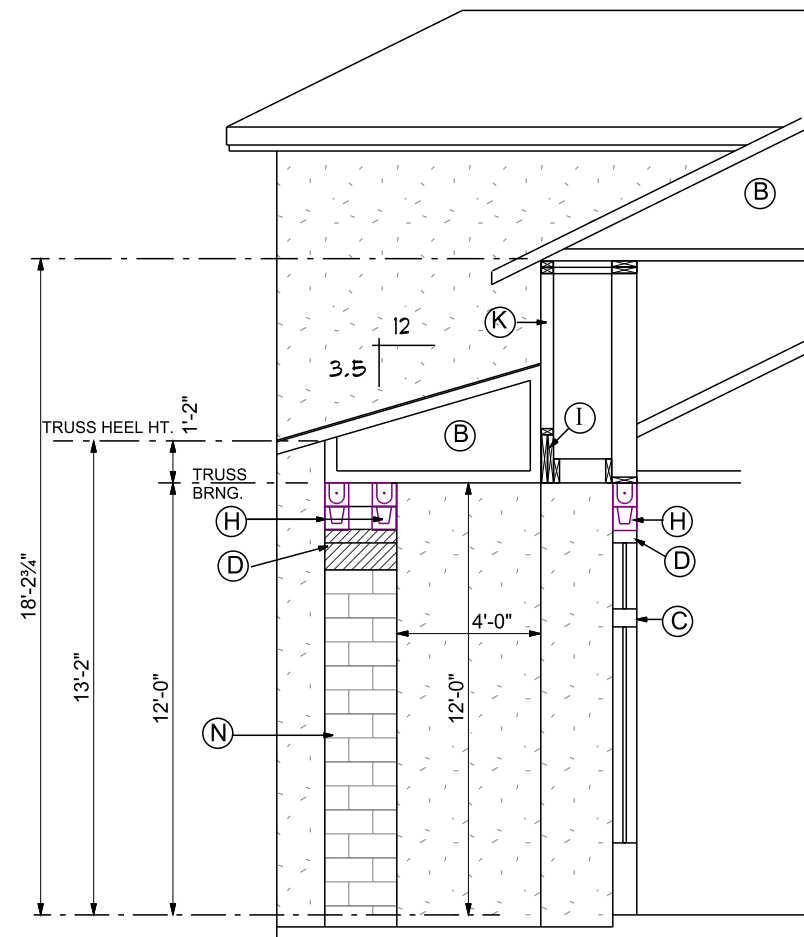
NOTES:

- (A) 2X4 KNEEWALL W/SYP @ 16" O/C W/H10 TO TRUSS W/SP2 TO TOP PLATES W/SP1 TO BTM PLATES W/2X4 BLOCKING BETWEEN TRUSS BAYS AT 16" O/C W/3/8" X 4" LAG SCREW EACH BLOCK TO BTM PLATE W/1/2" SHEATHING & 8d NAILS @ 4" O/C. SEE DETAIL THIS SHEET
- (B) PRE-ENG. WOOD ROOF TRUSSES TYP.
- (C) RECESSED PRECAST LINTEL
- (D) 2X4 ARCH FRAMING W/7/16" OSB SHEATHING TYPICAL
- (E) DBL 2X6 HDR W/H2.5 AT EACH END
- (F) 7/16" OSB SHEATHING W/8d NAILS AT 4" O/C EDGES & ENDS AND 6" O/C IN FIELD (TYP).
- (G) (2) 2X12 BEAMS. WRAP CORNERS W/(2) CS16 TYPICAL
- (H) 8" PRECAST LINTEL
- (I) 2-PLY 16" D LVL
- (J) (4) STUD CORNER COLUMN W(2) HTS16 TO BEAM AND (2) MSTAM36 TO CMU - PER FACE
- (K) 2X4 AT 16" O/C W/H-10 TO TRUSS W/SP2 TO TOP PLATES W/MTS12 TO LVL OR MSTAM24 TO CMU
- (L) 2X8 LEDGER W(2) 1/4" X 3" SDS SCREWS AT EACH STUD
- (M) 2X8 @ 24" O/C W/LUS26 EACH END
- (N) CMU COLUMN
- (O) 2X8 K/W AT 16" O/C W/H-10 TO TRUSS W/SP2 TO TOP PLATES W/MTS12 TO LVL OR MSTAM24 TO CMU

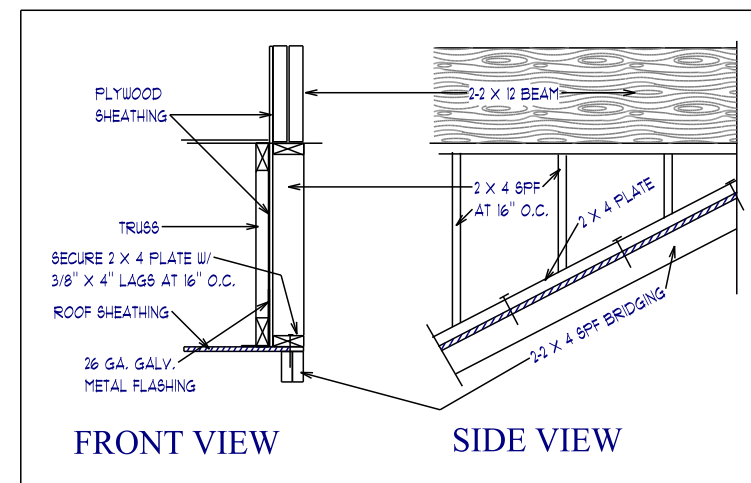
NAILING SCHEDULE

SF1: 4-10d TO PLATE
6-10d TO STUD
H10: 8-8d X 1 1/2" TO TRUSS & TOP PLATE
H2: 5-8d
META16: 6-16d
CS16: 20-10d
HTS20: 20-10d
MSTAM36: 4-1/4" X 1 3/4" TAPCONS

NOTE: ALL NON STRUCTURAL LUMBER IS TO BE SOUTHERN PINE FIR U.N.O.



ENTRY SECTION 'E'



KNEEWALL DETAILS

ENTRY TOWER DETAILS

A.E.C.S # 15017 ASPEN 3084

3/16" = 1'-0"

LOT 16
MAJESTIC OAKS

1. REVIEW SET
2. BUYER REVS

PLAN DATE

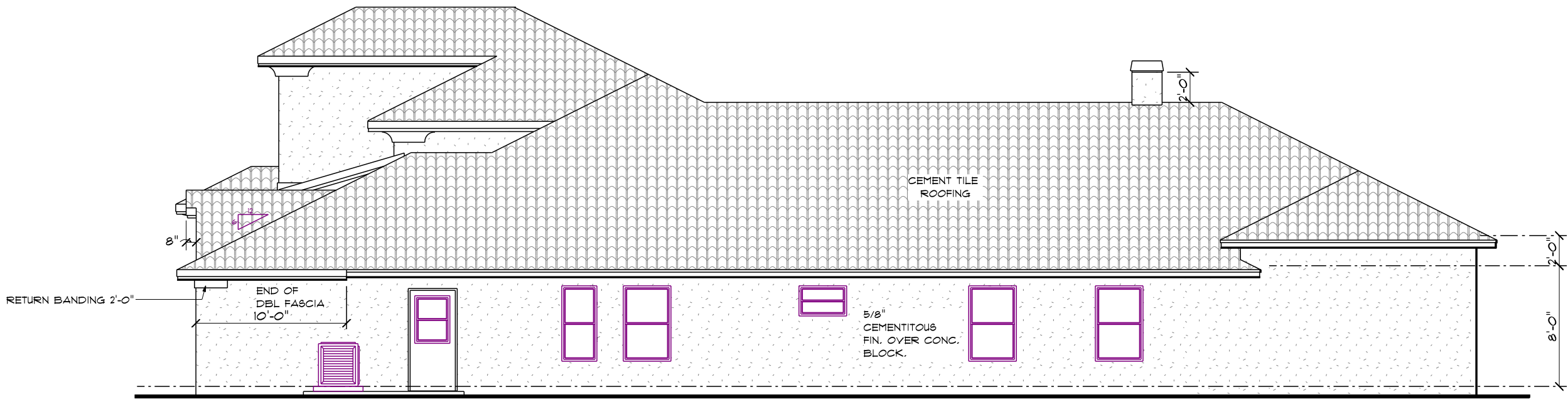
1. 09-18-2015
2. 09-28-2015

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

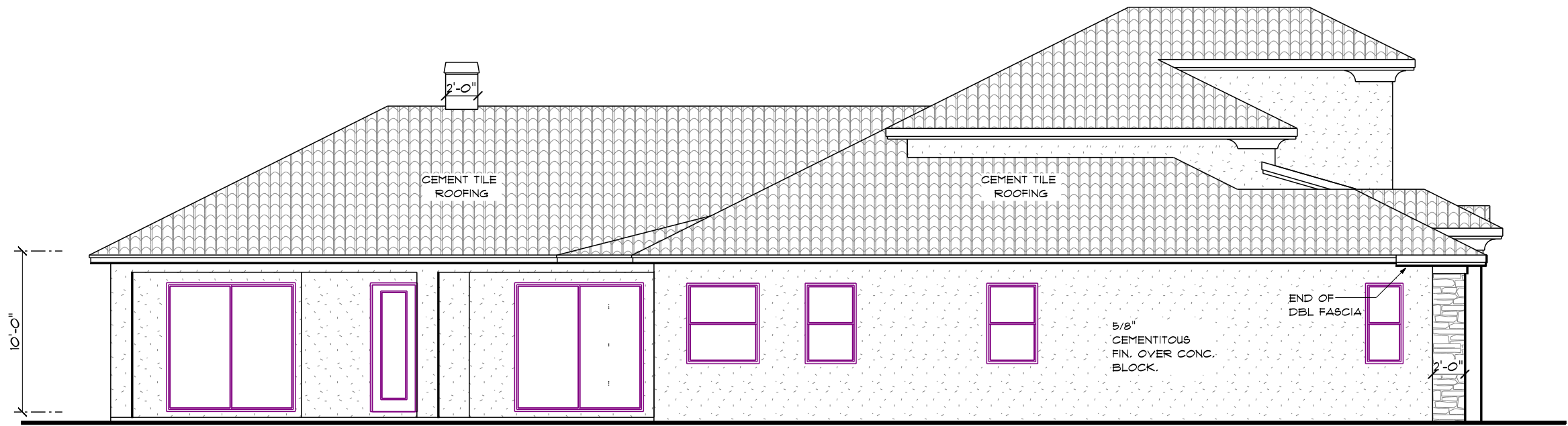
ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
P.O. BOX 351
NEW PORT RICHEY, FL. 34656
727-842-6100
richallenpe@gmail.com

I HEREBY CERTIFY THAT I HAVE
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WIND LOADS, EXPOSURE B AND IT IS
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SIGNED
RICHARDE ALLEN P.E. #56920

4B



RIGHT ELEVATION



LEFT ELEVATION

EXTERIOR ELEVATIONS

1/8" = 1'-0"

ASPEN 3084

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

LOT 16
MAJESTIC OAKS

PLAN DATE

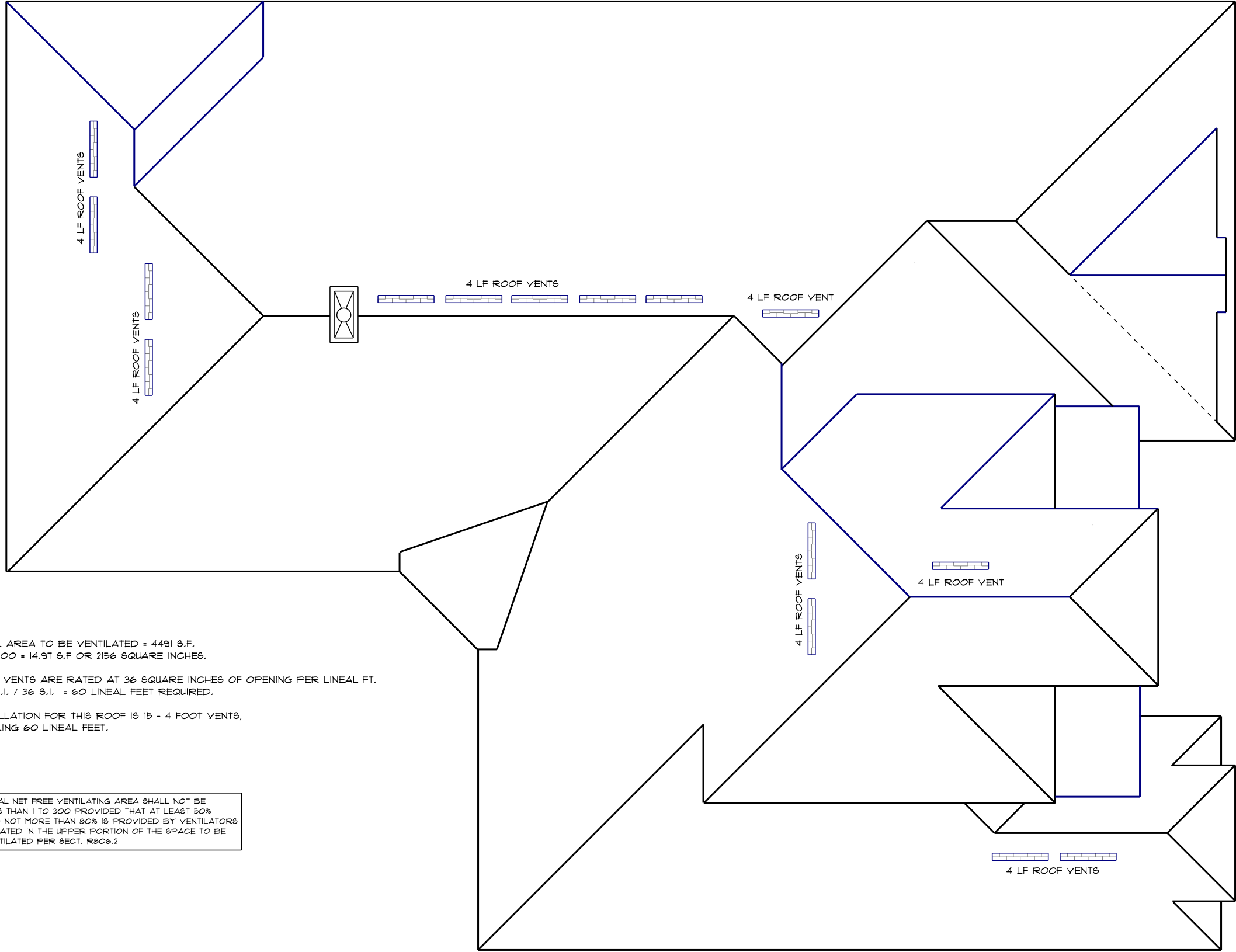
1. 09-18-2015
2. 09-21-2015
3. 09-24-2015
4. 09-25-2015
5. 09-28-2015

TOTAL AREA TO BE VENTILATED = 4491 S.F.
4491/300 = 14.97 S.F OR 2156 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
2156 S.I. / 36 S.I. = 60 LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 15 - 4 FOOT VENTS,
TOTALING 60 LINEAL FEET.

TOTAL NET FREE VENTILATING AREA SHALL NOT BE
LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50%
AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS
LOCATED IN THE UPPER PORTION OF THE SPACE TO BE
VENTILATED PER SECT. R806.2



ROOF PLAN

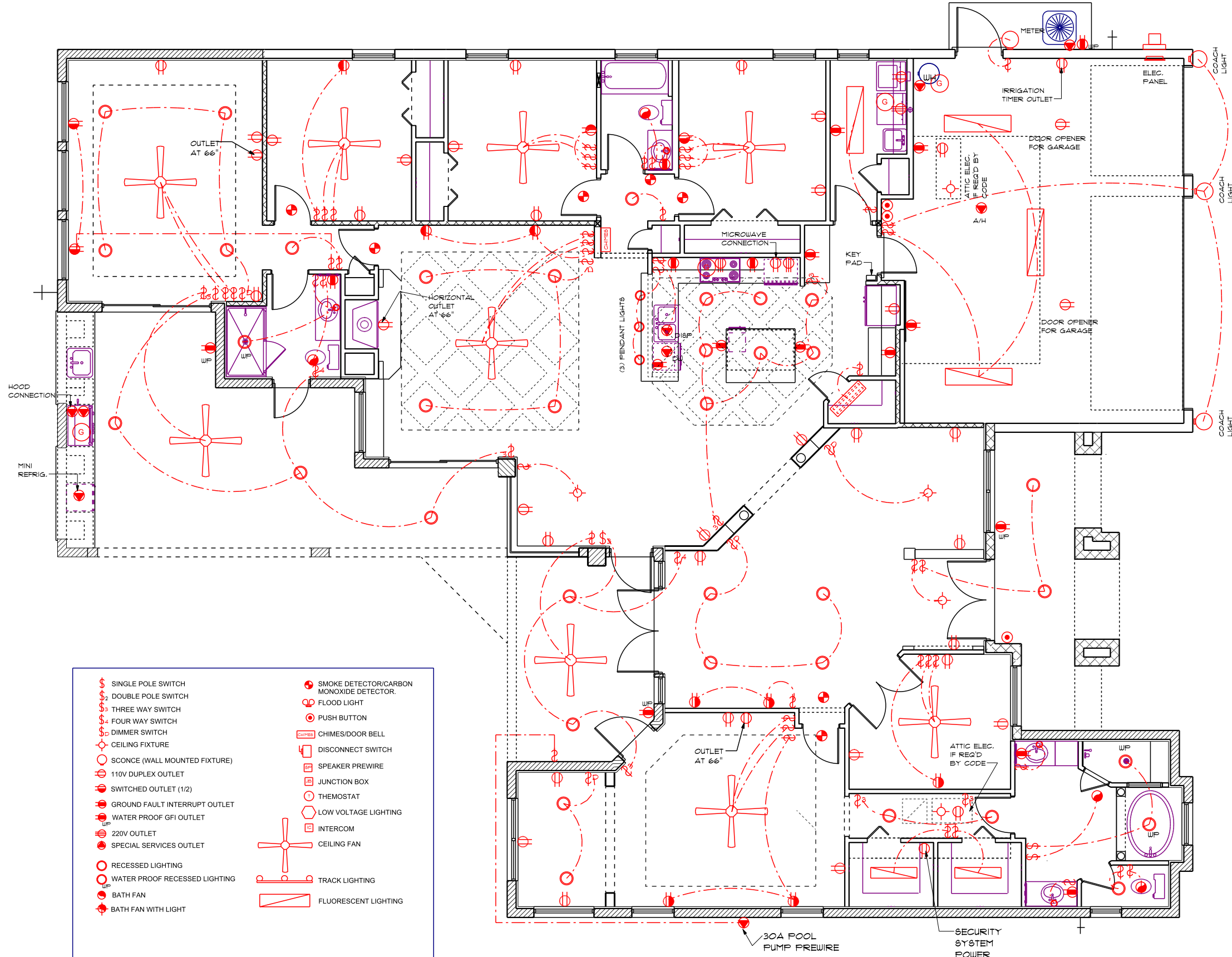
1/8" = 1'-0"

ASPEN 3084

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL 34655

LOT 16
MAJESTIC OAKS

PLAN DATE	
1.	09-18-2015
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3.	09-24-2015
4.	09-25-2015
5.	09-28-2015



- UNLESS OTHERWISE NOTED:
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)
 2. ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
 3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
 4. ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
 5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2014 FLORIDA RESIDENTIAL CODE, SECTION 314, AND WITH UL 311 AND NFPA 112.
 6. PROVIDE ARC FAULT INTERRUPTERS PER 2008 NEC, 210.12
 7. ALL RECEPTACLES TO BE TAMPER PROOF PER NEC, SECT. 406.11

- 1 SINGLE POLE SWITCH
- 2 DOUBLE POLE SWITCH
- 3 THREE WAY SWITCH
- 4 FOUR WAY SWITCH
- 5 DIMMER SWITCH
- 6 CEILING FIXTURE
- 7 SCONCE (WALL MOUNTED FIXTURE)
- 8 110V DUPLEX OUTLET
- 9 SWITCHED OUTLET (1/2)
- 10 GROUND FAULT INTERRUPT OUTLET
- 11 WATER PROOF GFI OUTLET
- 12 220V OUTLET
- 13 SPECIAL SERVICES OUTLET
- 14 RECESSED LIGHTING
- 15 WATER PROOF RECESSED LIGHTING
- 16 BATH FAN
- 17 BATH FAN WITH LIGHT
- 18 SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- 19 FLOOD LIGHT
- 20 PUSH BUTTON
- 21 CHIMES/DOOR BELL
- 22 DISCONNECT SWITCH
- 23 SPEAKER PREWIRE
- 24 JUNCTION BOX
- 25 THERMOSTAT
- 26 LOW VOLTAGE LIGHTING
- 27 INTERCOM
- 28 CEILING FAN
- 29 TRACK LIGHTING
- 30 FLUORESCENT LIGHTING

ELECTRICAL PLAN

1/8" = 1'-0"

ASPEN 3084

DEEB FAMILY
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9400 RIVER CROSSING BLD.
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LOT 16
MAJESTIC OAKS

PLAN DATE				
1.	09-18-2015			
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