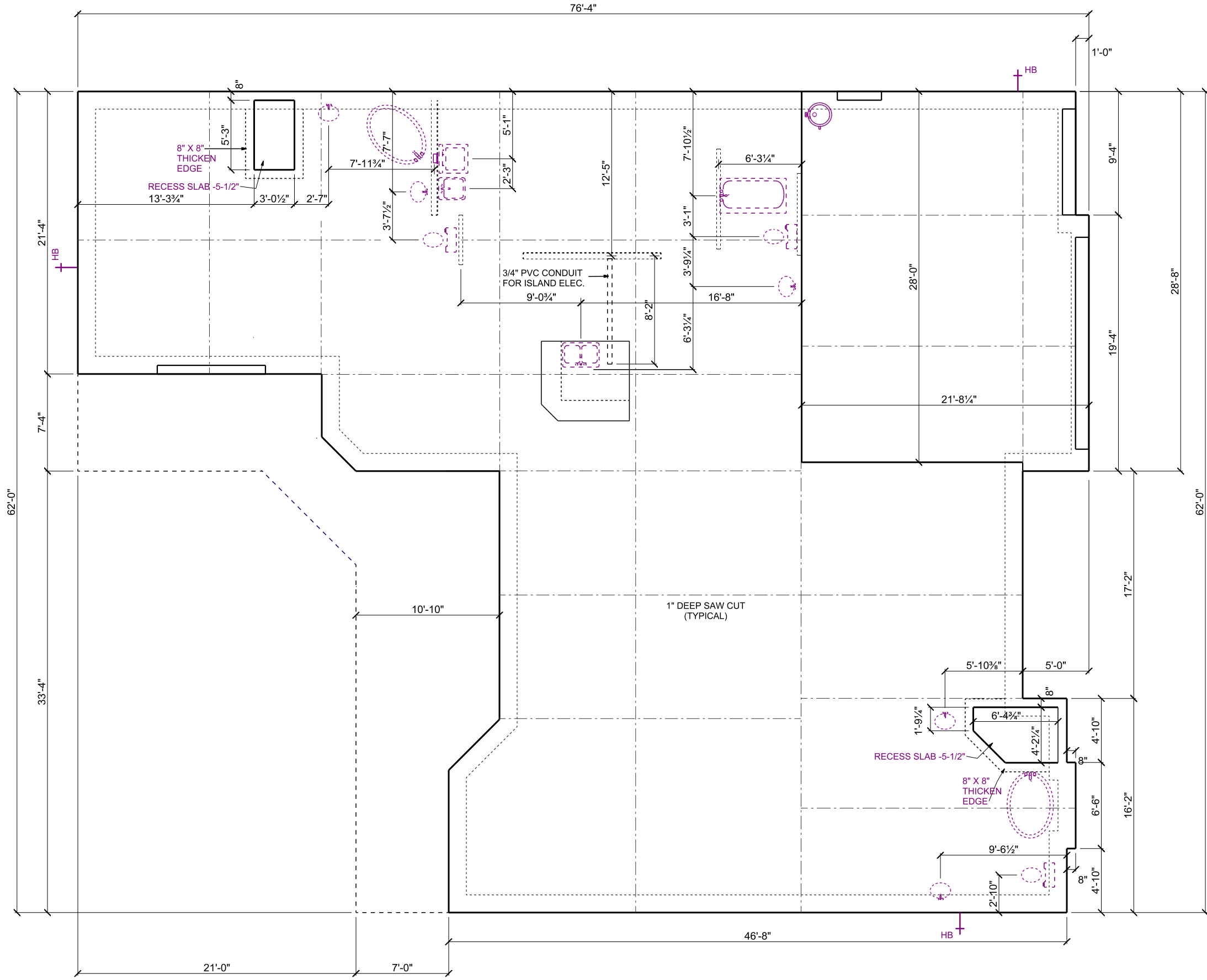




FOUNDATION PLUMBING & EXPANSION 1/8" = 1'-0" PLAN 3707

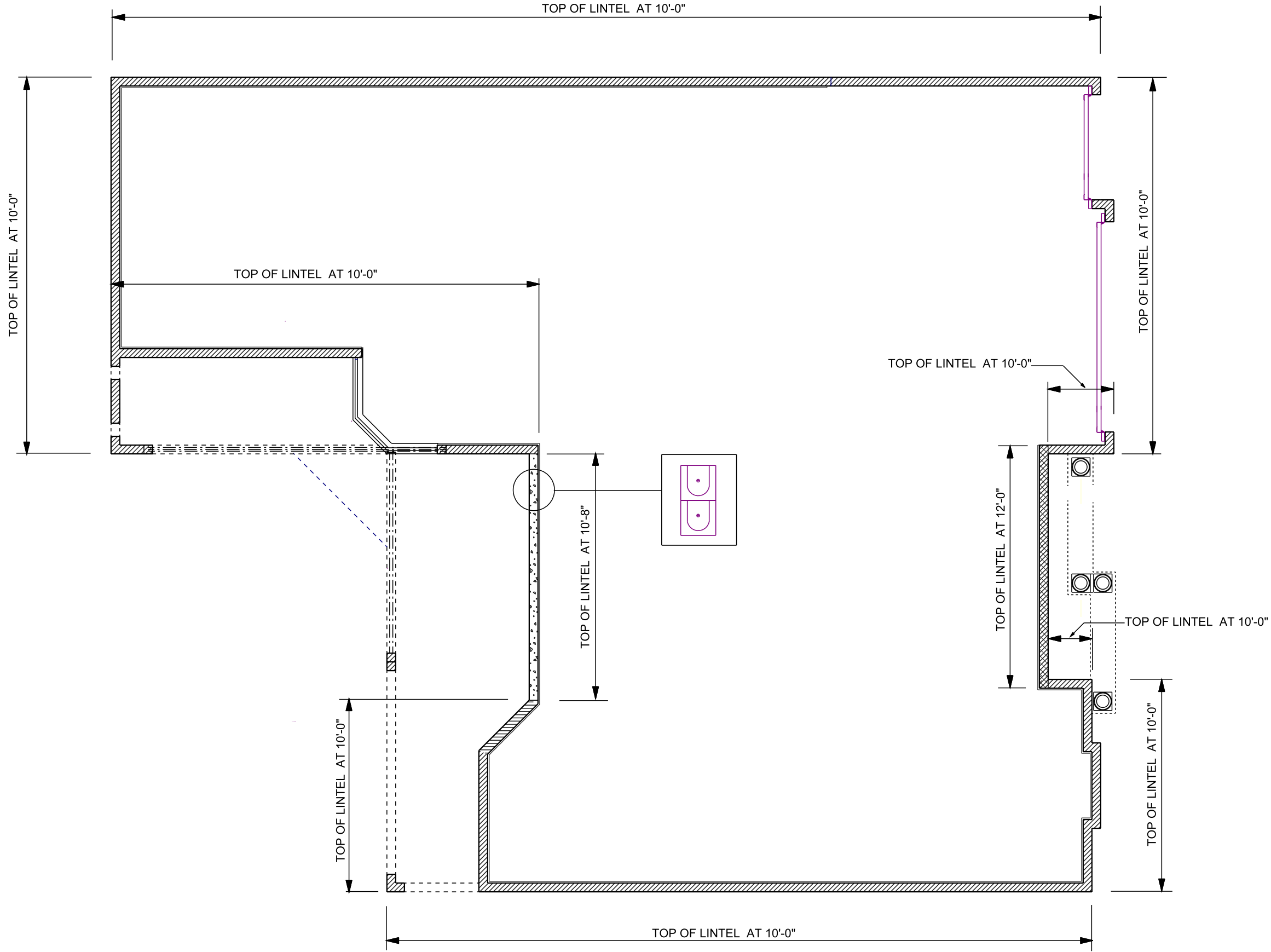
DEEB FAMILY HOMES, LTD. 9400 RIVER CROSSING BLD. NEW PORT RICHEY, FL. 34655

LOT 35 MAJESTIC OAKS LOX RESIDENCE

- 1 & 2. BUYER REVS. 3. PRELIM PLAN 4. ENG. REVIEW

Table with 2 columns: PLAN DATE, and 4 rows of dates: 1. 09-08-2015, 2. 09-14-2015, 3. 10-22-2015, 4. 10-30-2015

1A



MASONRY WALL HEIGHT PLAN

1B

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE	
1. 09-08-2015	
2. 10-22-2015	
3. 10-30-2015	

1. BUYER REVISIONS
2. PRELIM PLANS
3. **ENG. REVIEW**

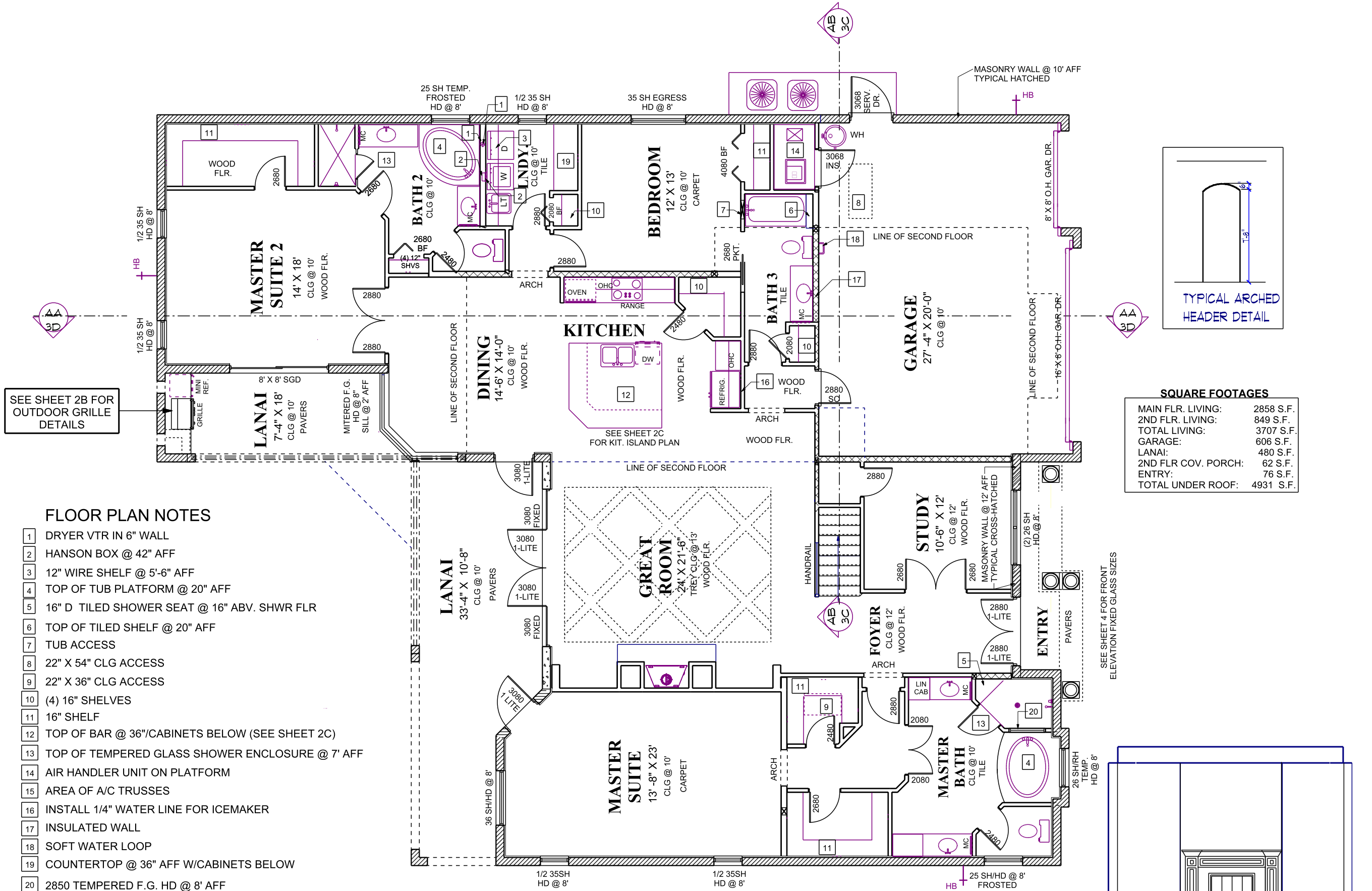
LOT 35 MAJESTIC OAKS
LOX RESIDENCE

I HEREBY CERTIFY THAT I HAVE
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TO COMPLY WITH 145 MPH ULTIMATE
WIND LOADS, EXPOSURE B AND IT IS
THE 2014 FLORIDA BUILDING CODE
SEALED FOR THE STRUCTURE ONLY.
SIGNED
RICHARD E. ALLEN P.E. #56920

MASONRY WALL HEIGHT PLAN 1/8" = 1'-0"

A.E.C.S # 15058 PLAN 3707

ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
P.O. BOX 351
NEW PORT RICHEY, FL 34656
727-842-6100
richallenpe@gmail.com



SEE SHEET 2B FOR
OUTDOOR GRILLE
DETAILS

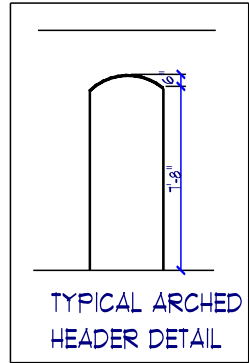
FLOOR PLAN NOTES

- 1 DRYER VTR IN 6" WALL
- 2 HANSON BOX @ 42" AFF
- 3 12" WIRE SHELF @ 5'-6" AFF
- 4 TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 6 TOP OF TILED SHELF @ 20" AFF
- 7 TUB ACCESS
- 8 22" X 54" CLG ACCESS
- 9 22" X 36" CLG ACCESS
- 10 (4) 16" SHELVES
- 11 16" SHELF
- 12 TOP OF BAR @ 36"/CABINETS BELOW (SEE SHEET 2C)
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 14 AIR HANDLER UNIT ON PLATFORM
- 15 AREA OF A/C TRUSSES
- 16 INSTALL 1/4" WATER LINE FOR ICEMAKER
- 17 INSULATED WALL
- 18 SOFT WATER LOOP
- 19 COUNTERTOP @ 36" AFF W/CABINETS BELOW
- 20 2850 TEMPERED F.G. HD @ 8" AFF

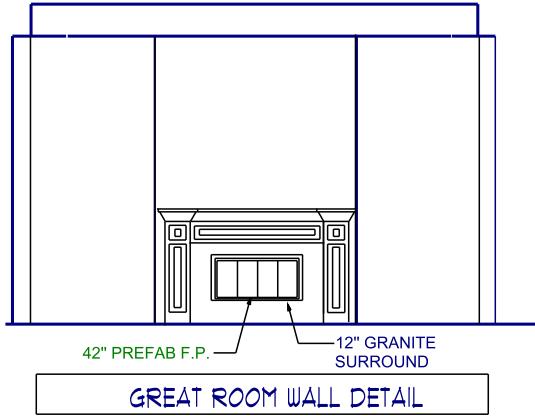
SQUARE FOOTAGES

MAIN FLR. LIVING:	2858 S.F.
2ND FLR. LIVING:	849 S.F.
TOTAL LIVING:	3707 S.F.
GARAGE:	606 S.F.
LANAI:	480 S.F.
2ND FLR COV. PORCH:	62 S.F.
ENTRY:	76 S.F.
TOTAL UNDER ROOF:	4931 S.F.

SEE SHEET 4 FOR FRONT
ELEVATION FIXED GLASS SIZES



TYPICAL ARCHED
HEADER DETAIL



42" PREFAB F.P.
12" GRANITE
SURROUND
GREAT ROOM WALL DETAIL

FLOOR PLAN NOTES

PLAN 3707

1/8" = 1'-0"

DEEB FAMILY
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NEW PORT RICHEY, FL. 34655

LOT 35 MAJESTIC OAKS
LOX RESIDENCE

- 1 & 2. BUYER REVS.
- 3. PRELIM PLAN
- 4. ENG. REVIEW

PLAN DATE

1. 09-08-2015
2. 09-14-2015
3. 10-22-2015
4. 10-30-2015

2

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- FLOOR PLAN NOTES

DRYER VTR IN 6" WALL

HANSON BOX @ 42" AFF

12" WIRE SHELF @ 5'-6" AFF

TOP OF TUB PLATFORM @ 20" AFF

16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR

TOP OF TILED SHELF @ 20" AFF

TUB ACCESS

22" X 54" CLG ACCESS

22" X 36" CLG ACCESS

(4) 12" SHELVES

16" SHELF

TOP OF BAR @ 42" AFF

TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF

AIR HANDLER UNIT ON PLATFORM

AREA OF A/C TRUSSES

INSTALL 1/4" WATER LINE FOR ICEMAKER

R-13 BATT INSULATION

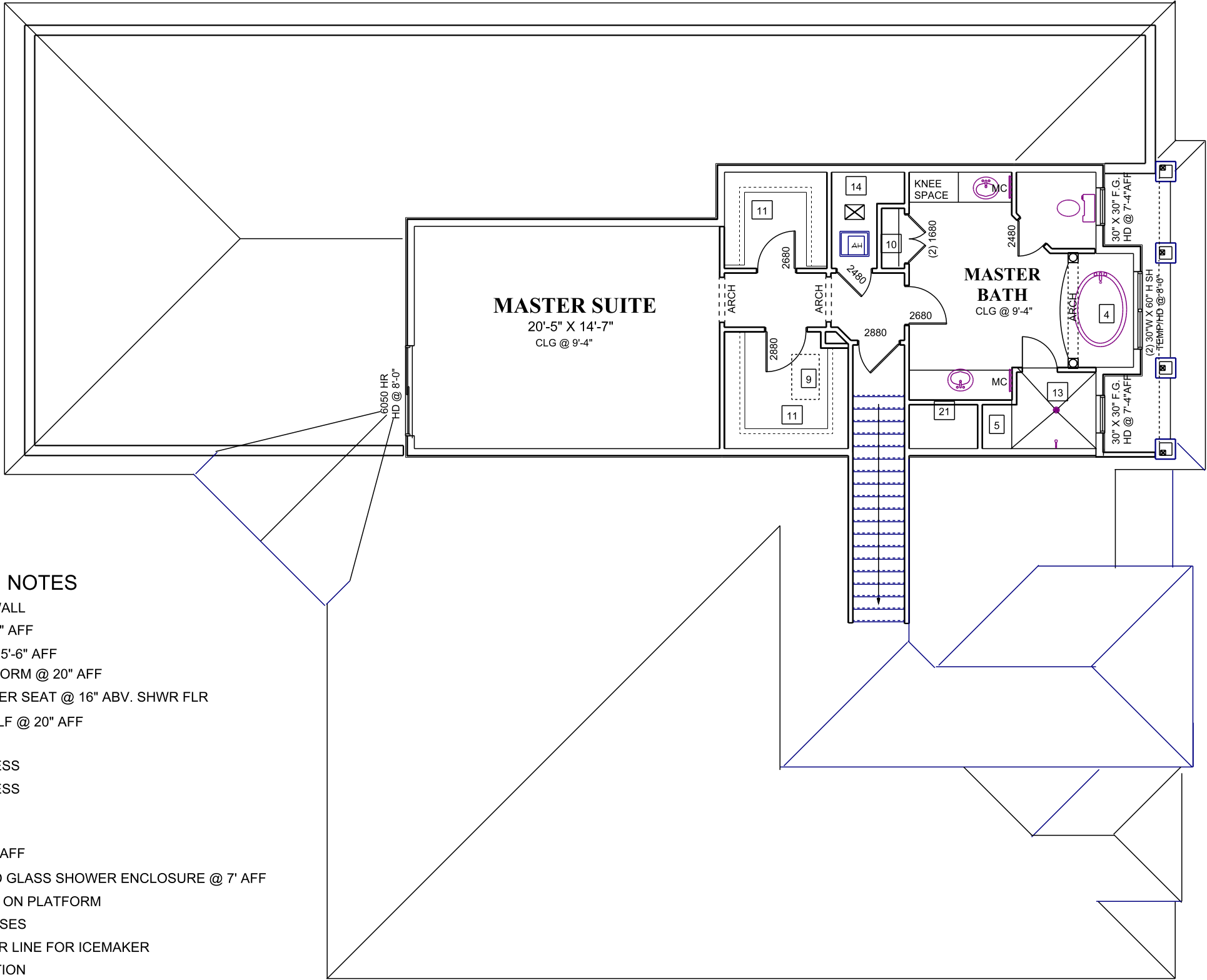
16" W X 6" D FIREPLACE COLUMNS TYP.

COUNTERTOP @ 36" AFF/OPEN BELOW

2850 TEMPERED F.G. HD @ 8' AFF

MECHANICAL CHASE

TANKLESS WATER HEATER



2ND FLOOR PLAN NOTES

PLAN 3707

1/8" = 1'-0"

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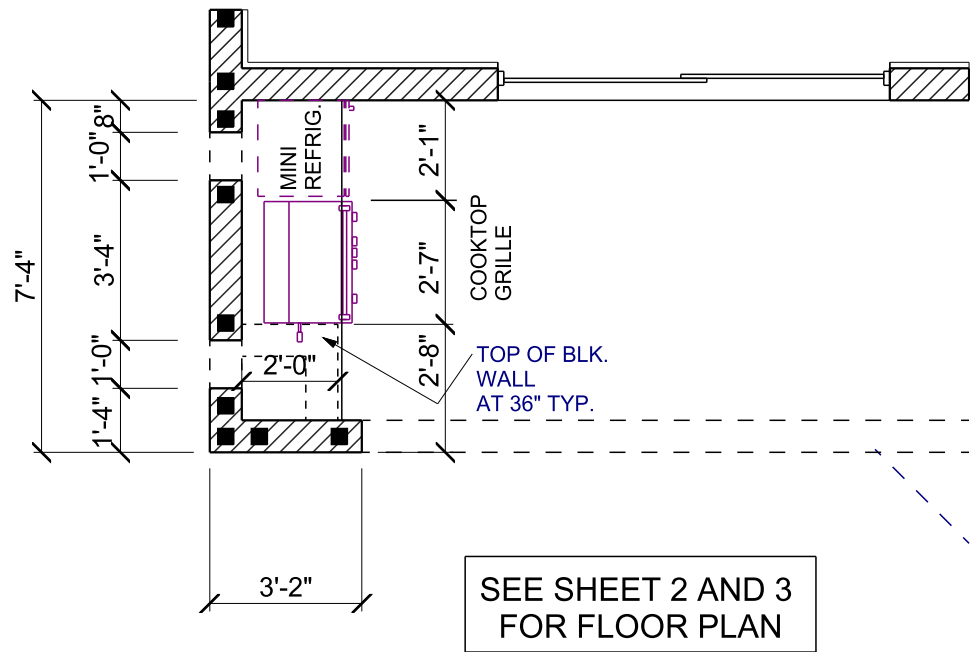
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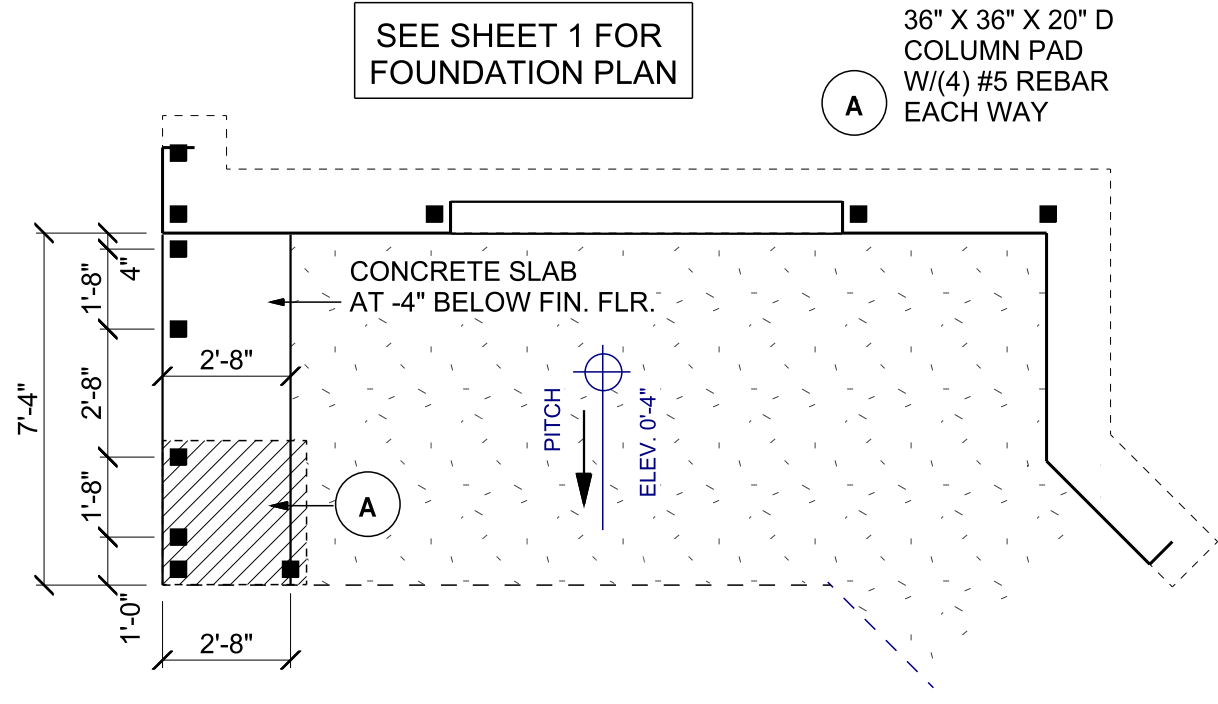
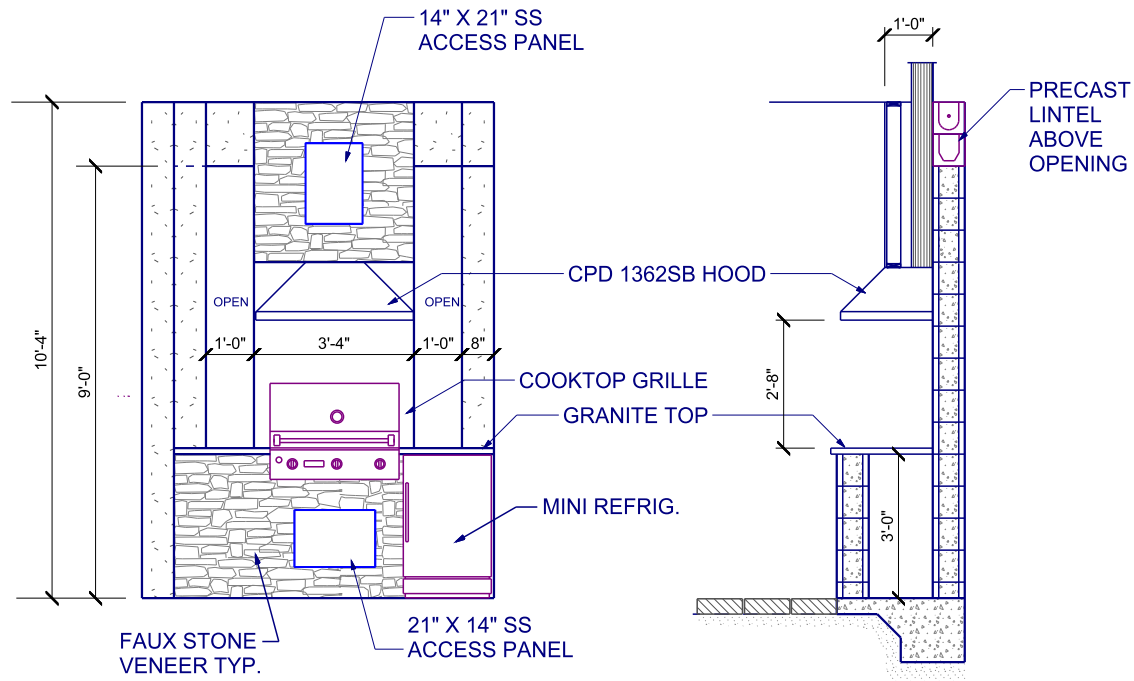
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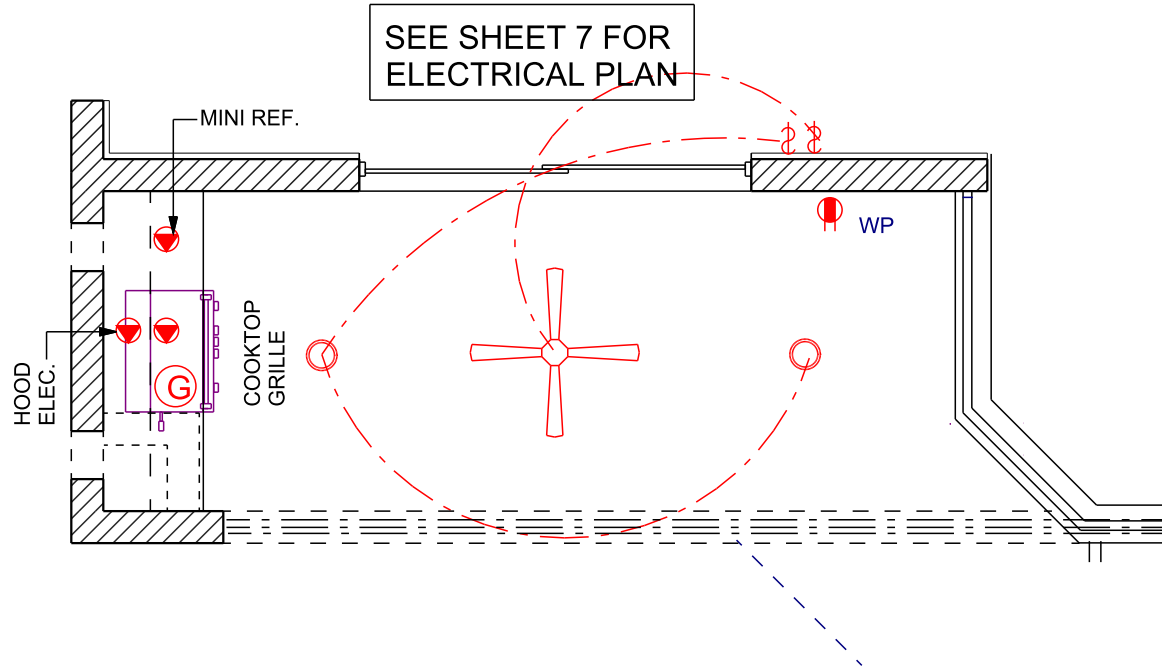
2A



OUTDOOR KITCHEN ELEVATION



OUTDOOR KITCHEN ELECTRICAL



OUTDOOR KITCHEN SLAB PLAN

OUTDOOR KITCHEN DETAILS

3/16" = 1'-0"

A.E.C.S # 15058 PLAN 3707

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9400 RIVER CROSSING BLD.
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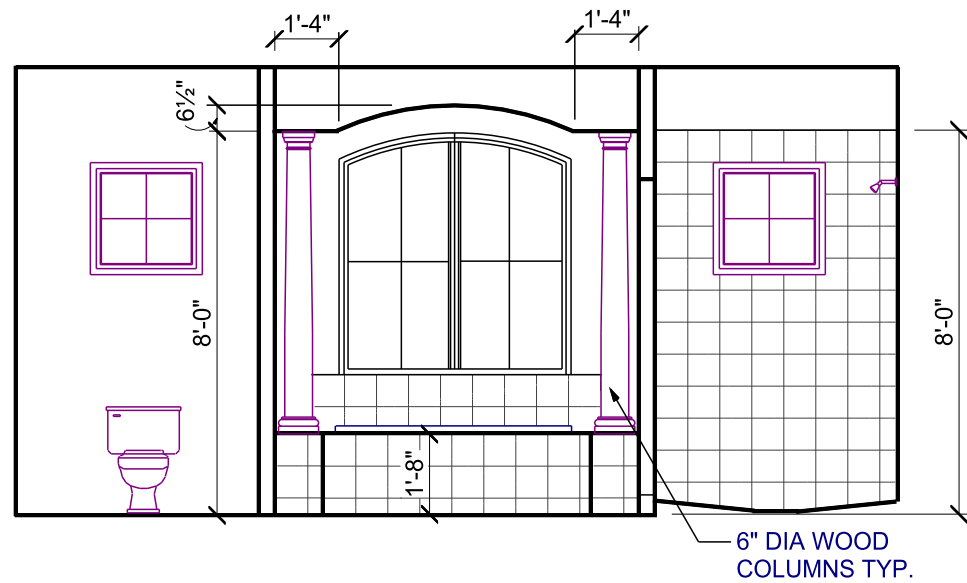
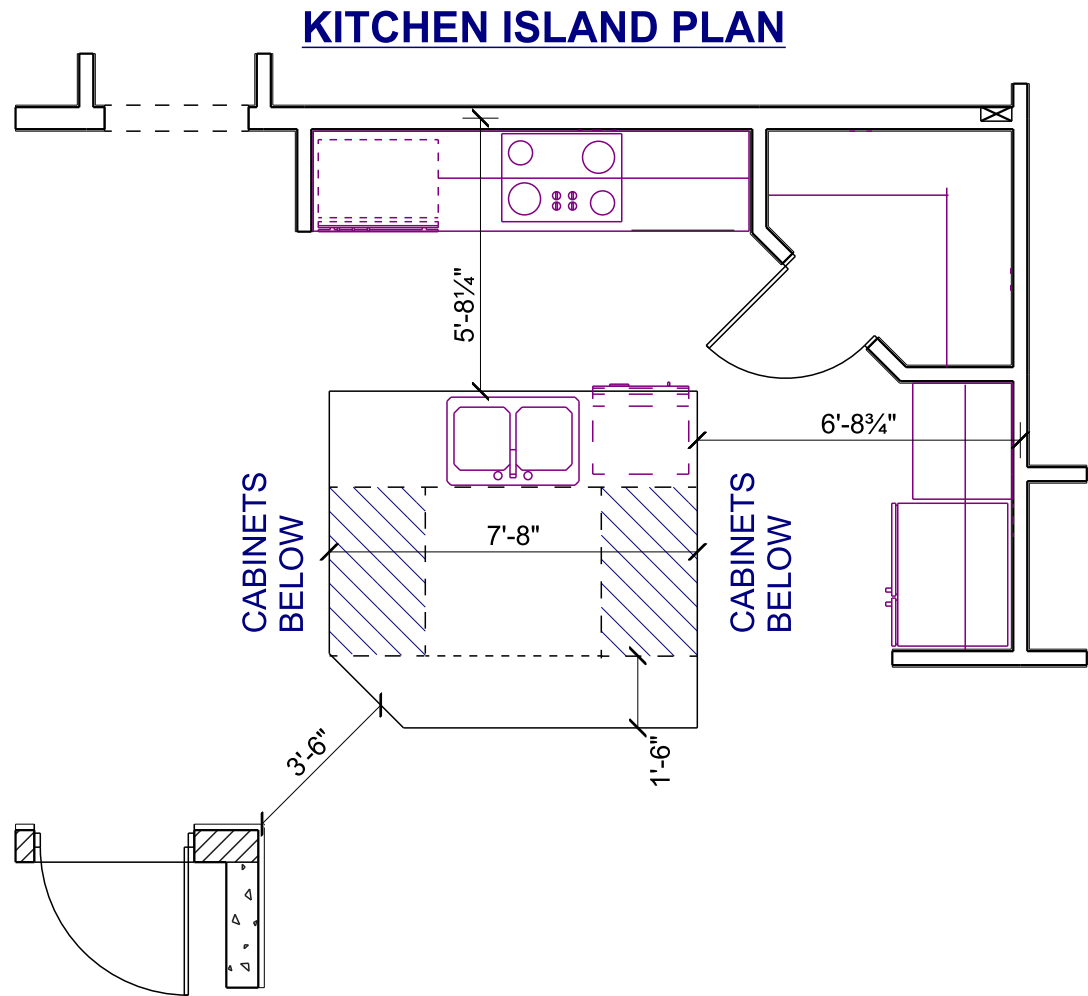
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LOX RESIDENCE
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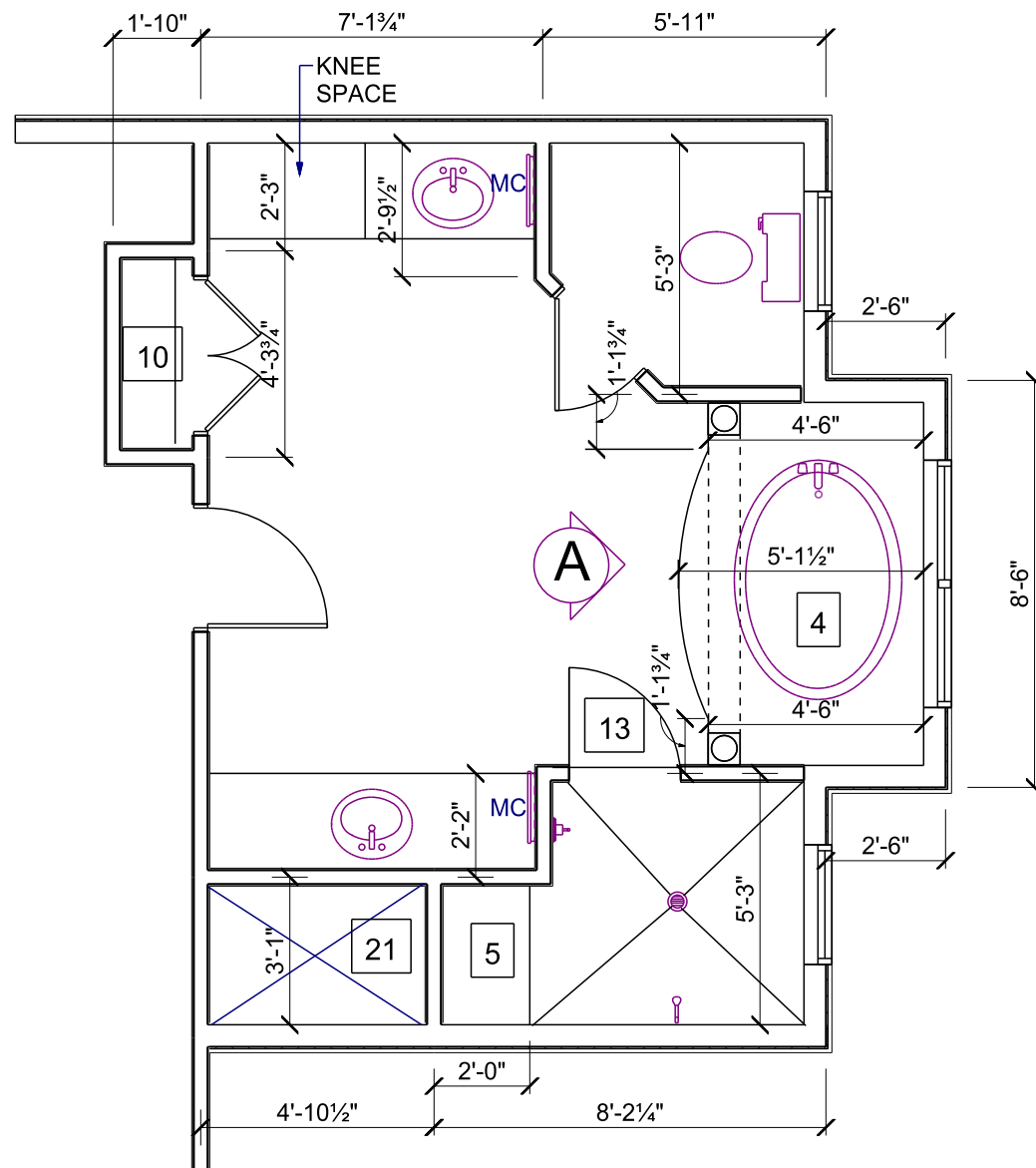
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richallenpe@gmail.com

2B



FLOOR PLAN NOTES

- 4 60" X 42" PLATFORM TUB
TOP OF TUB PLATFORM @ 20" AFF
- 5 16" D TILED SHOWER SEAT @ 16" ABV. SHWR FLR
- 10 (4) 12" SHELVES
- 13 TOP OF TEMPERED GLASS SHOWER ENCLOSURE @ 7' AFF
- 21 MECHANICAL CHASE



2ND FLOOR MASTER BATH PLAN

PLAN 3707

1/4" = 1'-0"

PLAN DETAILS

LOT 35 MAJESTIC OAKS
LOX RESIDENCE

1 & 2. BUYER REVS.
3. PRELIM PLAN
4. ENG. REVIEW

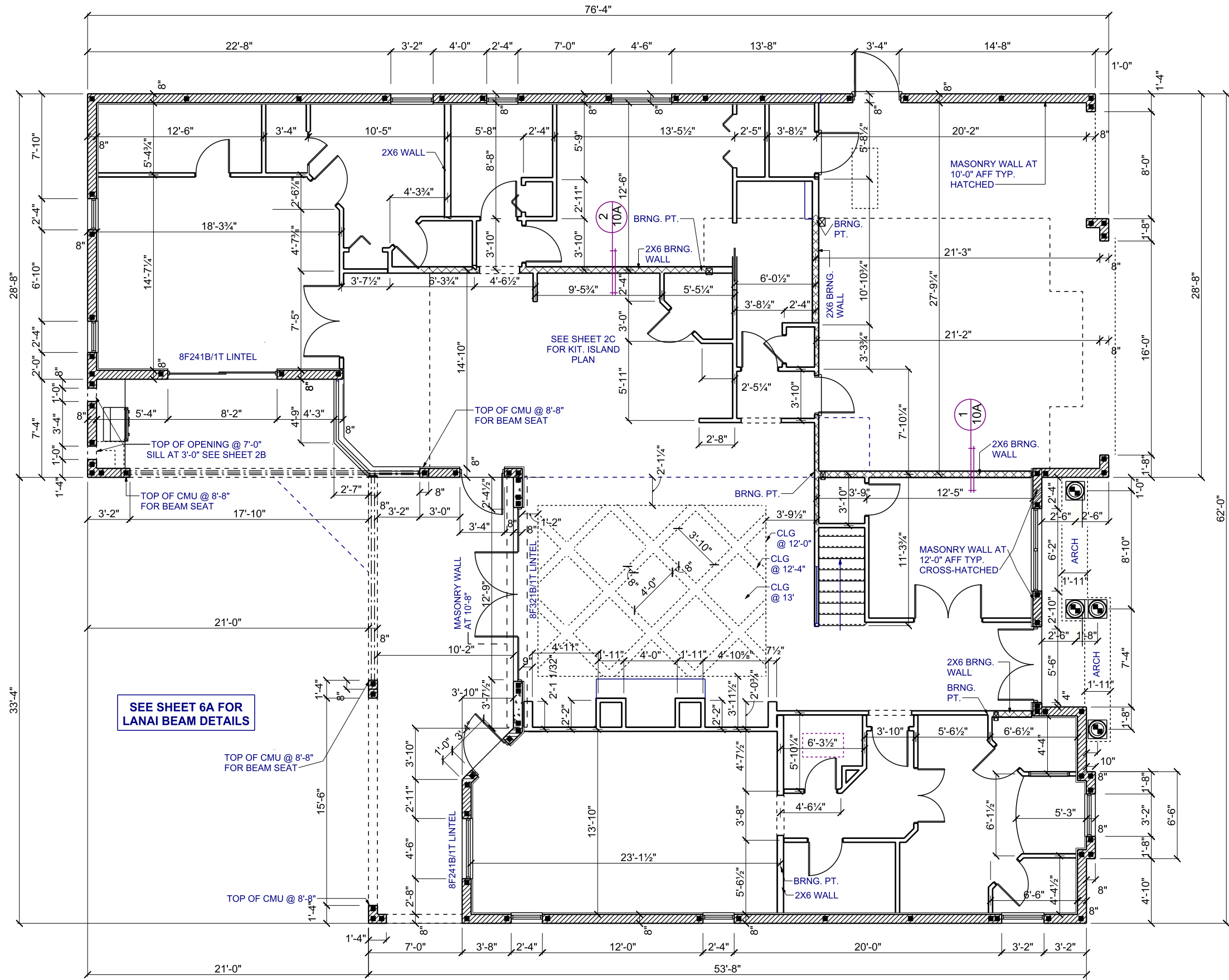
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2C

SEE SHEET 2B FOR
OUTDOOR GRILLE
DETAILS



DIMENSION PLAN

1/8" = 1'-0"

A.E.C.S # 15058 PLAN 3707

DEEB FAMILY
HOMES, LTD.

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NEW PORT RICHEY, FL. 34655

LOT 35 MAJESTIC OAKS

LOX RESIDENCE

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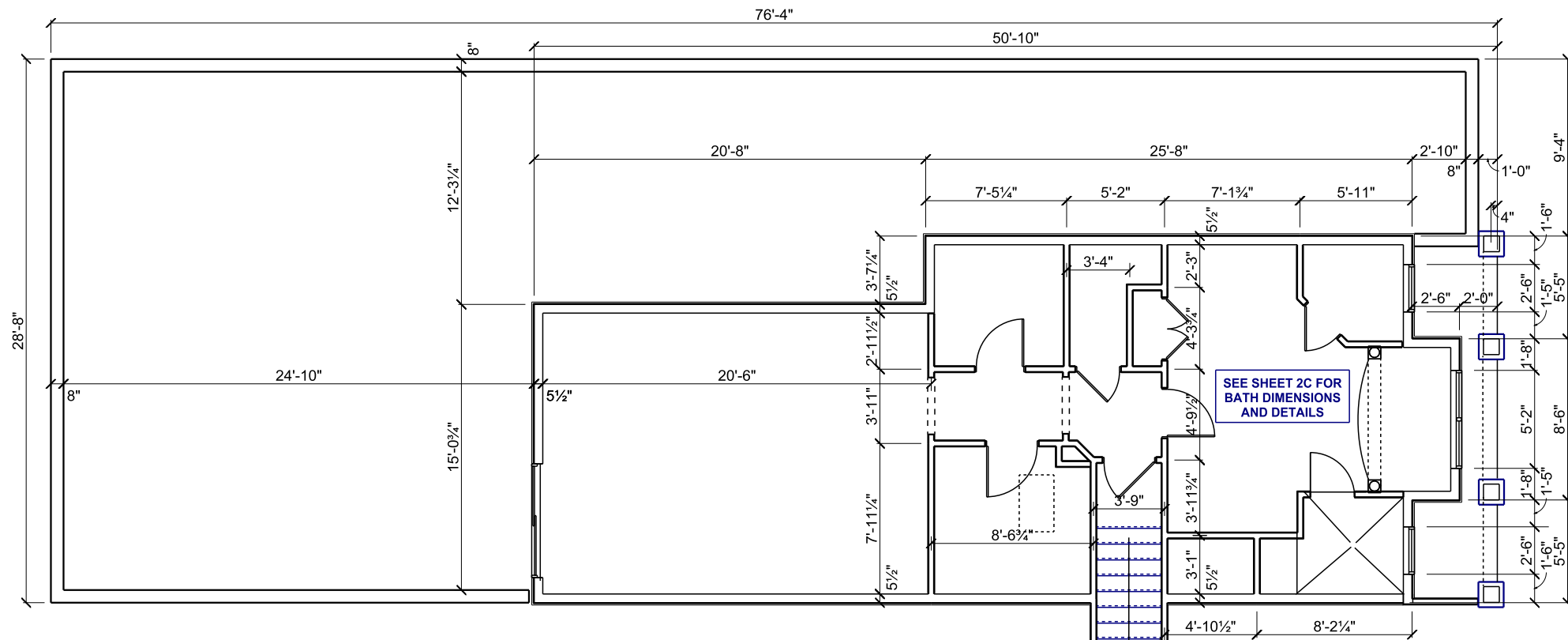
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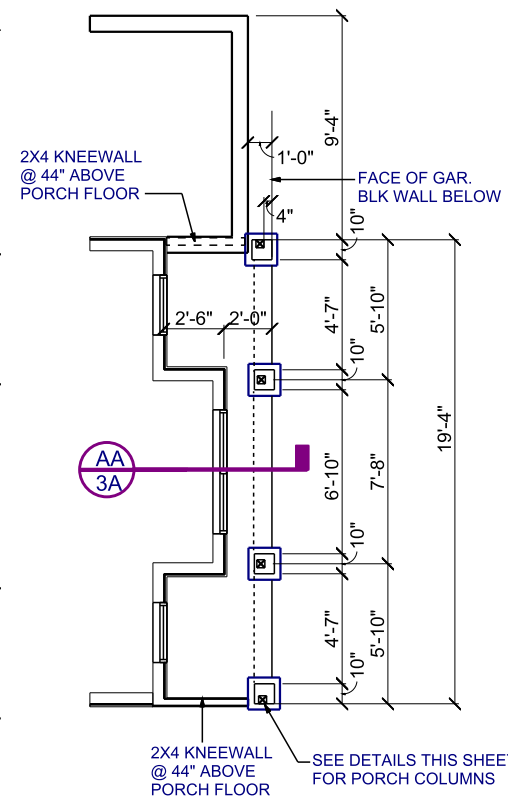
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richallenpe@gmail.com

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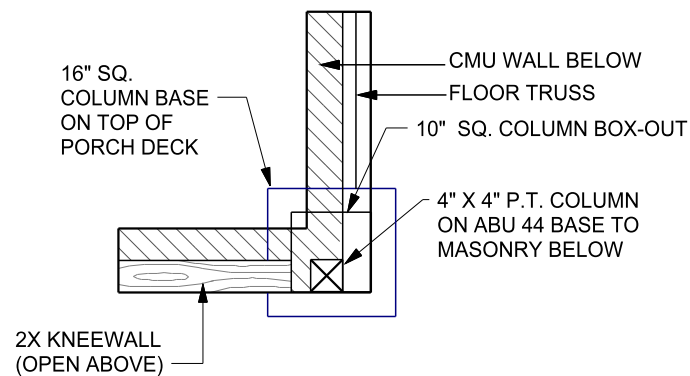
SIGNED
RICHARD E. ALLEN P.E. #56920



PORCH COLUMN LAYOUT

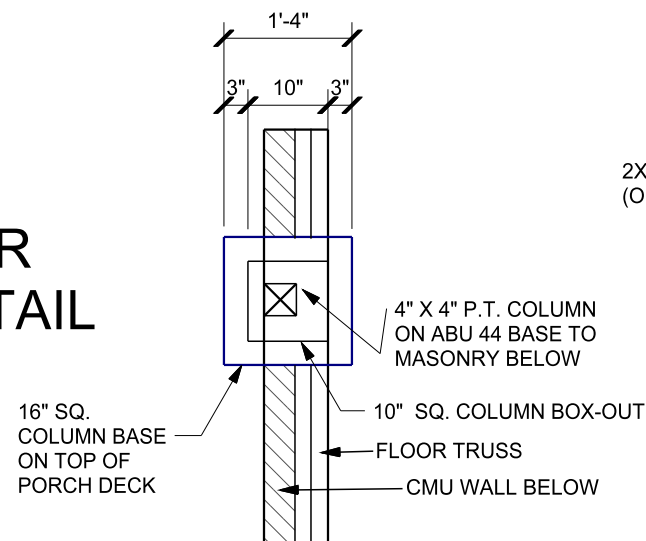


LEFT SIDE

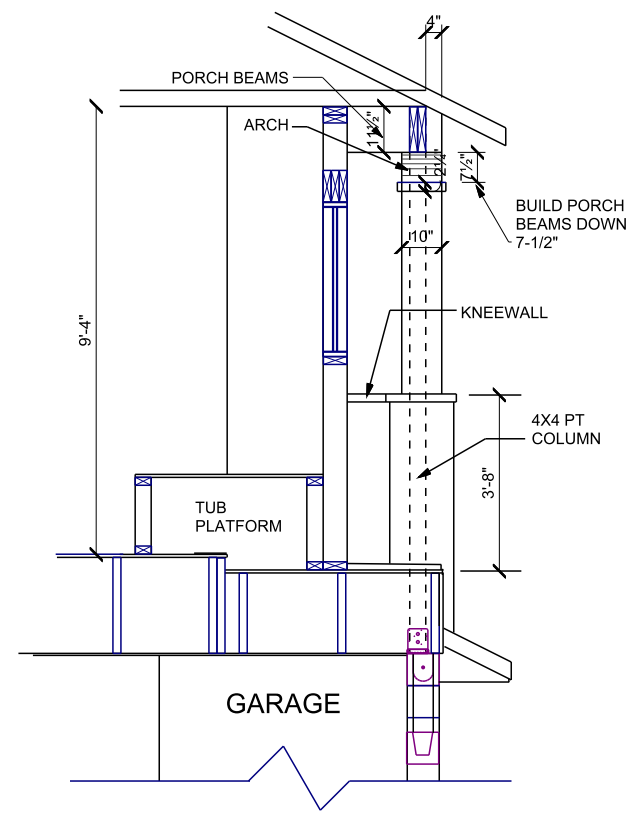
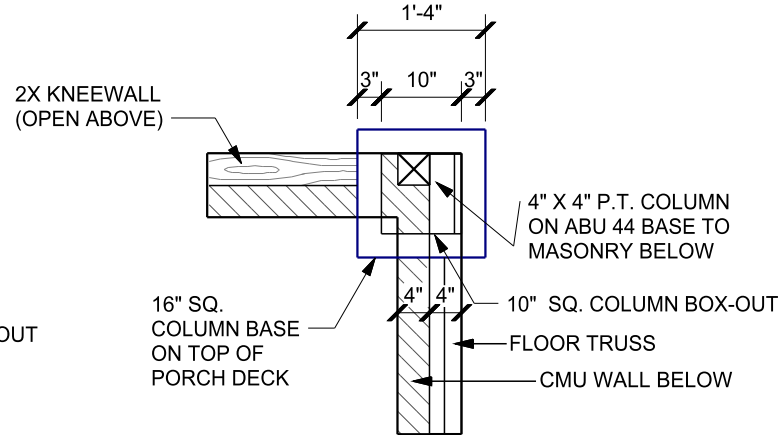


SECOND FLOOR PORCH POST DETAIL

INTERMEDIATE



RIGHT SIDE



SECTION AA AT 2ND FLR PORCH 1/4" = 1'-0"

2ND FLR. DIMENSION PLAN

1/8" = 1'-0"

A.E.C.S # 15058 PLAN 3707

3A

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NEW PORT RICHEY, FL. 34655

PLAN DATE
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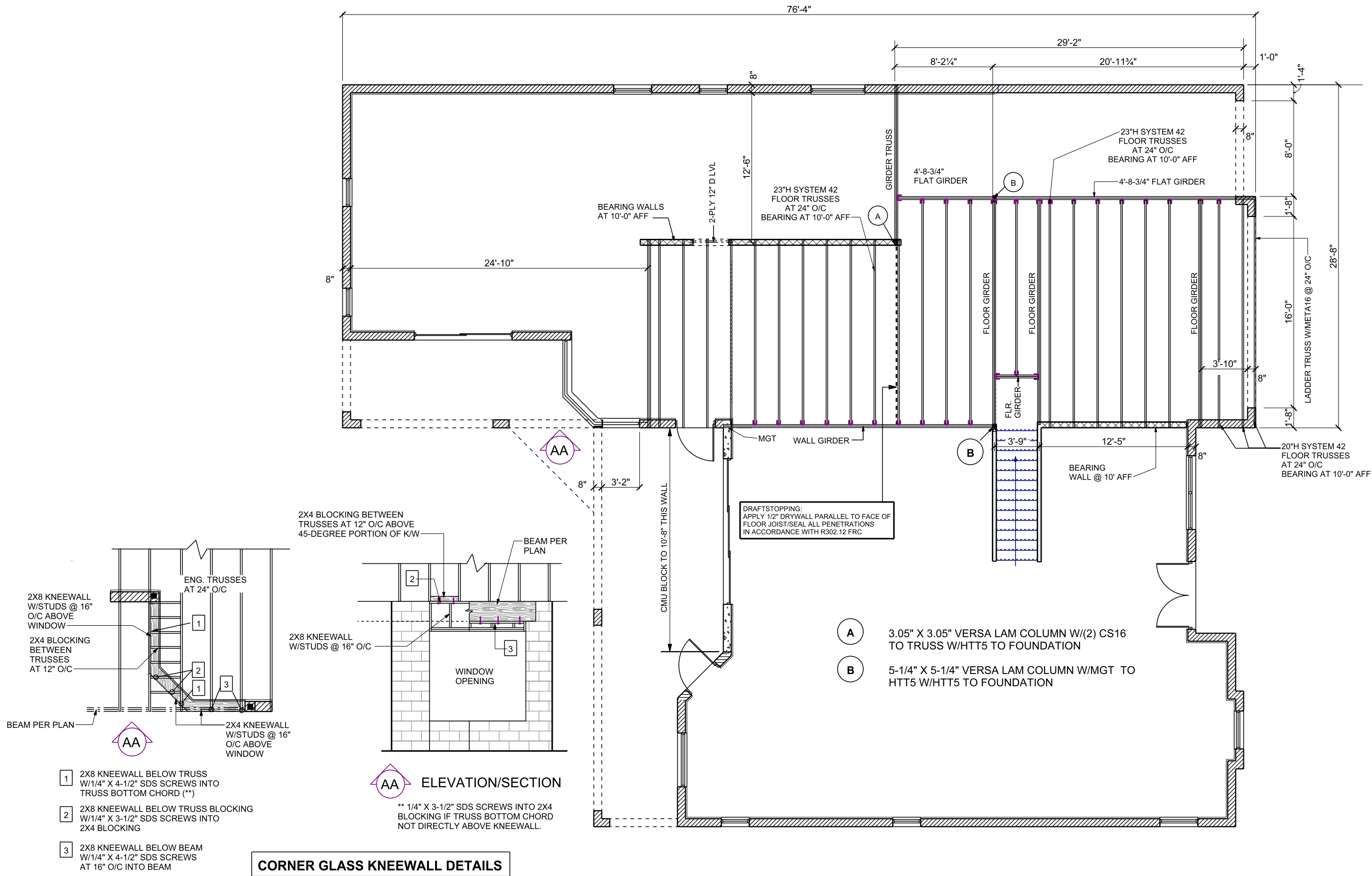
LOT 35 MAJESTIC OAKS
LOX RESIDENCE

1. BUYER REVISIONS
2. PRELIM PLANS
3. ENG. REVIEW

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CORNER GLASS KNEEWALL DETAILS

3B

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NEW PORT RICHEY, FL. 34655

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LOT 35 MAJESTIC OAKS
LOX RESIDENCE

1/8" = 1'-0"

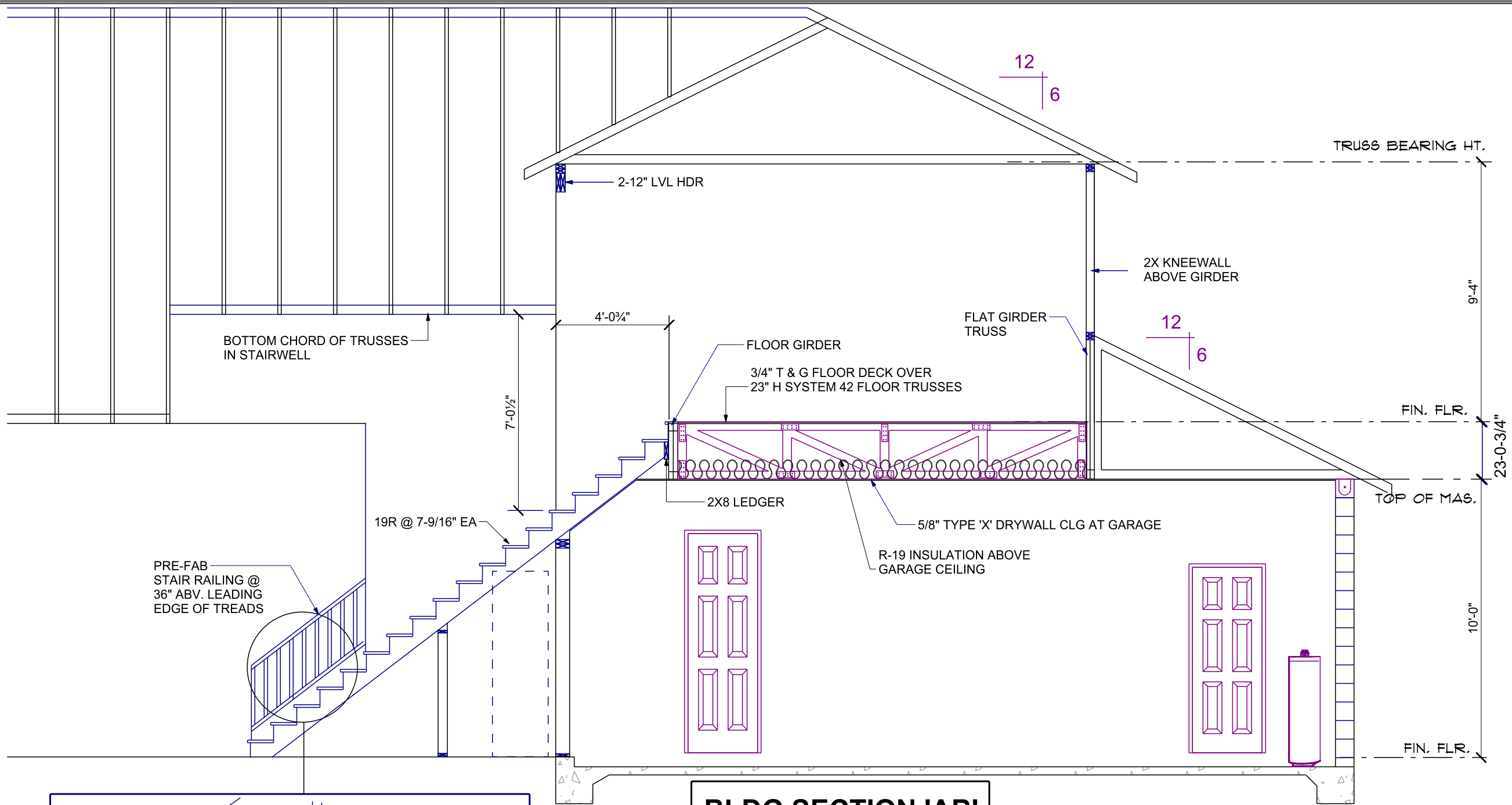
A.E.C.S # 15058

PLAN 3707

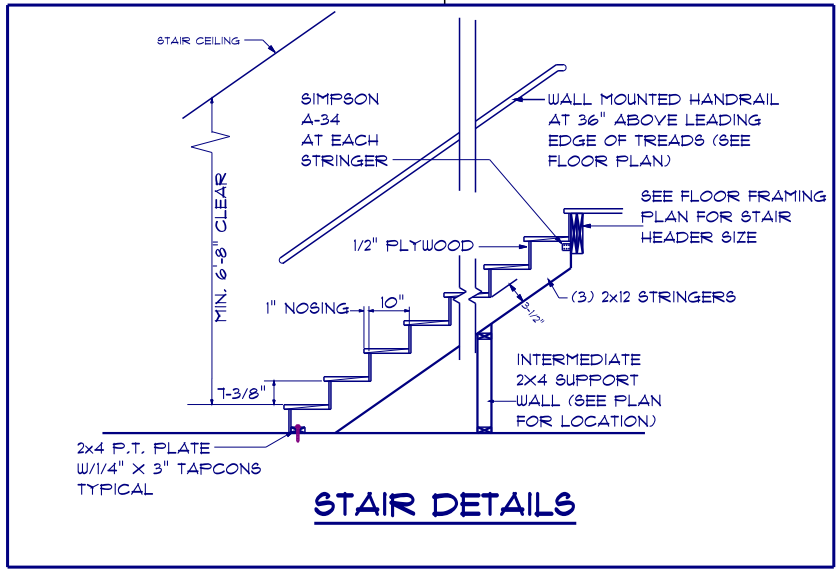
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richallape@gmail.com



BLDG SECTION 'AB'



STAIR DETAILS

1/4" = 1'-0"

A.E.C.S # 15058 PLAN 3707

3C

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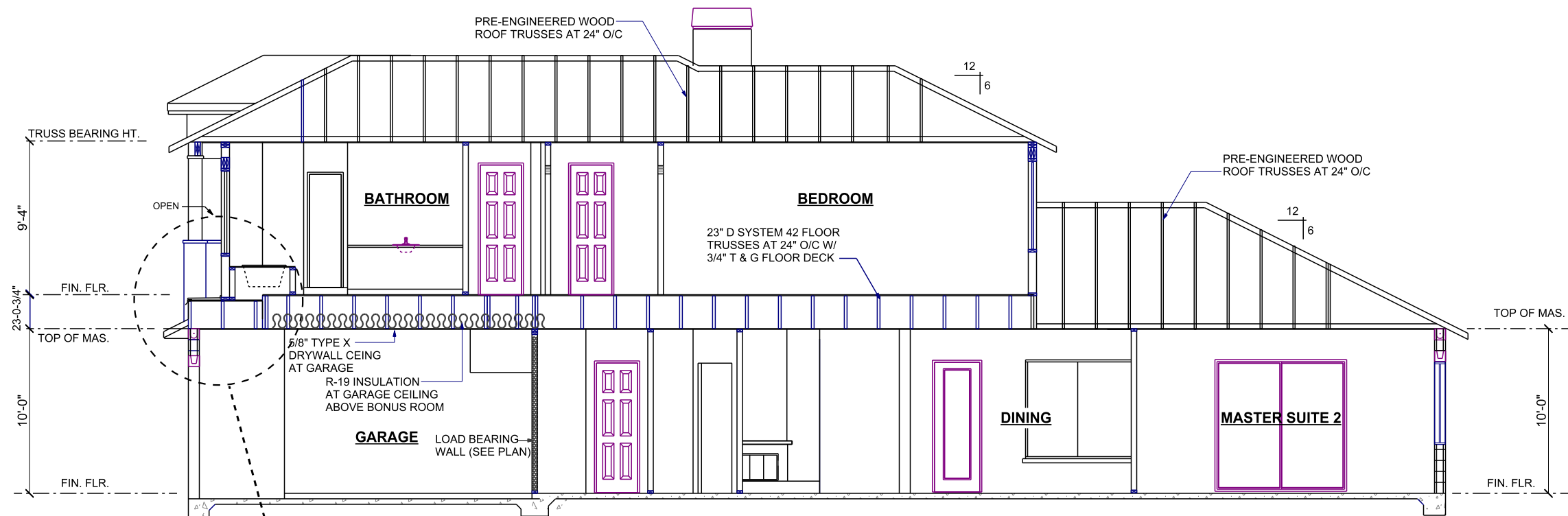
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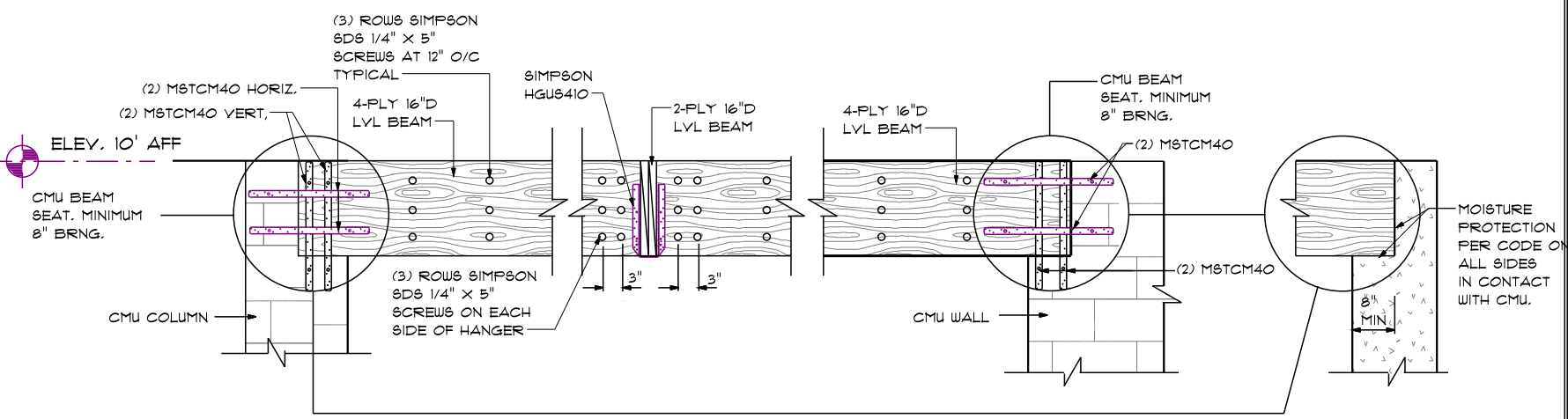
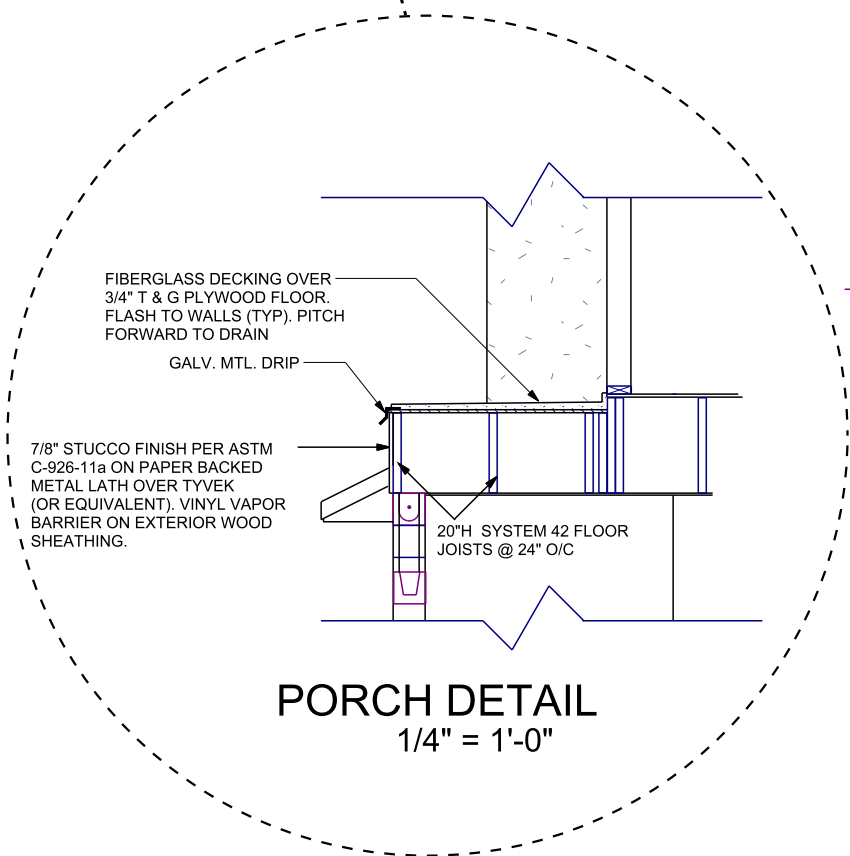
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BUILDING SECTION 'AA'



LANAI BEAM CONNECTION DETAIL A/3D

SEE SHEET 6A FOR SECTION LOCATION

SECTION DETAILS

1/8" = 1'-0"

A.E.C.S # 15058 PLAN 3707

3D

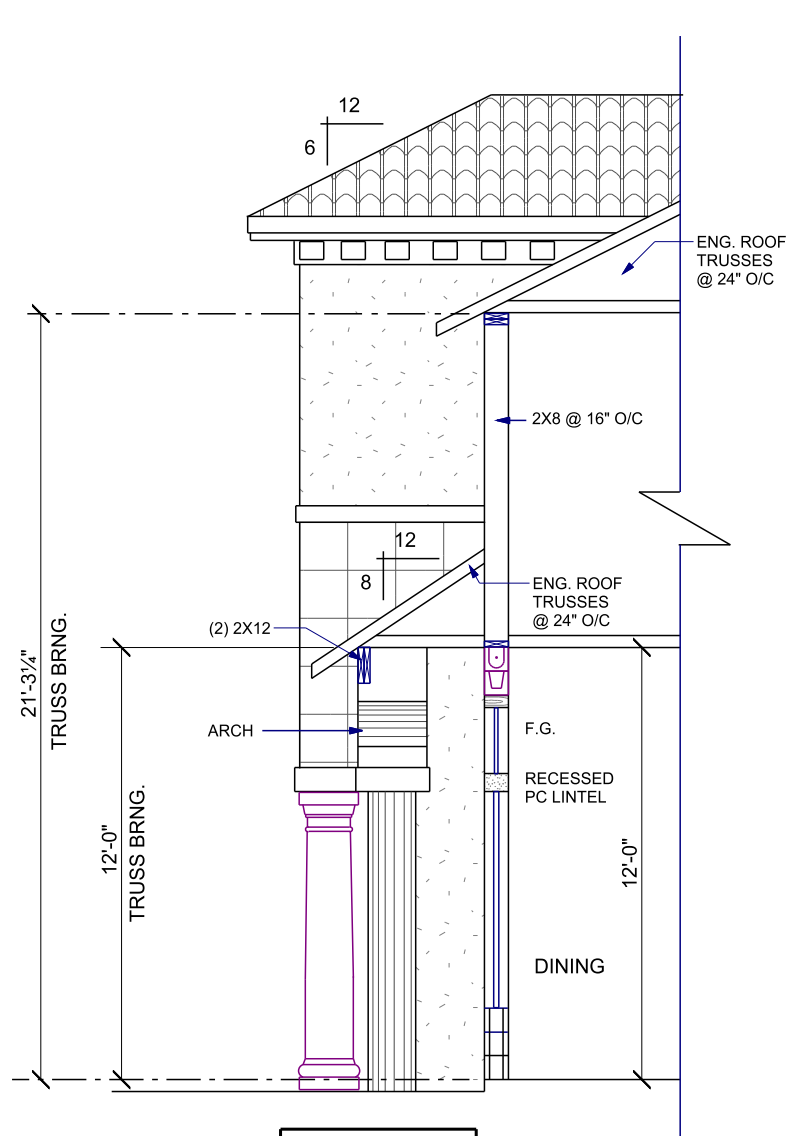
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HOMES, LTD.**
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**LOT 35 MAJESTIC OAKS
LOX RESIDENCE**
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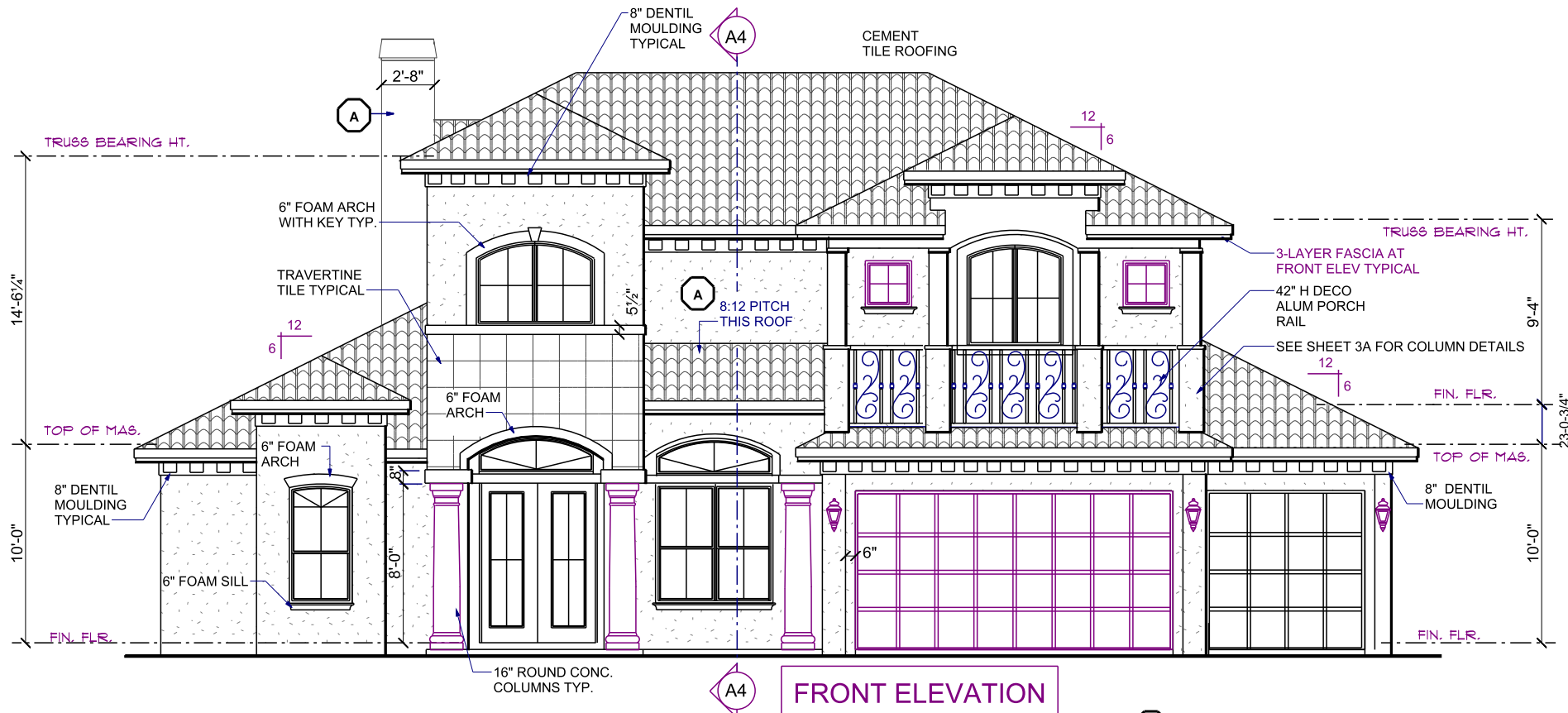
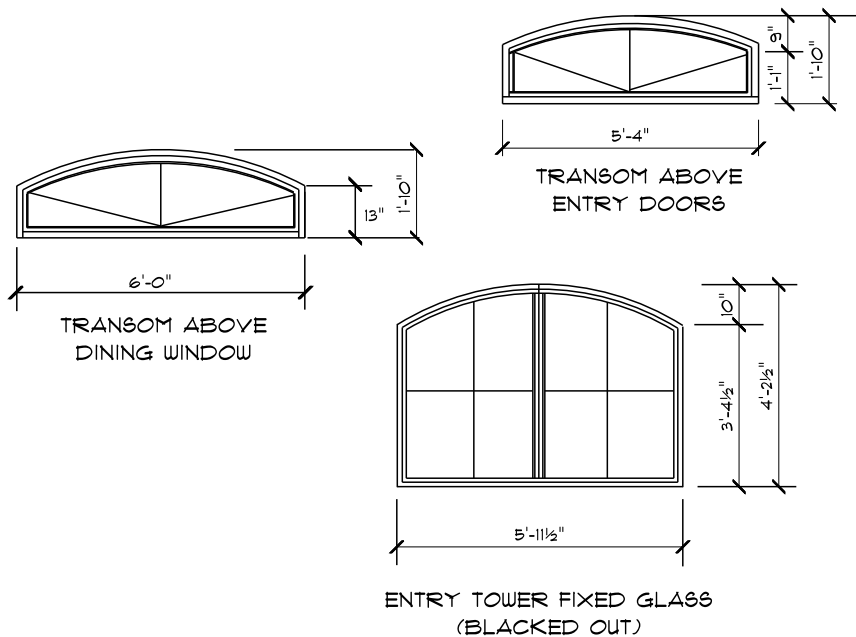
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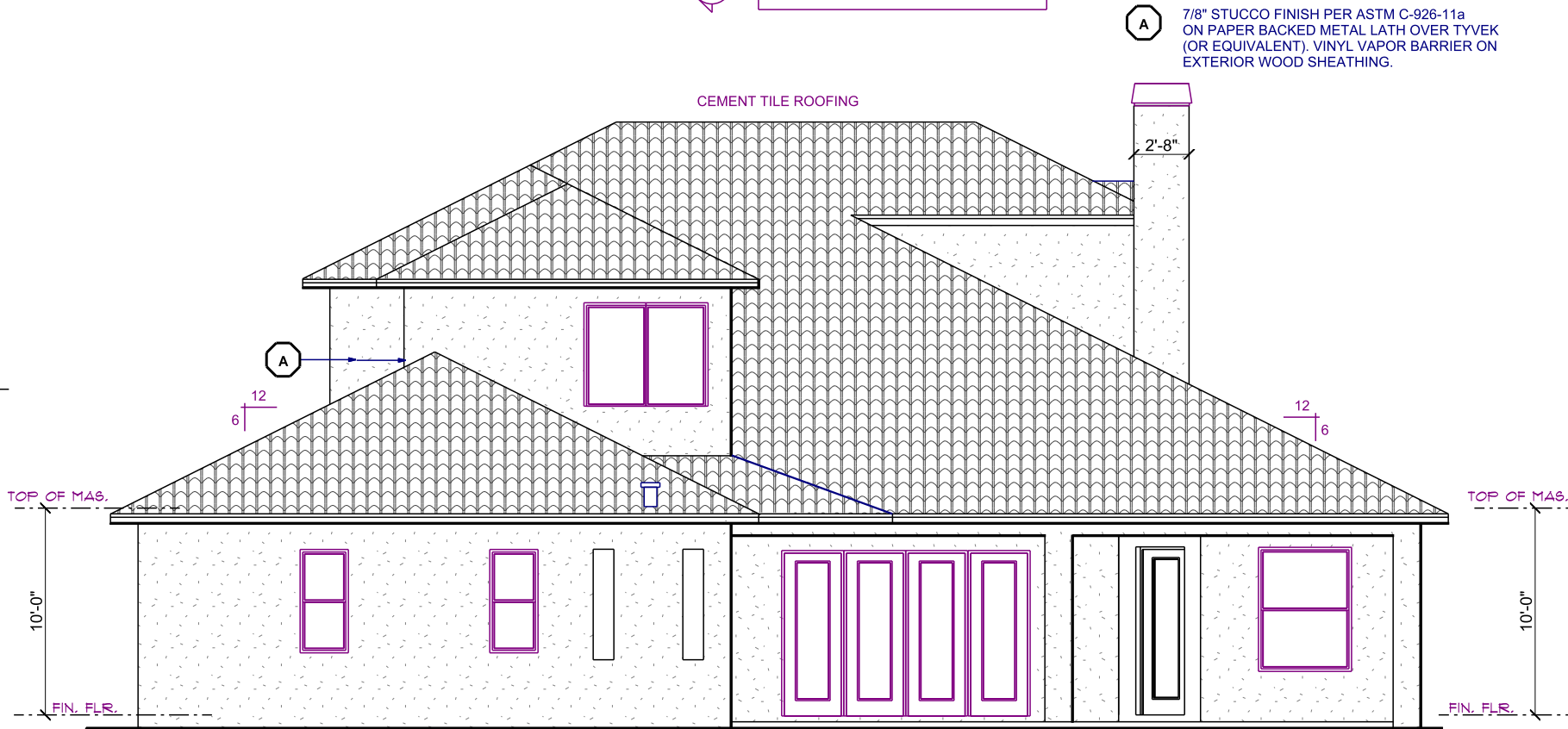


'SECT. A/4'

3/16" = 1'-0"



FRONT ELEVATION



REAR ELEVATION

SEE SHEET 2B FOR
OUTDOOR GRILLE
DETAILS

PLAN 3707

1/8" = 1'-0"

EXTERIOR ELEVATIONS

LOT 35 MAJESTIC OAKS
LOX RESIDENCE

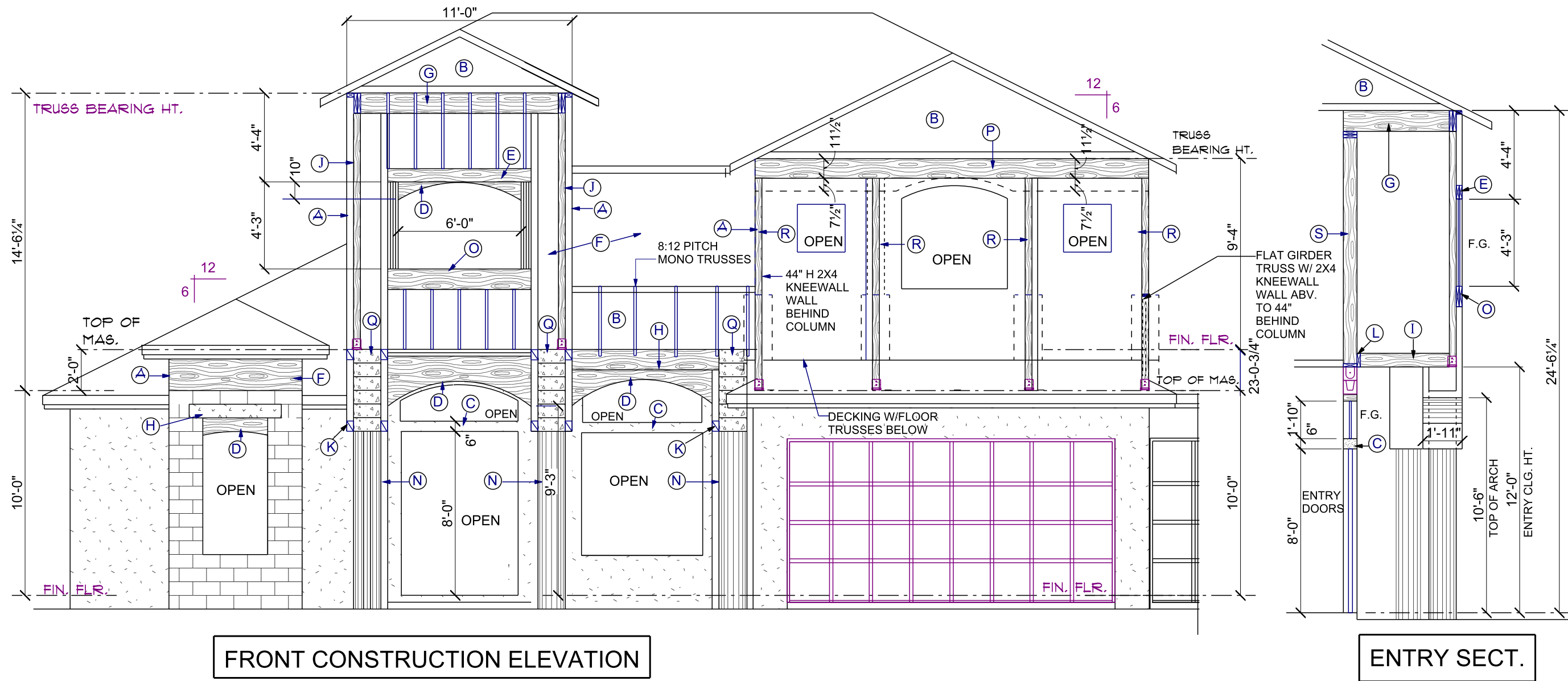
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DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

4



NOTES:

- (A) 2X4 KNEEWALL W/SYP @ 16" O/C W/H10 TO TRUSS W/SP2 TO TOP PLATES W/SP1 TO BTM PLATES W/2X4 BLOCKING BETWEEN TRUSS BAYS AT 16" O/C W/3/8" X 4" LAG SCREW EACH BLOCK TO BTM PLATE W/1/2" SHEATHING & 8d NAILS @ 4" O/C. SEE DETAIL THIS SHEET
- (B) PRE-ENG. WOOD ROOF TRUSSES TYP.
- (C) RECESSED PRECAST LINTEL
- (D) 2X4 ARCH FRAMING W/7/16" OSB SHEATHING TYPICAL
- (E) DBL 2X8 HDR W/H2.5 AT EACH END
- (F) 7/16" OSB SHEATHING W/8d NAILS AT 4" O/C EDGES & ENDS AND 6" O/C IN FIELD (TYP).
- (G) (2) 2X12 BEAMS. WRAP CORNERS W/(2) CS16 TYPICAL
- (H) DBL 2X12
- (I) 2X8 CEILING FRAMING @ 16" O/C
- (J) (4) STUD CORNER COLUMN W/(2) HTS16 TO BEAM AND (2) MSTAM36 TO CMU - 1 PER FACE
- (K) 2X6 FRAMING W/2 1/4" X 3" TAPCONS INTO CMU COLUMNS
- (L) 2X8 LEDGER W/(2) 1/4" X 3" SDS SCREWS AT EACH STUD
- (M) 2X8 @ 24" O/C W/LUS26 EACH END
- (N) 16" ROUND CMU COLUMN
- (O) DBL 2X12
- (P) 2-PLY 12" D LVL W/MTS16 TO EA COLUMN. WRAP CORNERS W/(2)-CS16
- (Q) 16" SQUARE CMU COLUMN
- (R) 4 X 4 PT POST W/ABU44 TO MASONRY
- (S) (3) STUD 2X8 COLUMN @ BEAMS W/(2) MTSAM24 TO CONCRETE & (2) HTS16 TO BEAMS (TYP. @ BEAMS)

ENTRY TOWER DETAILS

3/16" = 1'-0"

A.E.C.S # 15058 PLAN 3707

4A

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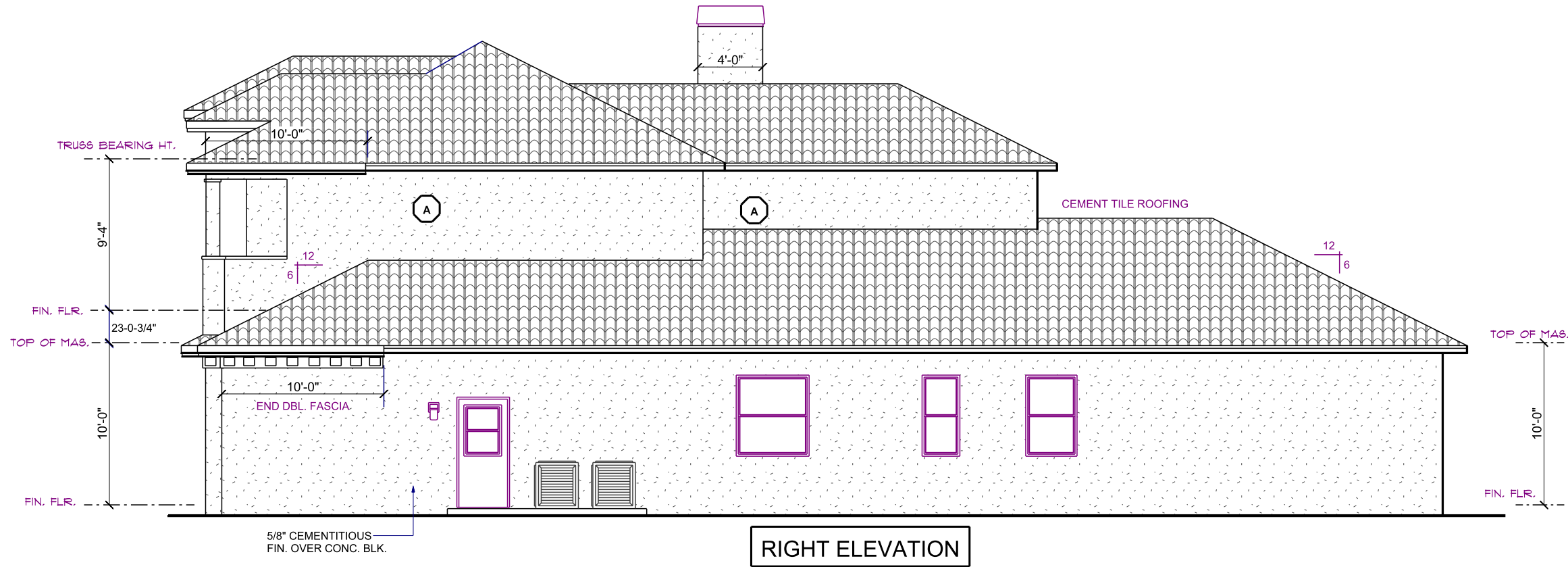
LOT 35 MAJESTIC OAKS
LOX RESIDENCE

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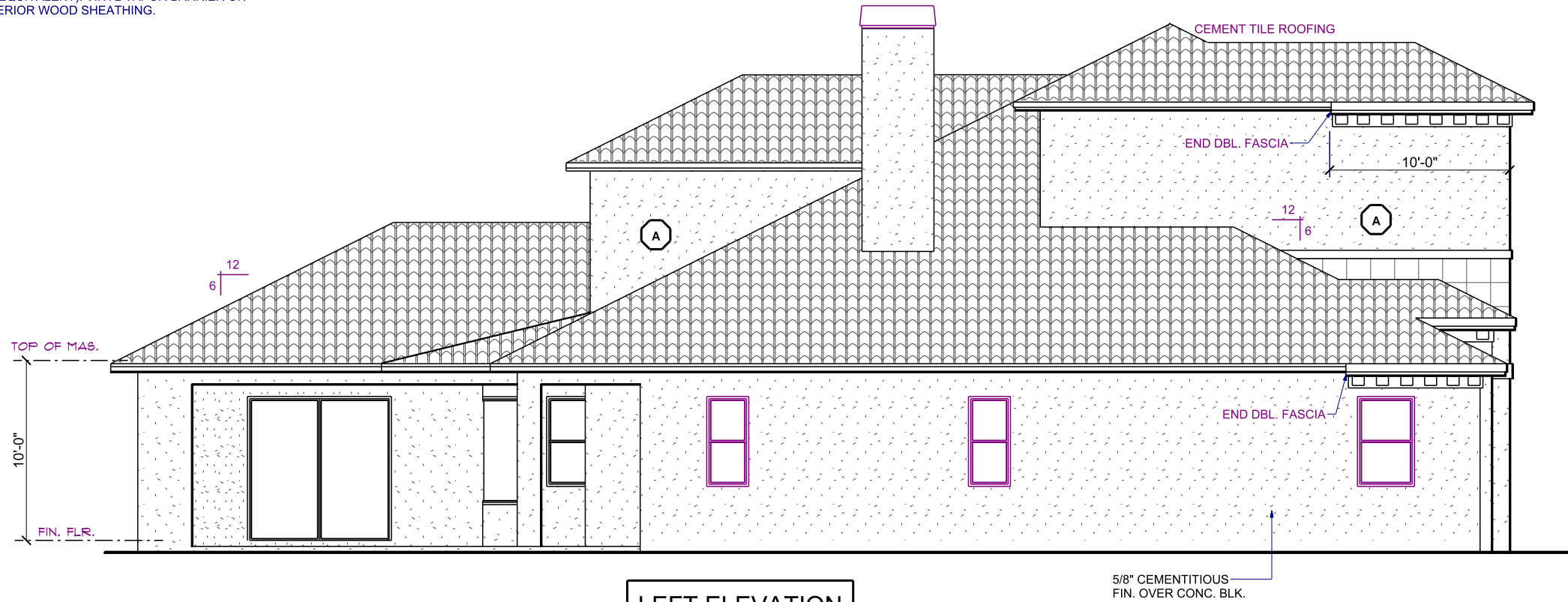
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RIGHT ELEVATION

A 7/8" STUCCO FINISH PER ASTM C-926-11a ON PAPER BACKED METAL LATH OVER TYVEK (OR EQUIVALENT). VINYL VAPOR BARRIER ON EXTERIOR WOOD SHEATHING.



LEFT ELEVATION

EXTERIOR ELEVATIONS

1/8" = 1'-0"

PLAN 3707

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

LOT 35 MAJESTIC OAKS
LOX RESIDENCE

1 & 2. BUYER REVS.
3. PRELIM PLAN
4. ENG. REVIEW

PLAN DATE

1. 09-08-2015
2. 09-14-2015
3. 10-22-2015
4. 10-30-2015

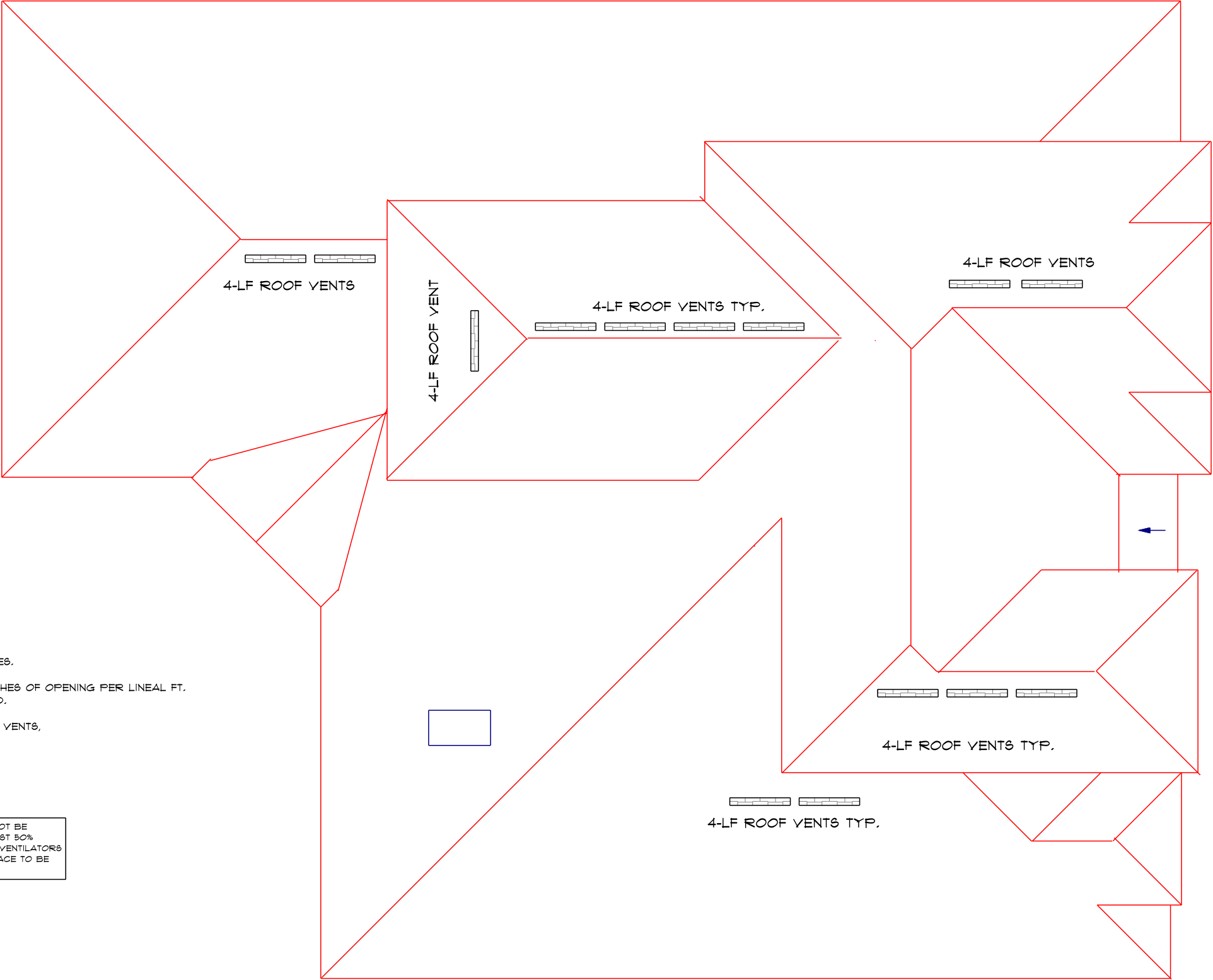
5

TOTAL AREA TO BE VENTILATED = 4020 S.F.
4020/300 = 13.40 S.F OR 1930 SQUARE INCHES.

ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
1914 S.I. / 36 S.I. = 54 LINEAL FEET REQUIRED.

INSTALLATION FOR THIS ROOF IS 14 - 4 FOOT VENTS,
TOTALING 56 LINEAL FEET.

TOTAL NET FREE VENTILATING AREA SHALL NOT BE
LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50%
AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS
LOCATED IN THE UPPER PORTION OF THE SPACE TO BE
VENTILATED PER SECT. R206.2



ROOF PLAN

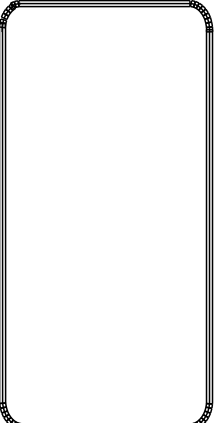
1/8" = 1'-0"

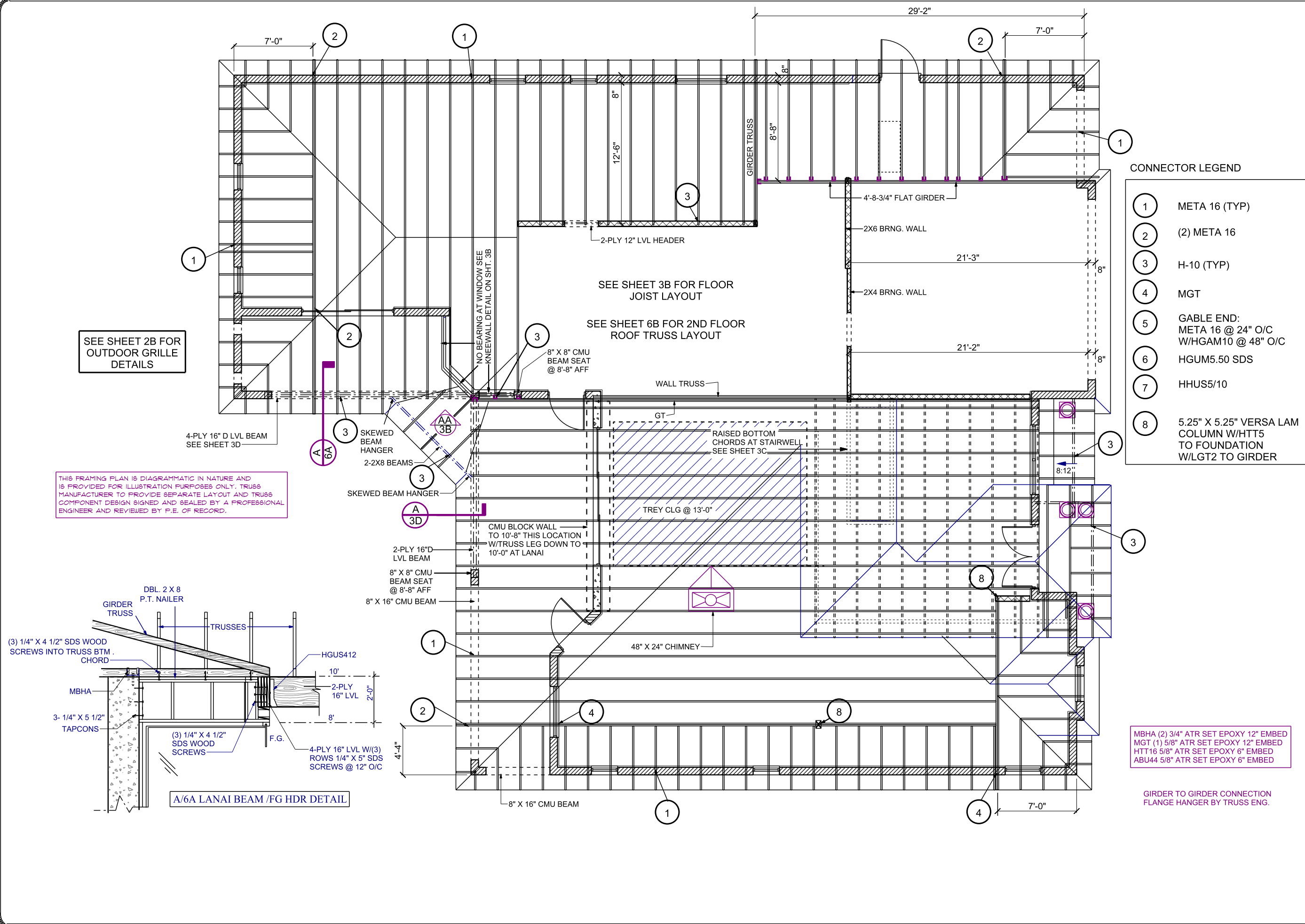
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FIRST FLOOR TRUSS PLAN

1/8" = 1'-0"

A.E.C.S # 15058 PLAN 3707

6A

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LOT 35 MAJESTIC OAKS
LOX RESIDENCE

HEREBY CERTIFY THAT I HAVE
DESIGNED THIS PROJECT
TO COMPLY WITH ALL APPLICABLE
WIND LOADS, EXPOSURE B AND IT IS
IN COMPLIANCE WITH CHAPTER 16 OF
THE 2014 FLORIDA BUILDING CODE,
SEALED FOR THE STRUCTURE ONLY.

ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
P.O. BOX 351
NEW PORT RICHEY, FL 34656
727-842-6100
richallenpe@gmail.com

PLAN DATE

1. 09-08-2015
2. 10-22-2015
3. 10-30-2015

1. BUYER REVISIONS
2. PRELIM PLANS
3. ENG. REVIEW

CONNECTOR LEGEND

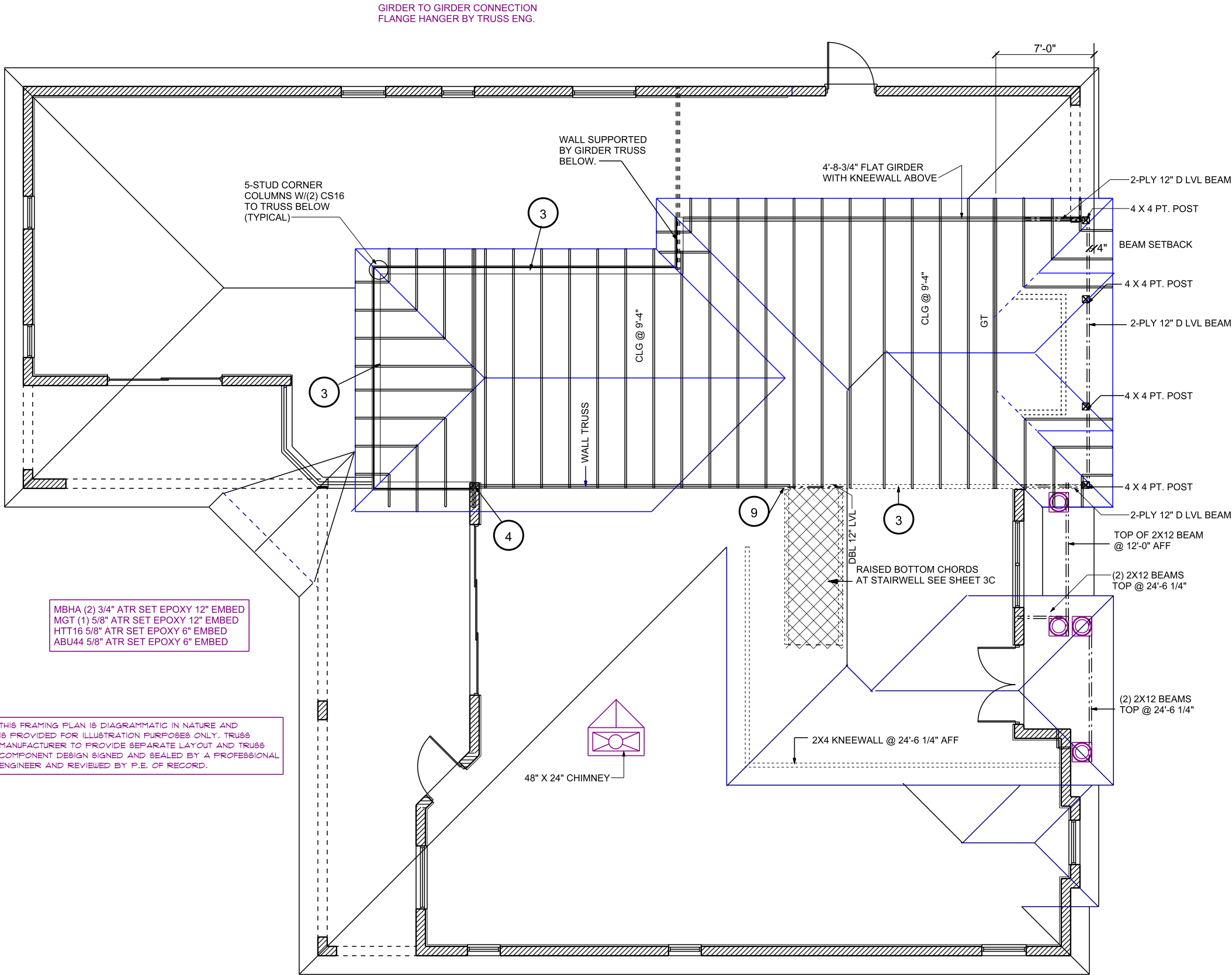
- 1 META 16 (TYP)
- (2) META 16
- 3 H-10 (TYP)
- 4 MGT
- 5 GABLE END:
META 16 @ 24" O/C
W/HGAM10 @ 48" O/C
- 6 HGUM5.50 SDS
- 7 HHUS5/10
- 8 5.25" X 5.25" VERSA LAM
COLUMN W/HTT5
TO FOUNDATION
W/LGT2 TO GIRDER

MBHA (2) 3/4" ATR SET EPOXY 12" EMBED
MGT (1) 5/8" ATR SET EPOXY 12" EMBED
HTT16 5/8" ATR SET EPOXY 6" EMBED
ABU44 5/8" ATR SET EPOXY 6" EMBED

GIRDER TO GIRDER CONNECTION
FLANGE HANGER BY TRUSS ENG.

CONNECTOR LEGEND

- 1 META 16 (TYP)
- 2 (2) META 16
- 3 H-10 (TYP)
- 4 MGT
- 5 GABLE END:
META 16 @ 24" O/C
W/HGAM10 @ 48" O/C
- 6 HGUM5.50 SDS
- 7 HHUS5/10
- 8 5.25" X 5.25" VERSA LAM
COLUMN W/HTT5
TO FOUNDATION
W/LGT2 TO GIRDER
- 9 5-1/4" X 5-1/4" VERSA LAM
COLUMN W/MGT TO HTT5
W/HTT5 TO FOUNDATION



2ND FLOOR ROOF TRUSS PLAN 1/8" = 1'-0" A.E.C.S # 15058 PLAN 3707

6B

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LOT 35 MAJESTIC OAKS
LOX RESIDENCE

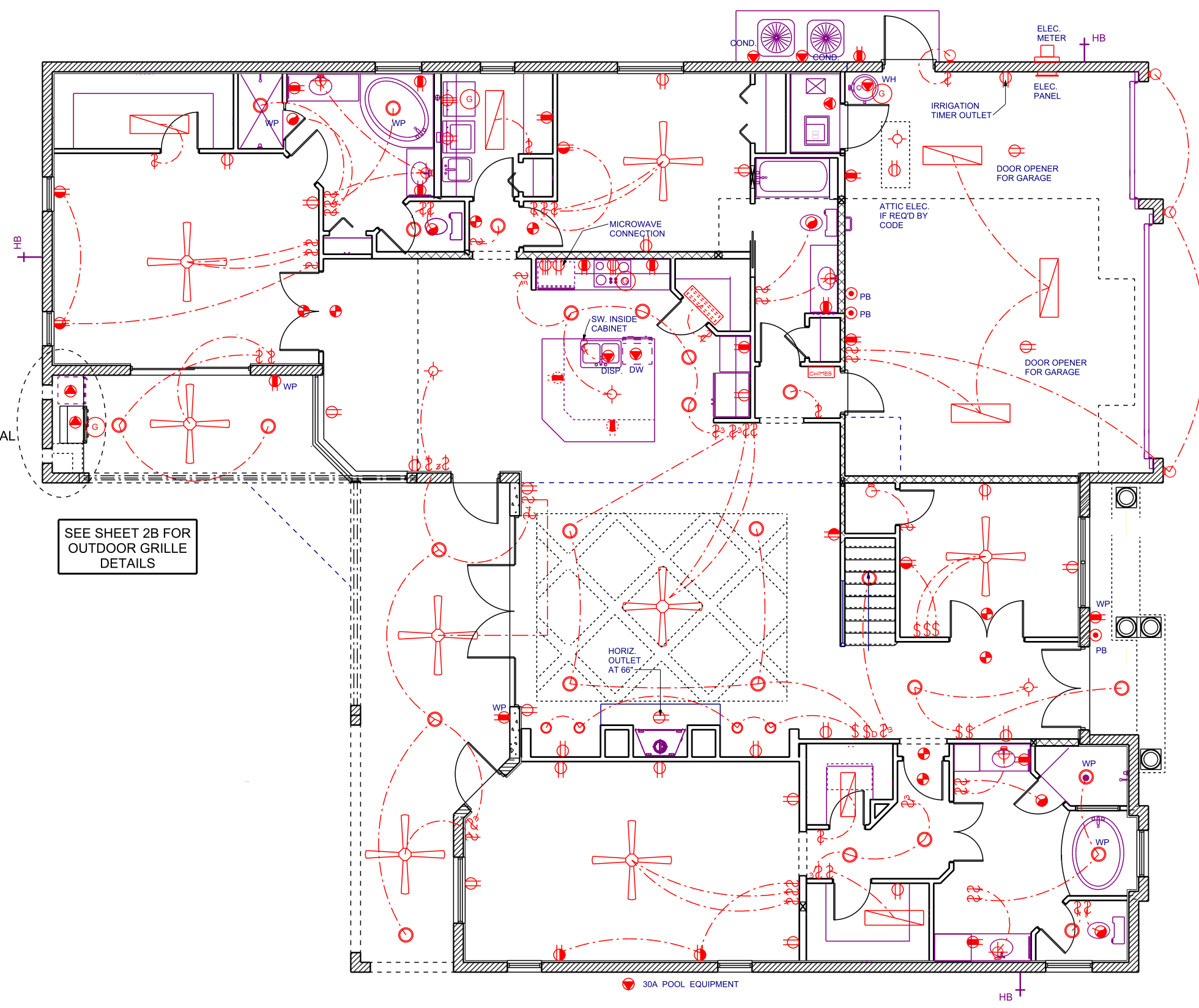
1. BUYER REVISIONS
2. PRELIM PLANS
3. ENG. REVIEW

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SIGNED
RICHARD E. ALLEN P.E. #56920

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RICH ALLEN PROFESSIONAL ENGINEER
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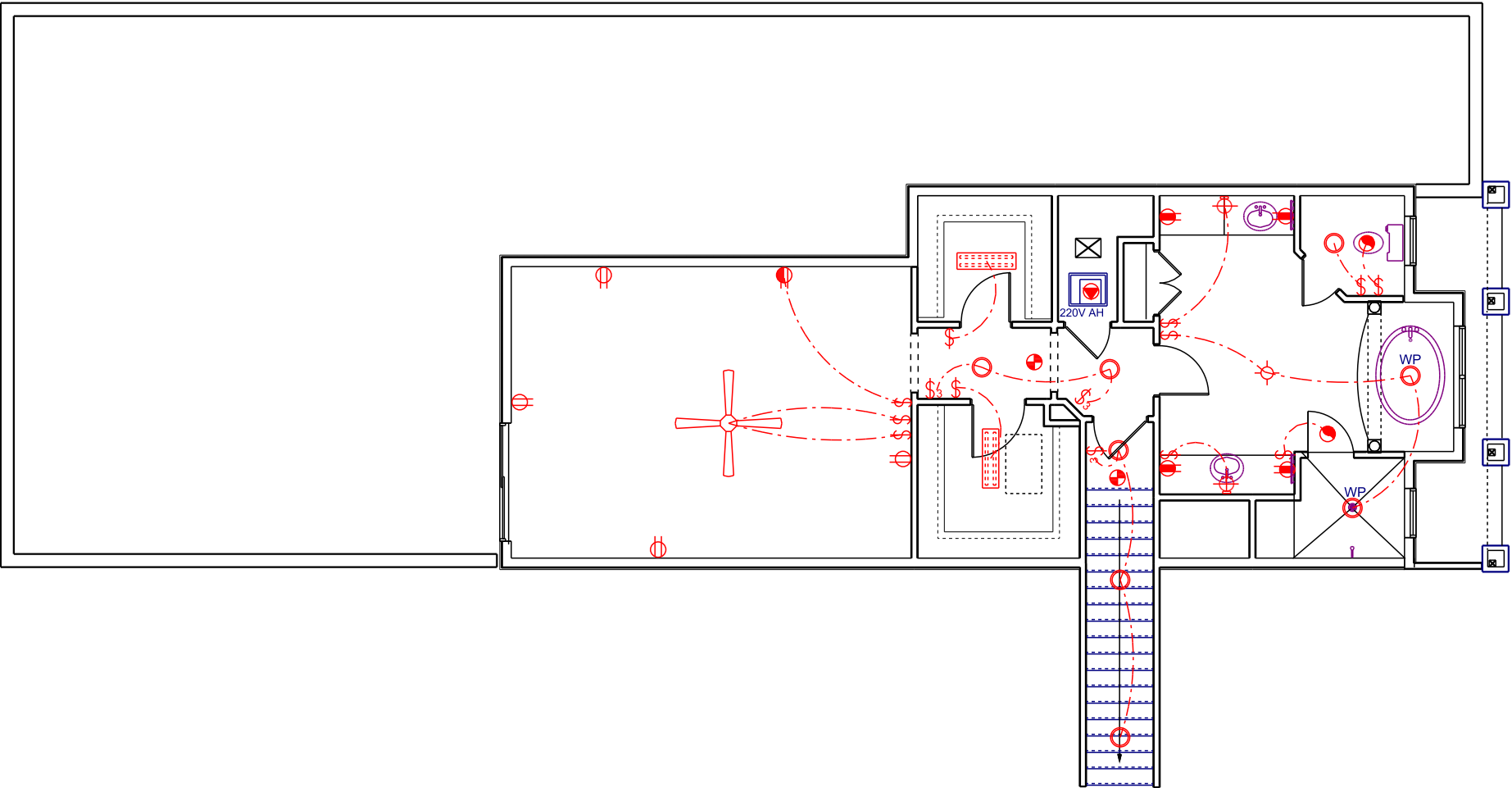


SEE SHEET 2B FOR
OUTDOOR GRILLE
DETAILS

- 
- 30A POOL EQUIPMENT

ELECTRICAL PLAN

7



7. ALL RECEPTACLES TO BE TAMPER PROOF
PER NEC. SECT. 406.11

2ND FLR. ELECTRICAL PLAN

PLAN 3707

$$1/8'' = 1'-0''$$

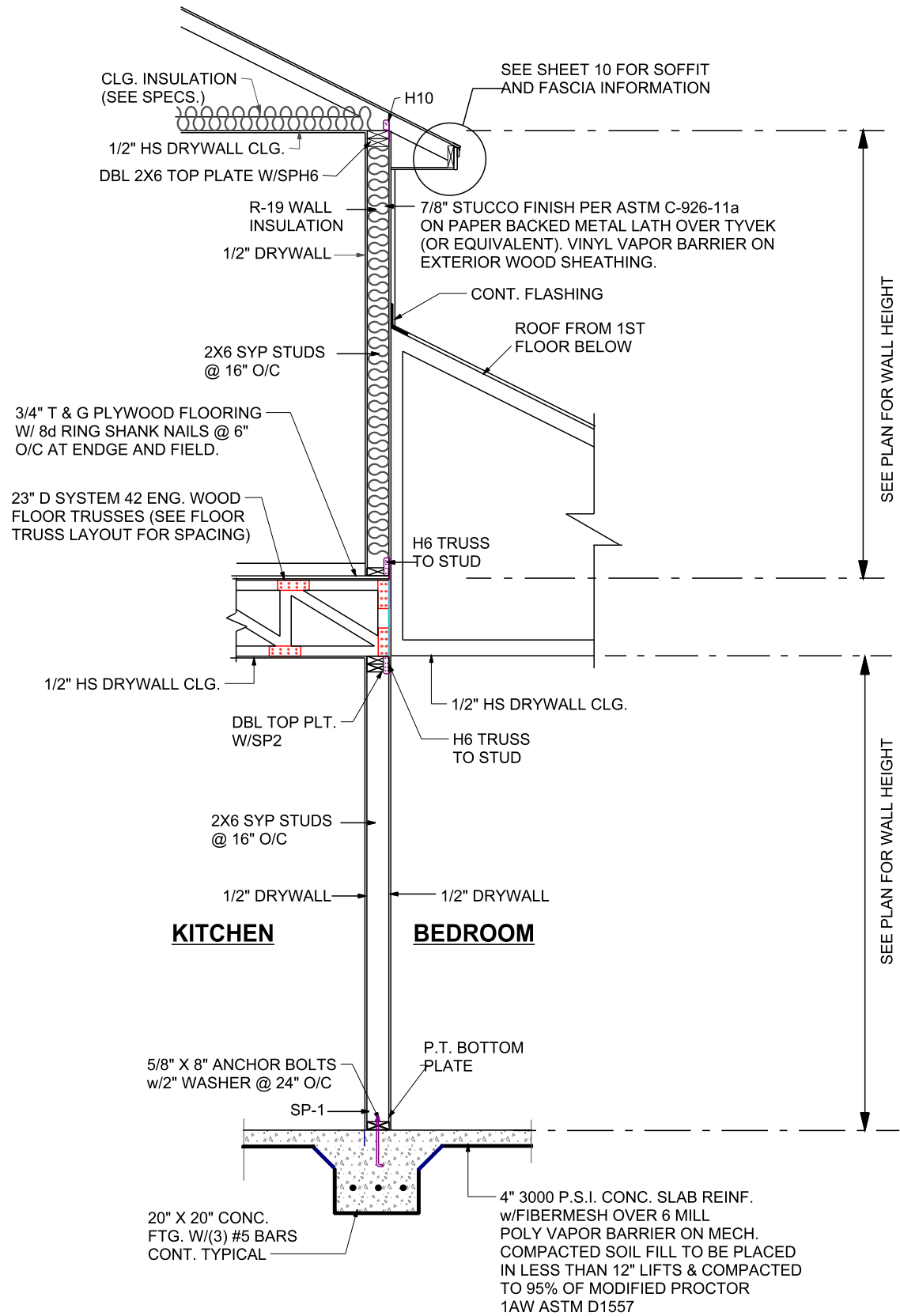
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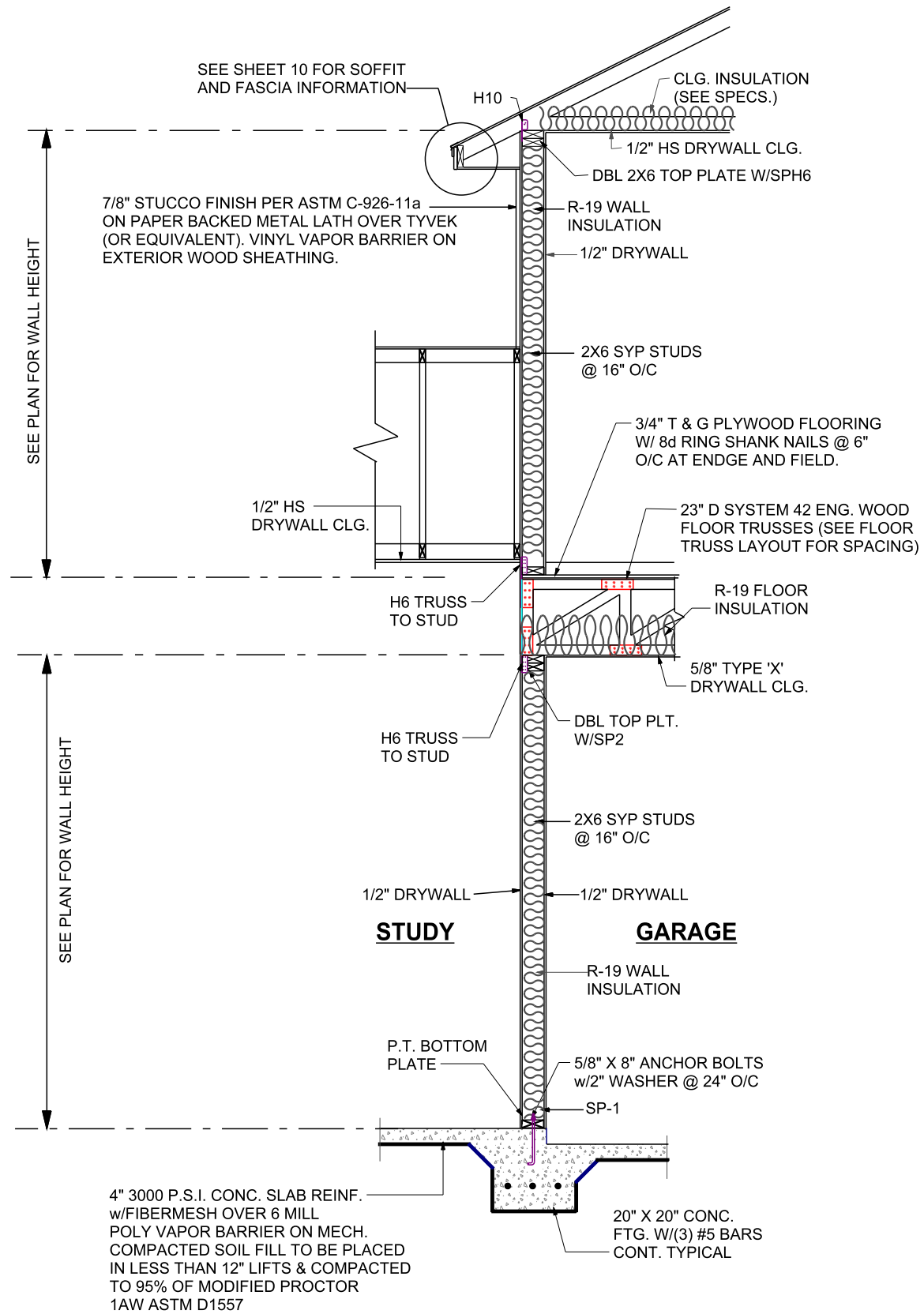
LOT 35 MAJESTIC OAKS
LOX RESIDENCE

4. ENG. REVIEW

7A



2-STY INTER. FRAME BRNG. WALL ②



① 2-STY INTER. FRAME BRNG. WALL

CONSTRUCTION DETAILS

A.E.C.S # 15058 PLAN 3707

10A

DEEB FAMILY
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