

NOTES

- 1) NO SOILS INFORMATION PROVIDED. PRESUMED ALLOWABLE SOIL BEARING CAPACITY IS 2000 P.S.F.
- 2) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
- 3) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 4) REFER TO STRUCTURAL ENGINEER NOTES.

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB ON GRADE SHALL COMPLY WITH REC SECT. 1911.2 (EXCEPTION 1)

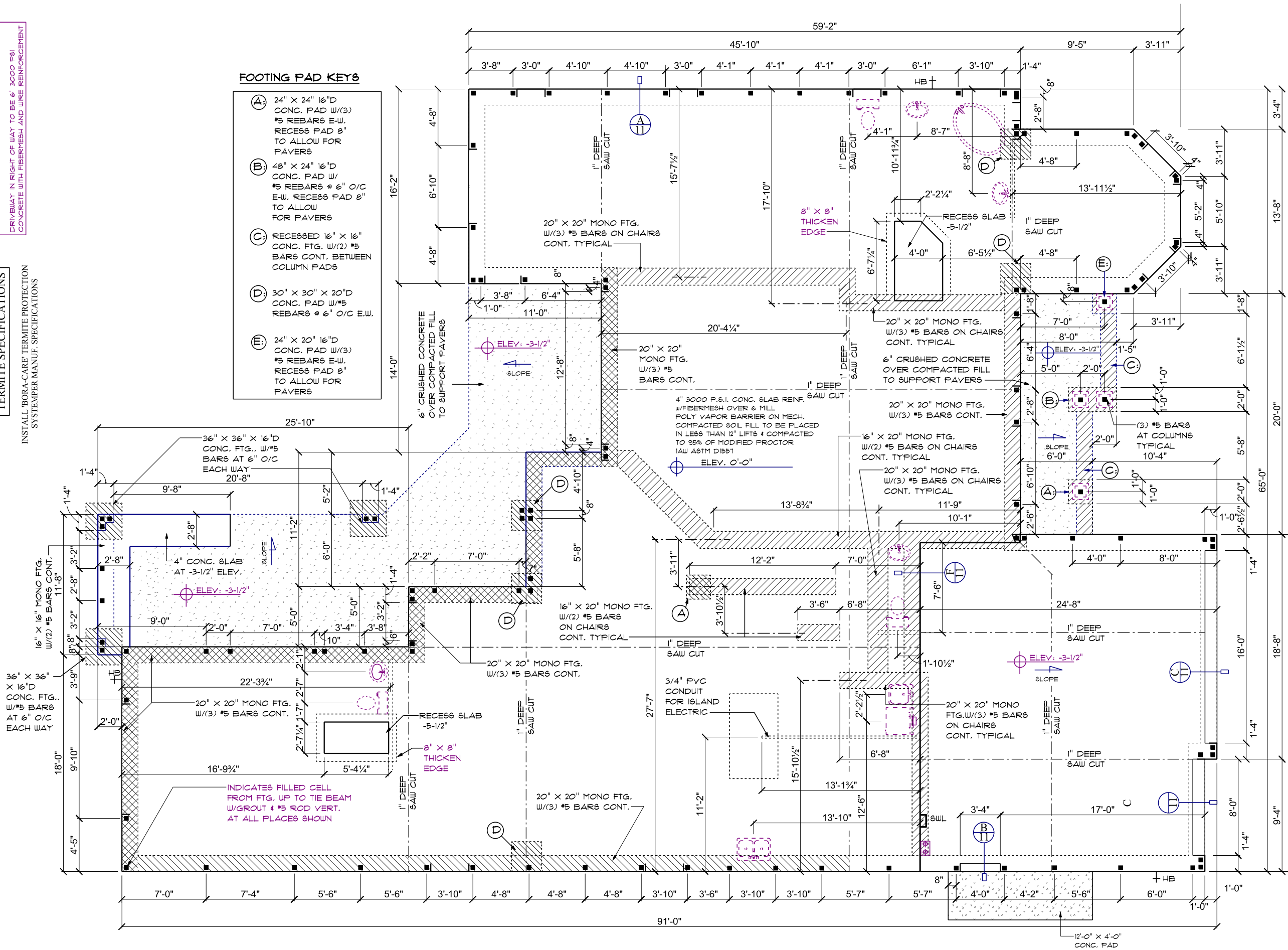
TERMITE SPECIFICATIONS

INSTALL "BORACARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

DRIVEWAY SPEC:
DRIVEWAY NOT IN RIGHT OF WAY TO BE BRICK PAVING.
DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT

FOOTING PAD KEYS

- (A) 24" X 24" 16"D CONC. PAD W/(3) #5 REBARS E-W. RECESS PAD 8" TO ALLOW FOR PAVERS
- (B) 48" X 24" 16"D CONC. PAD W/ #5 REBARS @ 6" O/C E-W. RECESS PAD 8" TO ALLOW FOR PAVERS
- (C) RECESSED 16" X 16" CONC. FTG. W/(2) #5 BARS CONT. BETWEEN COLUMN PADS
- (D) 30" X 30" X 20"D CONC. PAD W/#5 REBARS @ 6" O/C E.W.
- (E) 24" X 20" 16"D CONC. PAD W/(3) #5 REBARS E-W. RECESS PAD 8" TO ALLOW FOR PAVERS



FOUNDATION PLAN

SCALE 1/8" = 1'-0"

A.E.C.S # 00000

ASPEN 4334-C

DEEB FAMILY
HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

HEAGLE RESIDENCE
300 CORDOVA BLVD. NE
ST. PETERSBURG, FL 33764

PLAN DATE

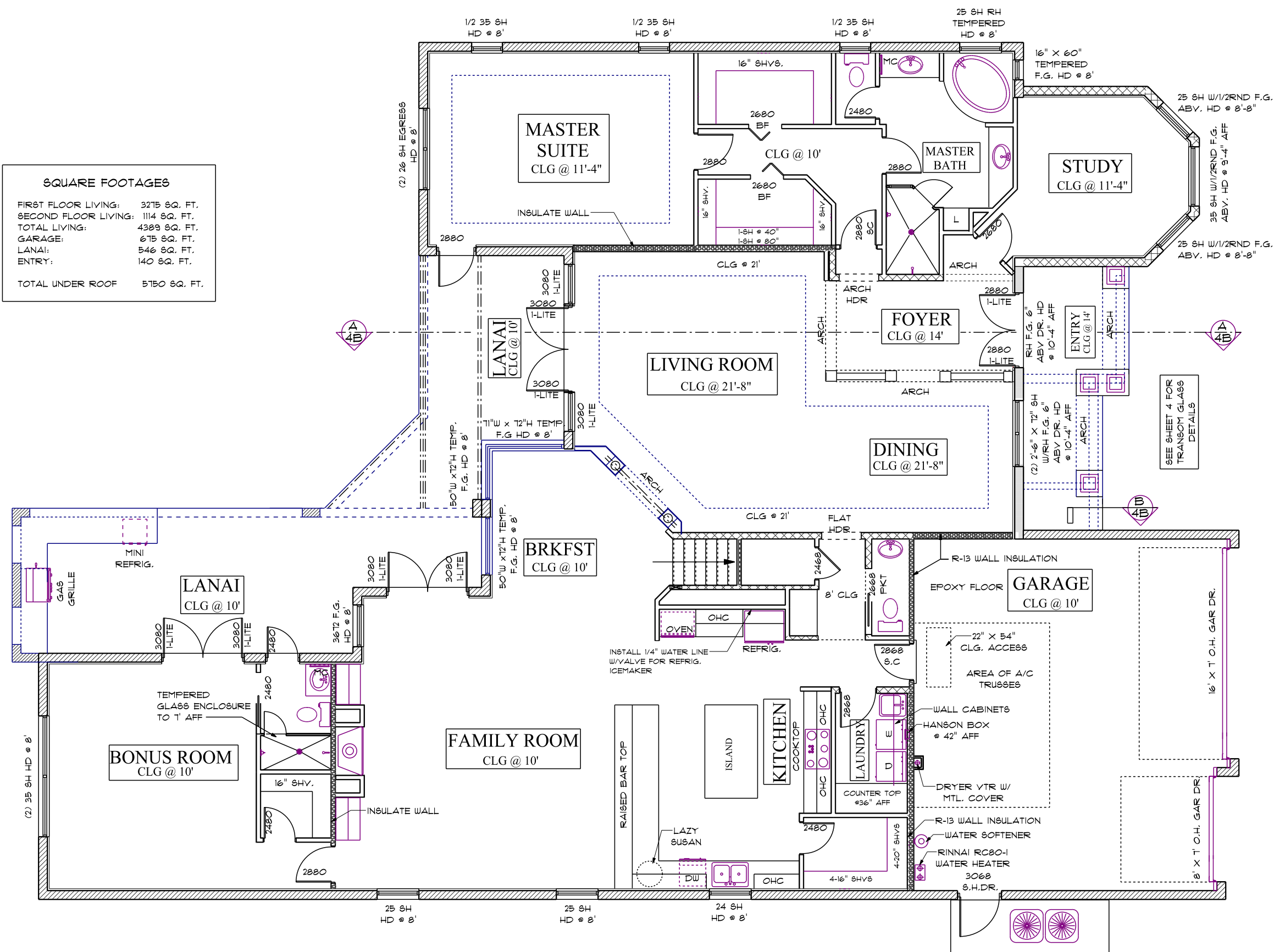
03-14-2016
03-28-2016

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 145 MPH ULTIMATE WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2014 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.

SIGNED
RICHARD E. ALLEN P.E. #56920

ALLEN ENGINEERING &
CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
P.E. #56920 C.A. #9542
P.O. BOX 351
NEW PORT RICHEY, FL 34656
727-842-6100
richallenpe@gmail.com

1



SQUARE FOOTAGES	
FIRST FLOOR LIVING:	3275 SQ. FT.
SECOND FLOOR LIVING:	1114 SQ. FT.
TOTAL LIVING:	4389 SQ. FT.
GARAGE:	675 SQ. FT.
LANAI:	546 SQ. FT.
ENTRY:	140 SQ. FT.
TOTAL UNDER ROOF	5750 SQ. FT.

FLOOR PLAN NOTES

SCALE 1/8" = 1'-0"

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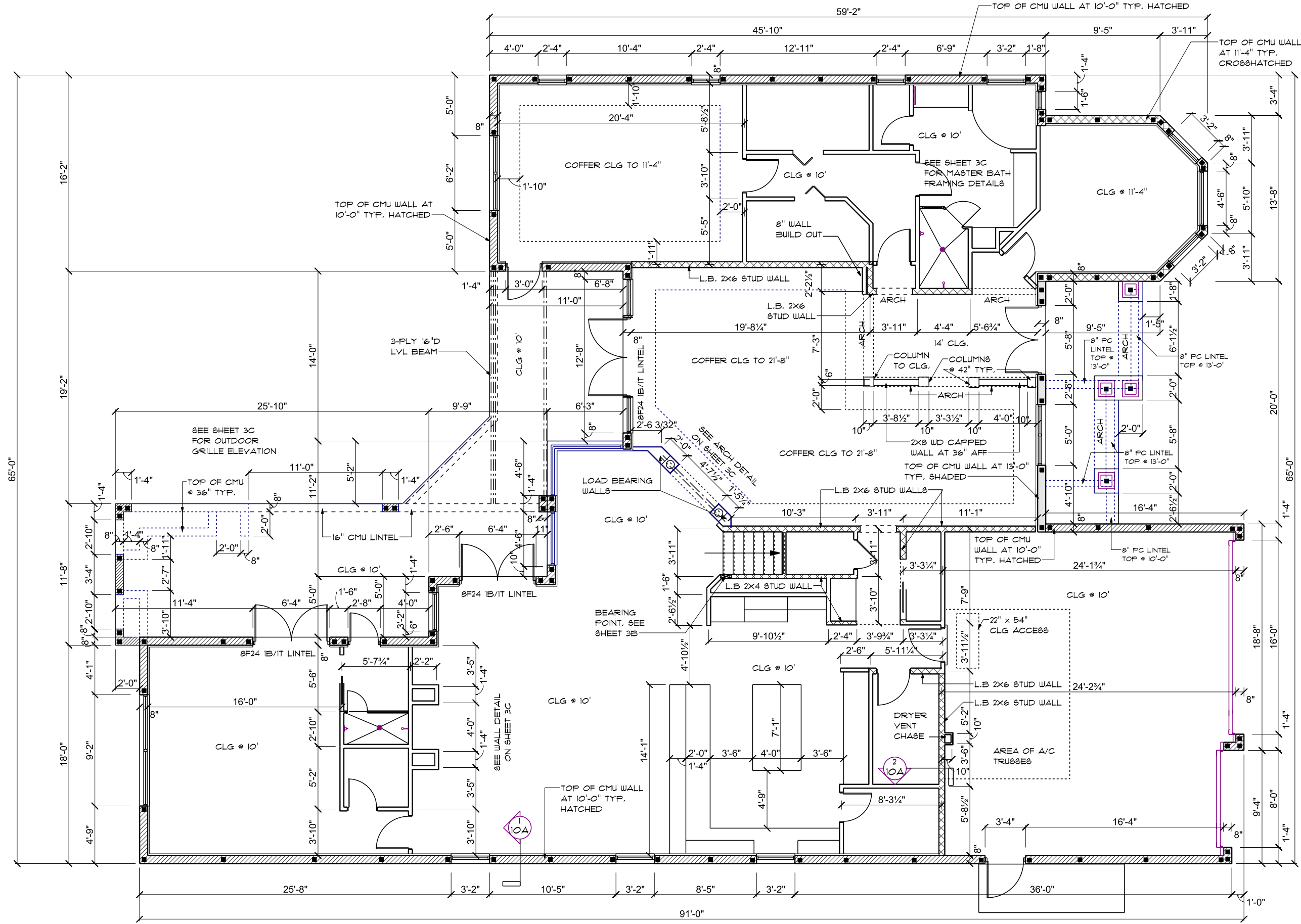
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03-14-2016

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03-14-2016

2A



DIMENSION PLAN

SCALE 1/8" = 1'-0"

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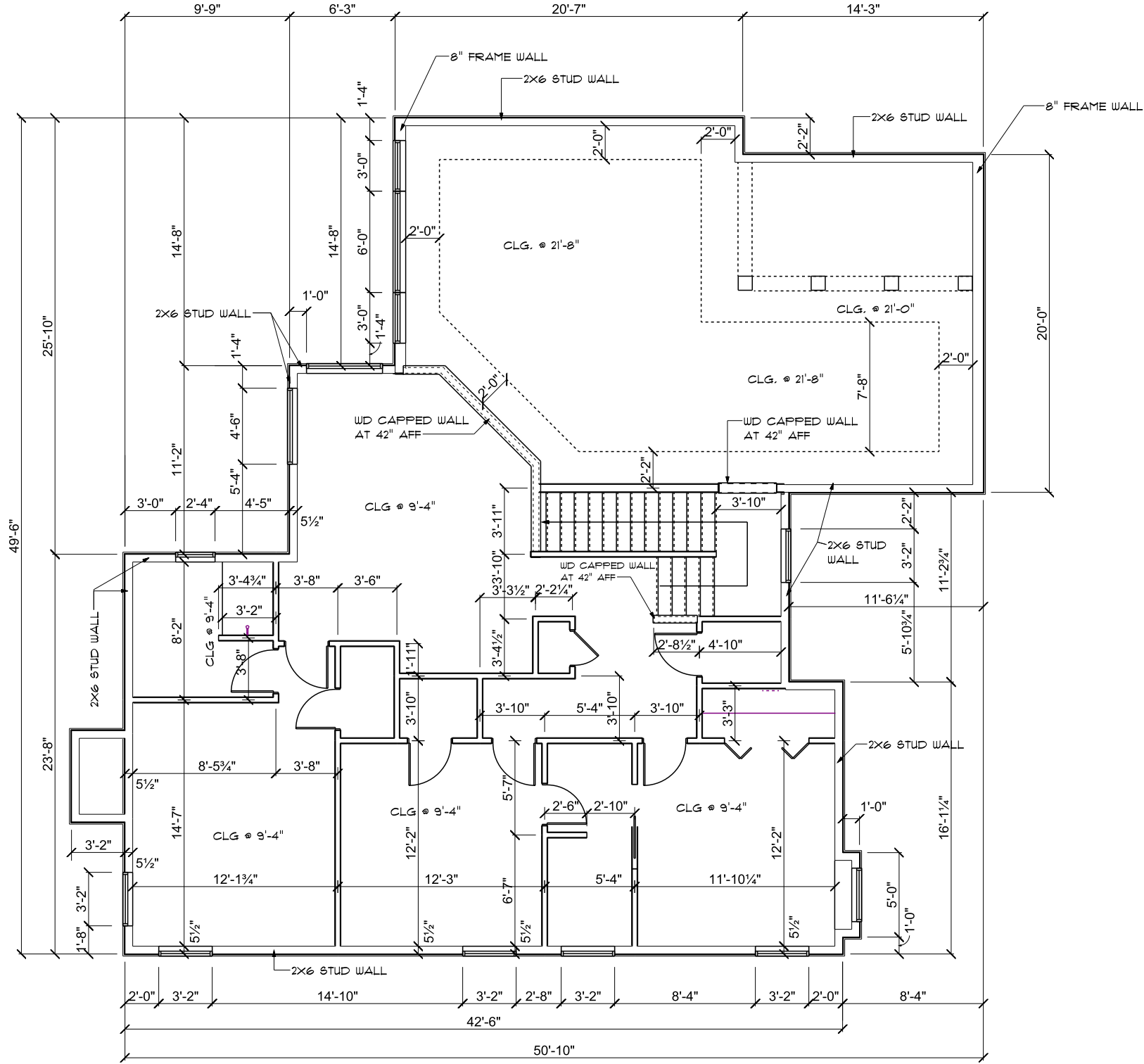
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3



2ND FLOOR DIMENSION PLAN SCALE 1/8" = 1'-0"

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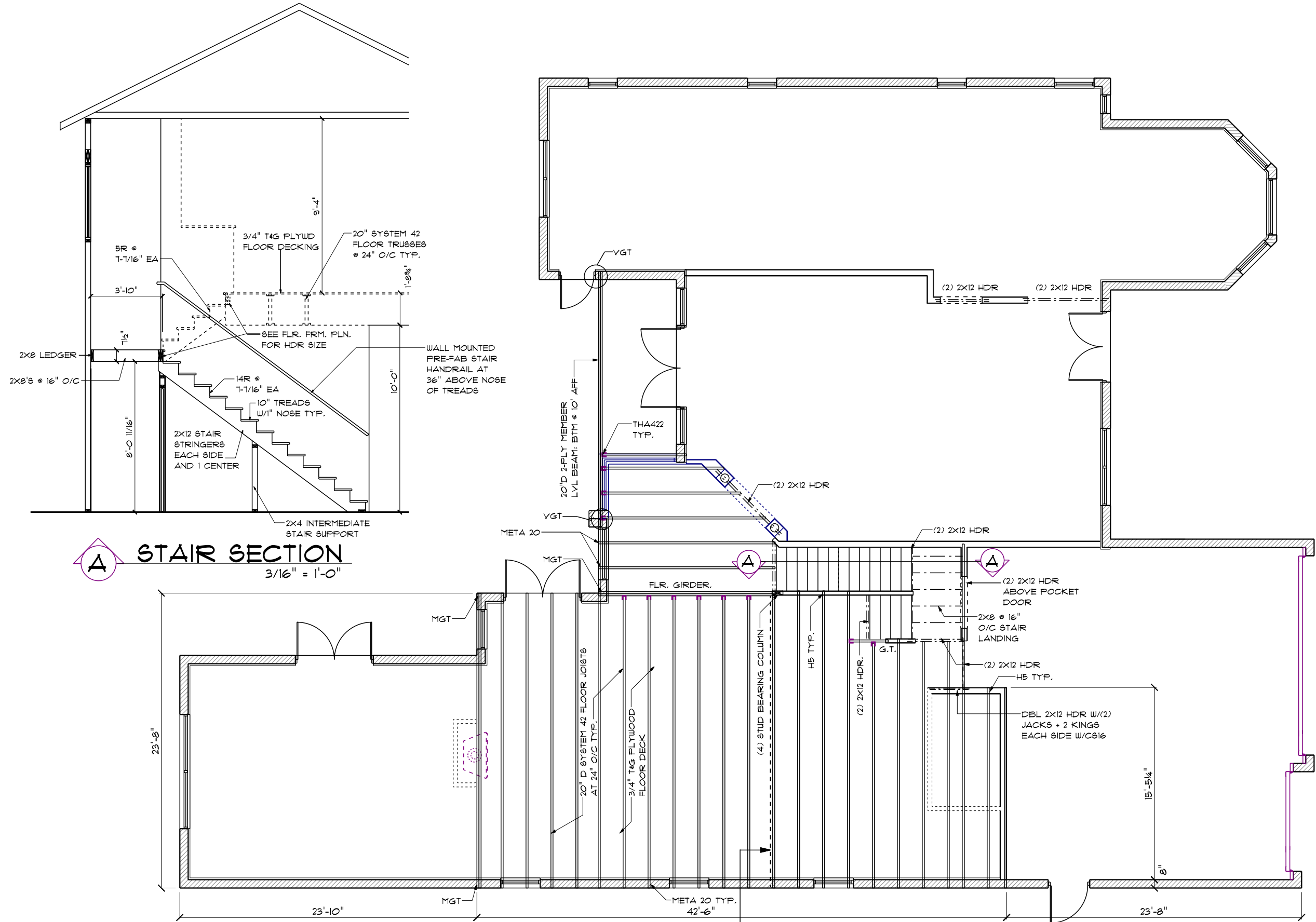
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3A



A STAIR SECTION
3/16" = 1'-0"

DRAFTSTOPPING:
APPLY 1/2" DRYWALL PARALLEL TO FACE OF
FLOOR JOIST/SEAL ALL PENETRATIONS
IN ACCORDANCE WITH R302.12 FRC

FLOOR FRAMING PLAN

SCALE 1/8" = 1'-0"

A.E.C.S # 0000

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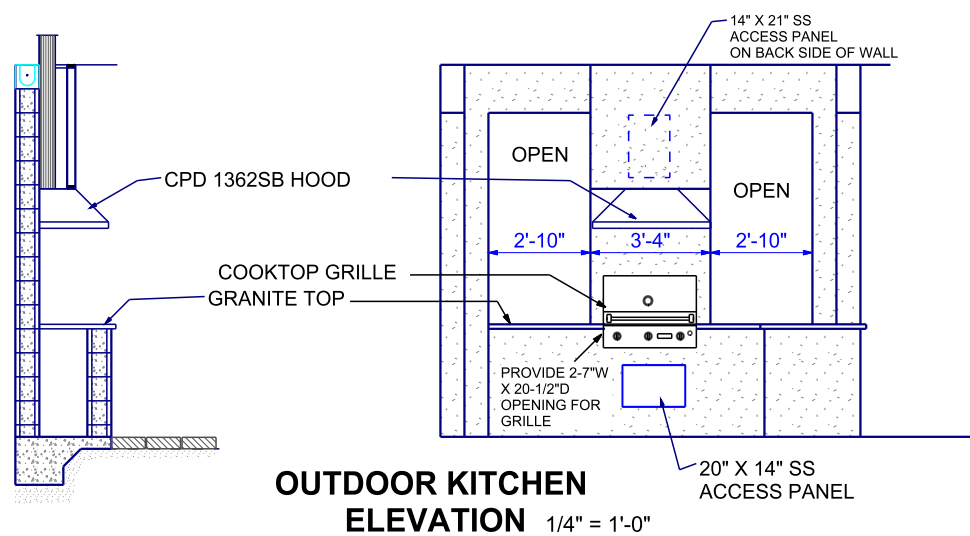
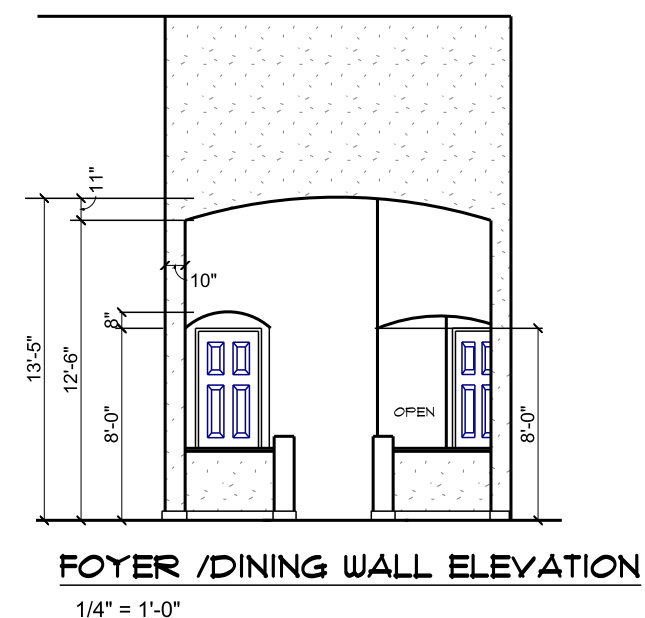
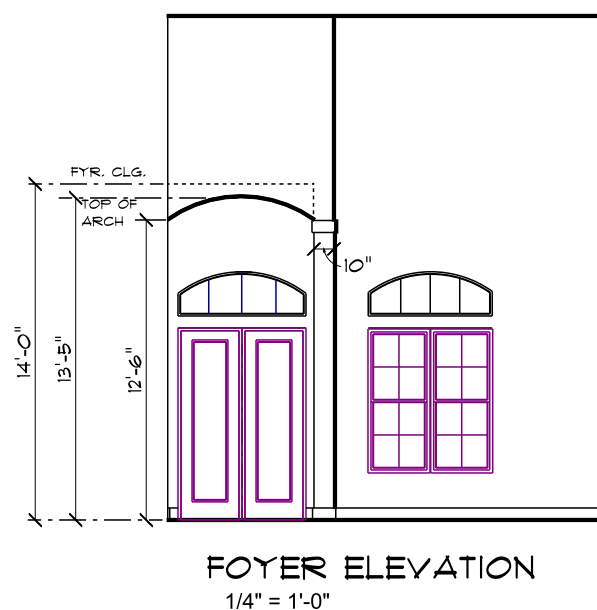
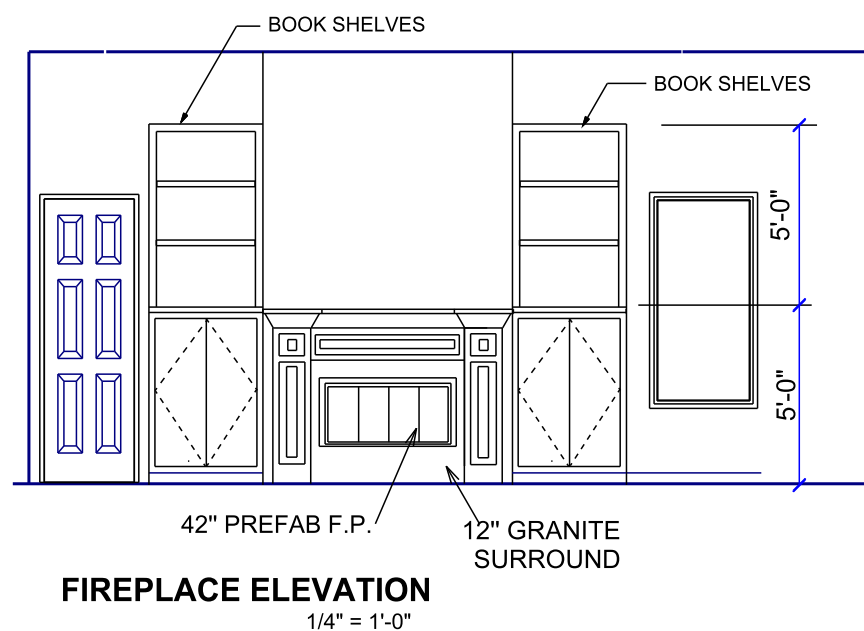
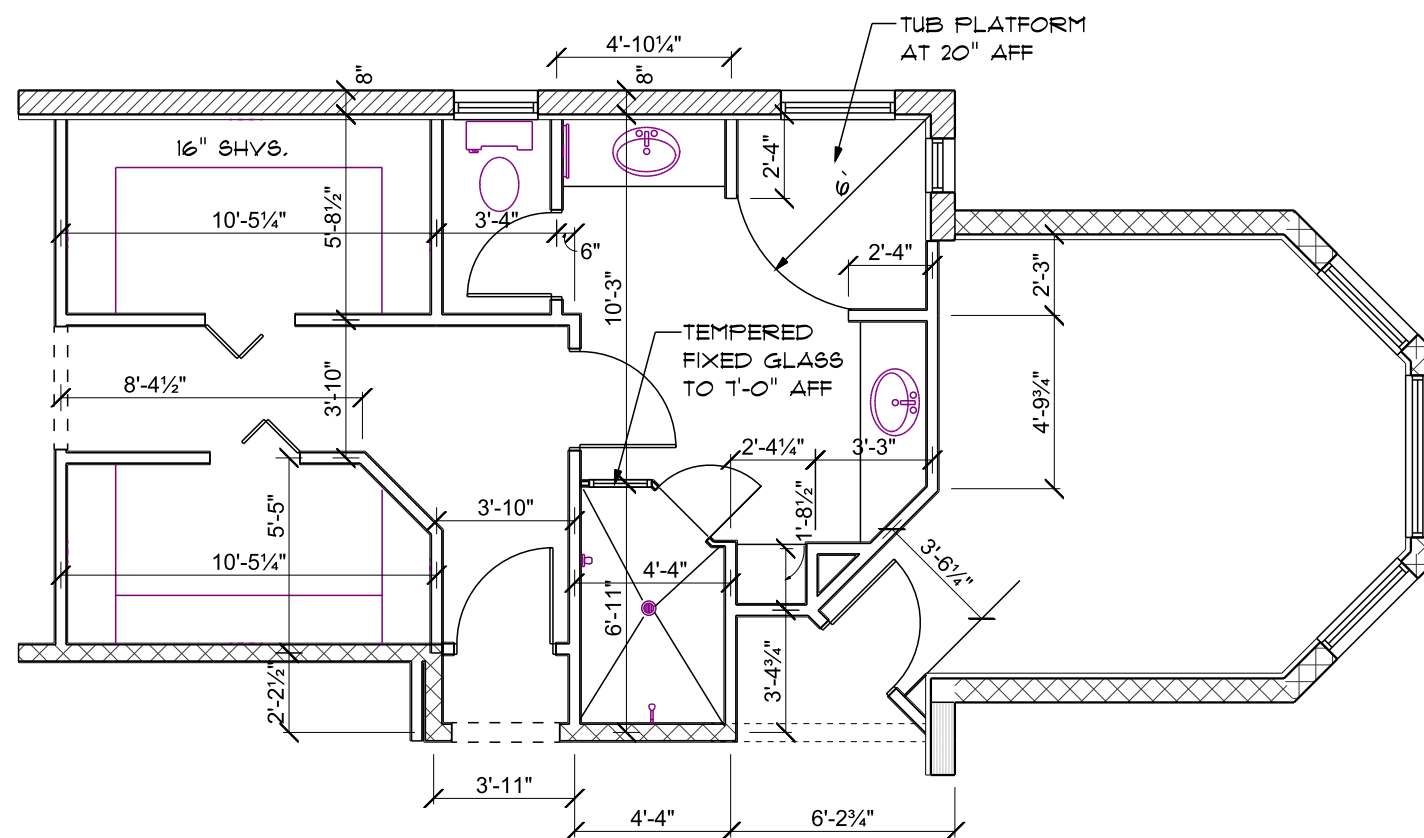
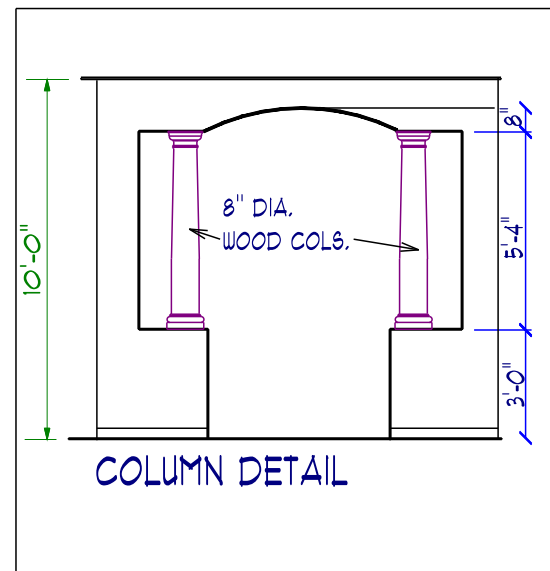
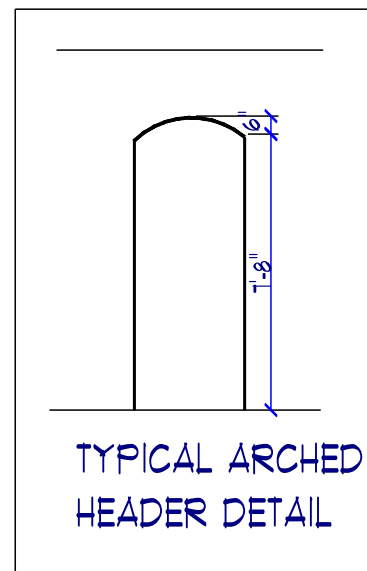
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3B



FLOOR PLAN DETAILS

SCALE 3/16" = 1'-0"

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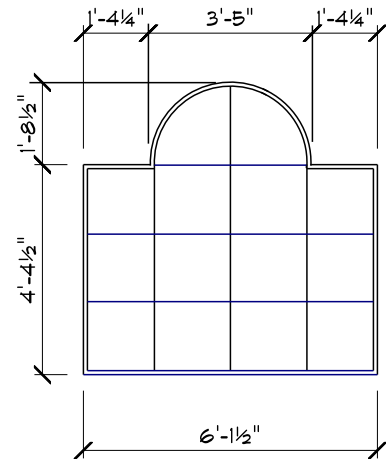
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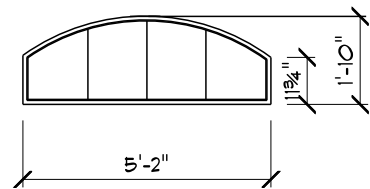
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03-28-2016

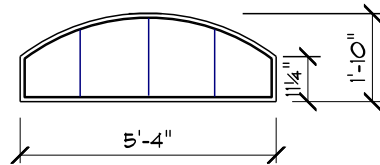
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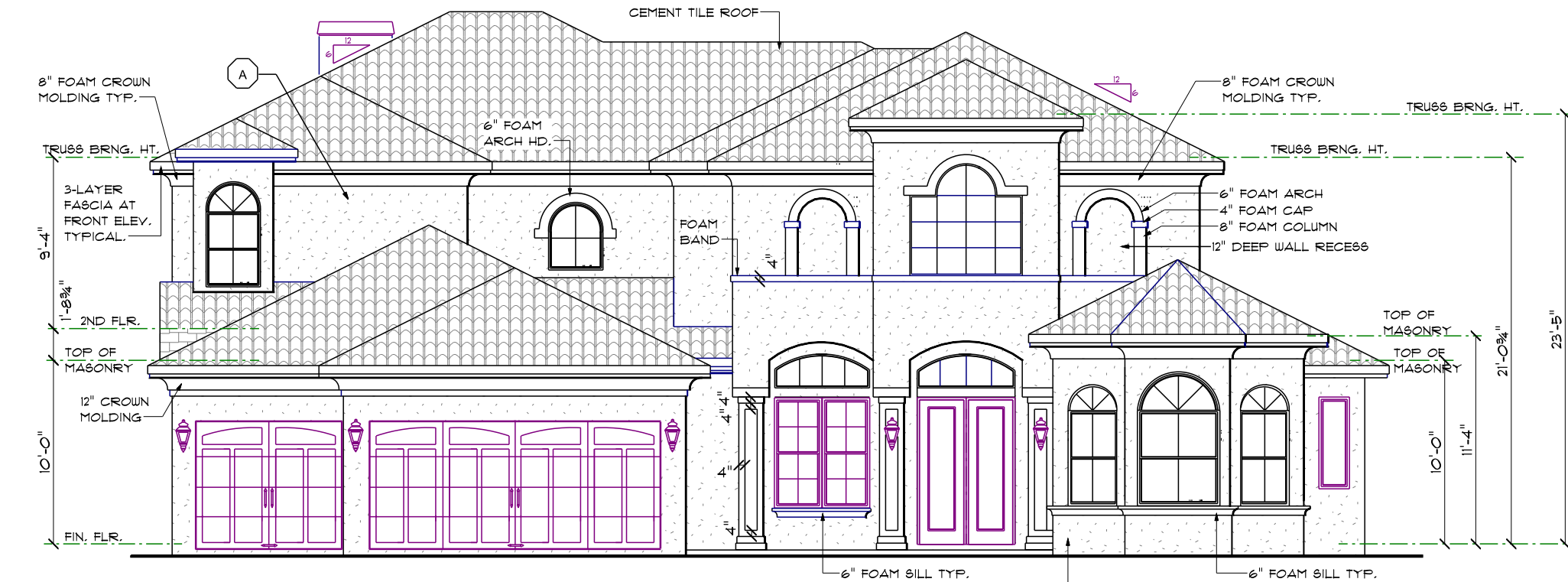
TOWER F.G.
(BLACKED OUT)



DINING F.G.



ENTRY F.G.



FRONT ELEVATION

A 7/8" STUCCO FINISH PER ASTM C-926-11a
ON PAPER BACKED METAL LATH OVER TYVEK
(OR EQUIVALENT) VINYL VAPOR BARRIER ON
EXTERIOR WOOD SHEATHING.



REAR ELEVATION

ASPEN 4334-C

SCALE 1/8" = 1'-0"

EXTERIOR ELEVATIONS

HEAGLE RESIDENCE
300 CORDOVA BLVD. NE
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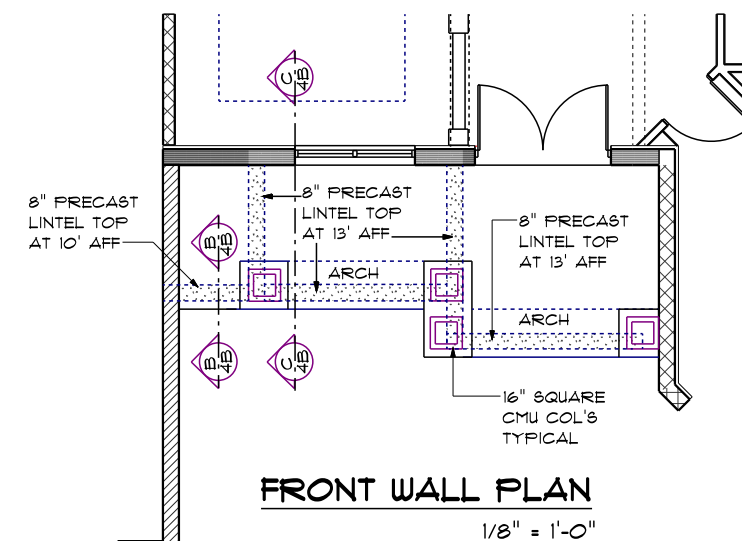
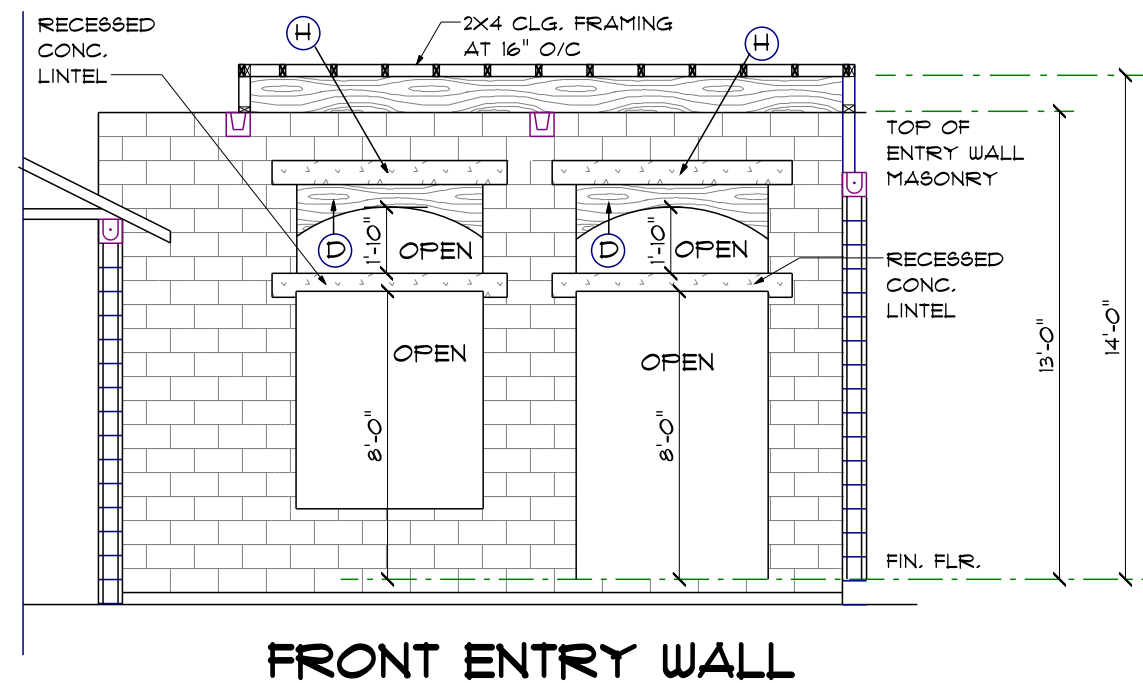
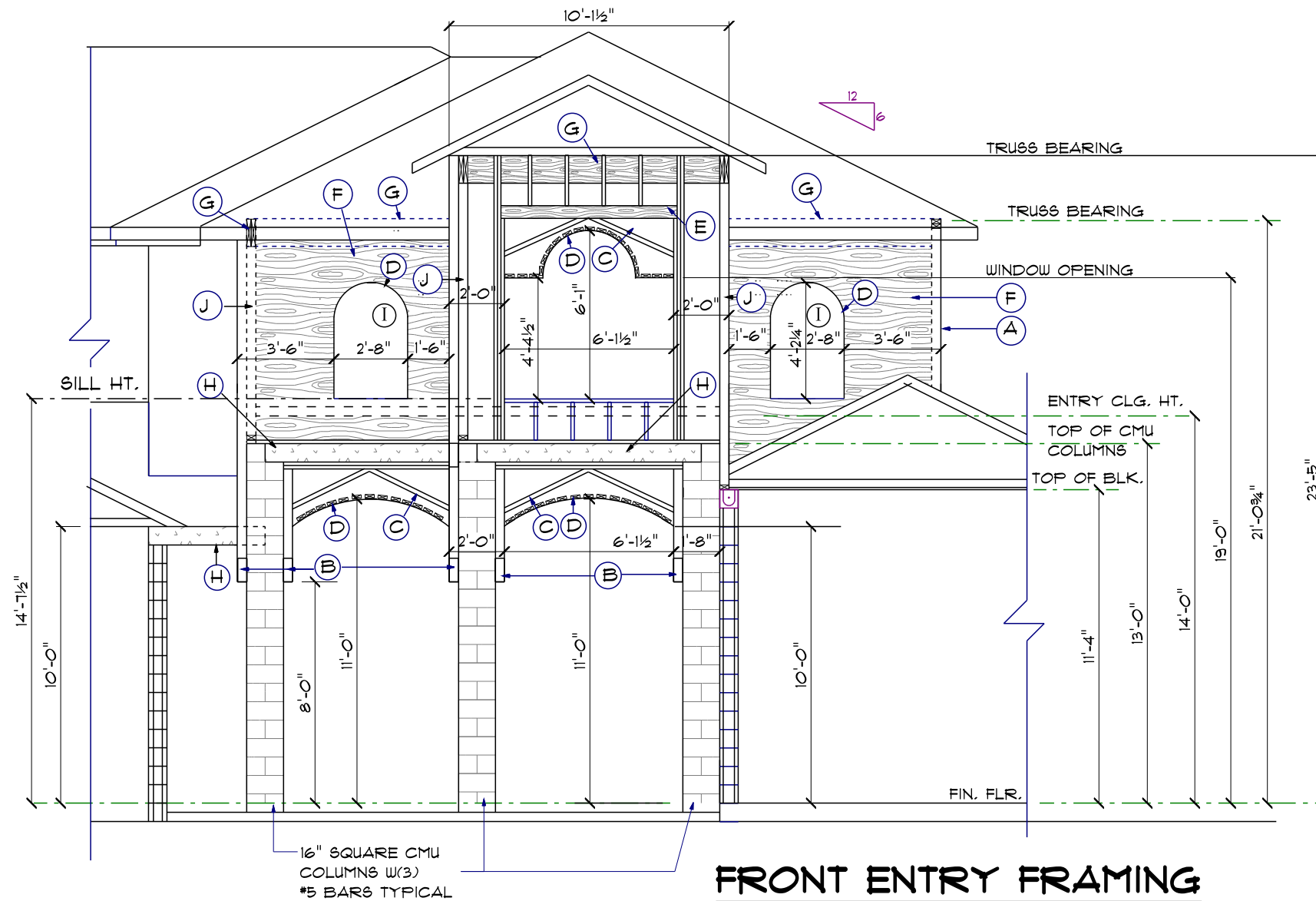
NOTES:

- (A) 2X4 KNEEWALL W/STYP @ 16" O/C W/H10 TO TRUSS W/STYP2 TO TOP PLATES W/STYP1 TO BTM PLATES W/2X4 BLOCKING BETWEEN TRUSS BAYS AT 16" O/C W/3/8" X 4" LAG SCREW EACH BLOCK TO BTM PLATE W/1/2" SHEATHING # 8d NAILS @ 4" O/C.
- (B) 2X6 NAILERS W/3 1/4" X 3" TAPCONS INTO CMU COLUMNS
- (C) 2X4 DIAGONAL W/H2.5 EA END TYP.
- (D) 2X4 ARCH FRAMING W/1/16" OSB SHEATHING TYPICAL
- (E) DBL 2X6 HDR W/H2.5 AT EACH END
- (F) 1/16" OSB SHEATHING W/8d NAILS AT 4" O/C EDGES & ENDS AND 6" O/C IN FIELD (TYP).
- (G) (2) 2X12 BEAMS. WRAP CORNERS W/(2) CS16 TYPICAL
- (H) 8" PRECAST LINTEL
- (I) 12" DEEP WALL RECESS
- (J) (4) STUD CORNER COLUMN W/(2) HTS16 TO BEAM AND (2) MSTM36 TO CMU

NOTE: ALL NON STRUCTURAL LUMBER IS TO BE SOUTHERN PINE FIR U.N.O.

NAILING SCHEDULE

SP1: 4- 10d TO PLATE
6 -10d TO STUD
H10: 8-8d X 1 1/2" TO TRUSS & TOP PLATE
H2: 5-8d
META16: 6-16d
CS16: 20-10d
HTS20: 20-10d
MSTAM36: 4-1/4" X 1 3/4" TAPCONS



ENTRY TOWER DETAILS

SCALE 3/16" = 1'-0"

A.E.C.S # 00000

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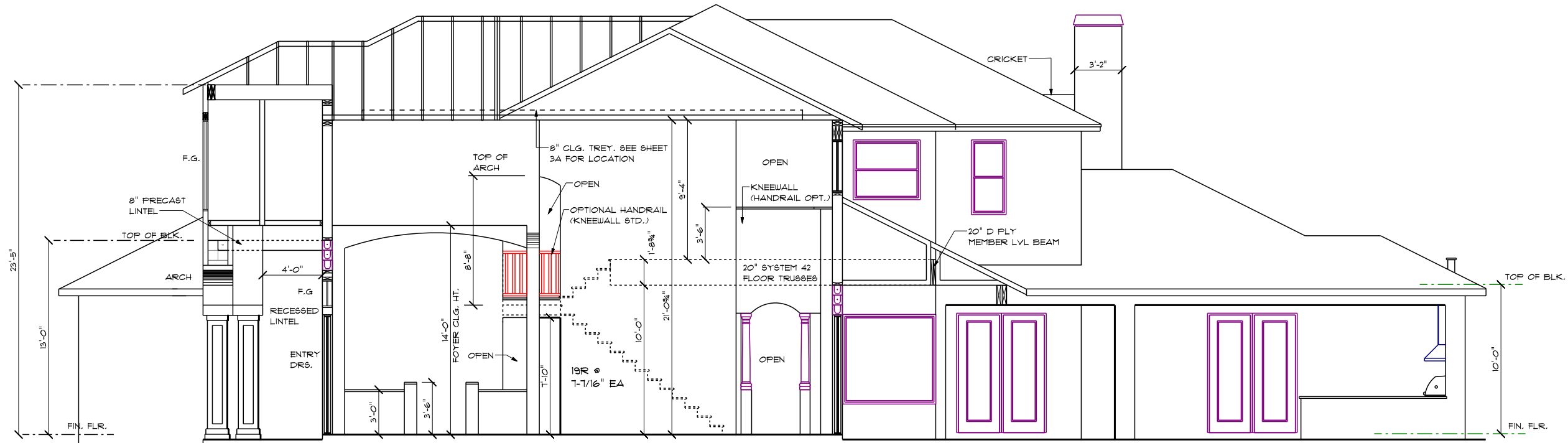
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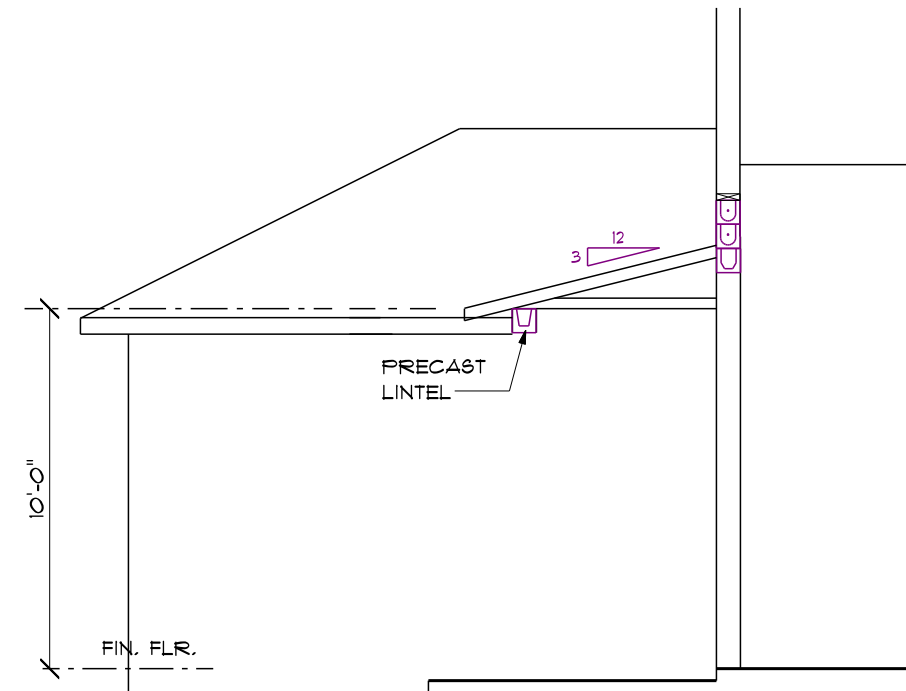
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4A

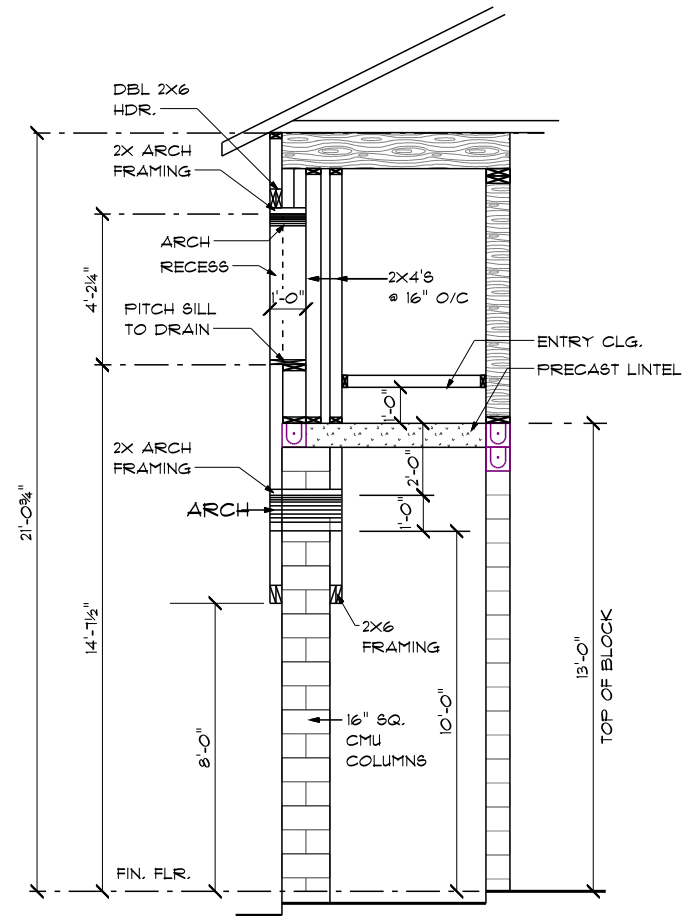


BUILDING SECTION 'A'



SECTION 'B'

3/16" = 1'-0"



SECTION 'C'

3/16" = 1'-0"

BUILDING SECTION

SCALE 1/8" = 1'-0"

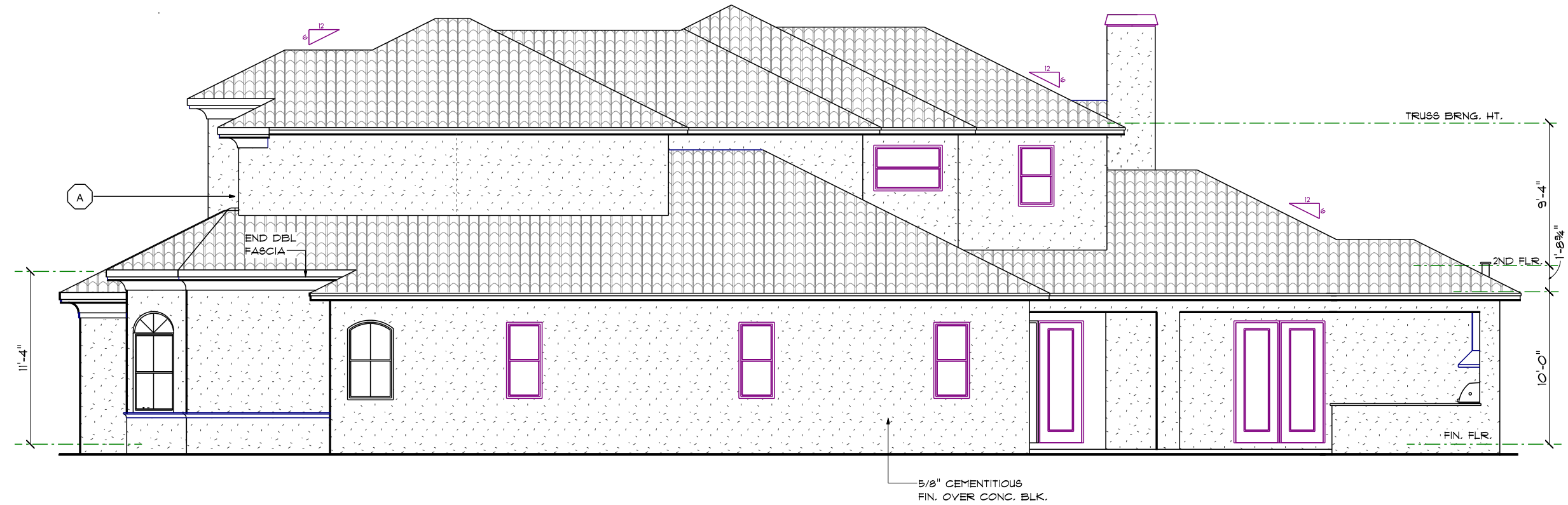
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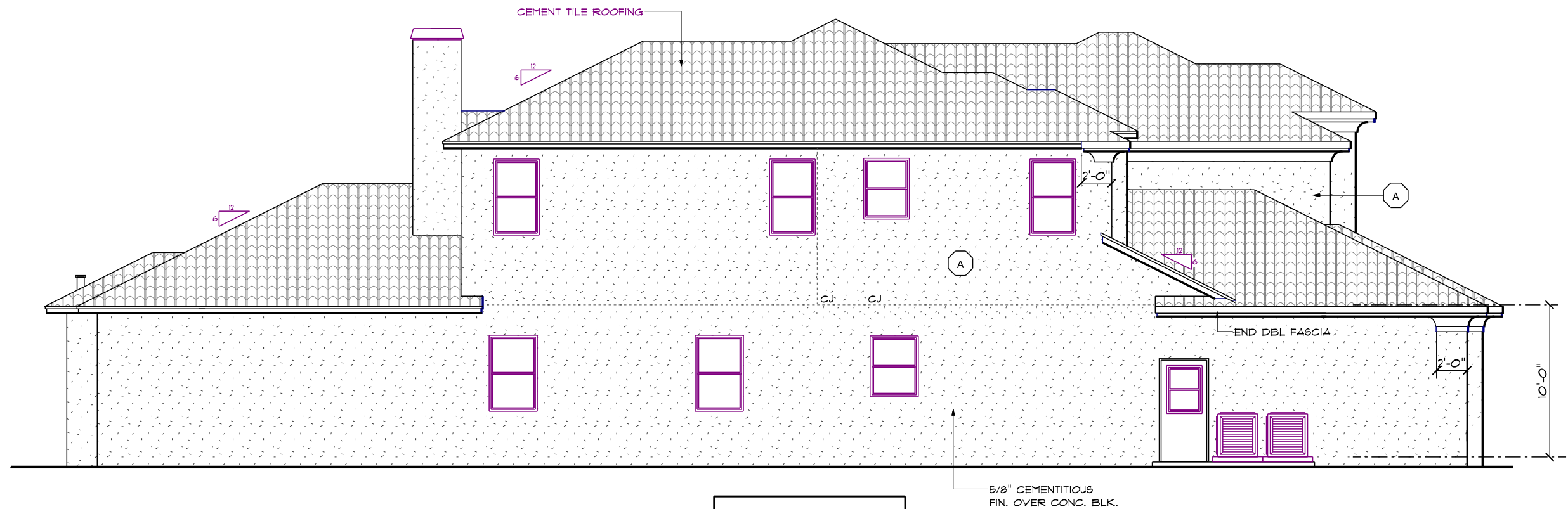
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4B



RIGHT ELEVATION

A 7/8" STUCCO FINISH PER ASTM C-926-11a ON PAPER BACKED METAL LATH OVER TYVEK (OR EQUIVALENT) VINYL VAPOR BARRIER ON EXTERIOR WOOD SHEATHING.



LEFT ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

ASPEN 4334-C

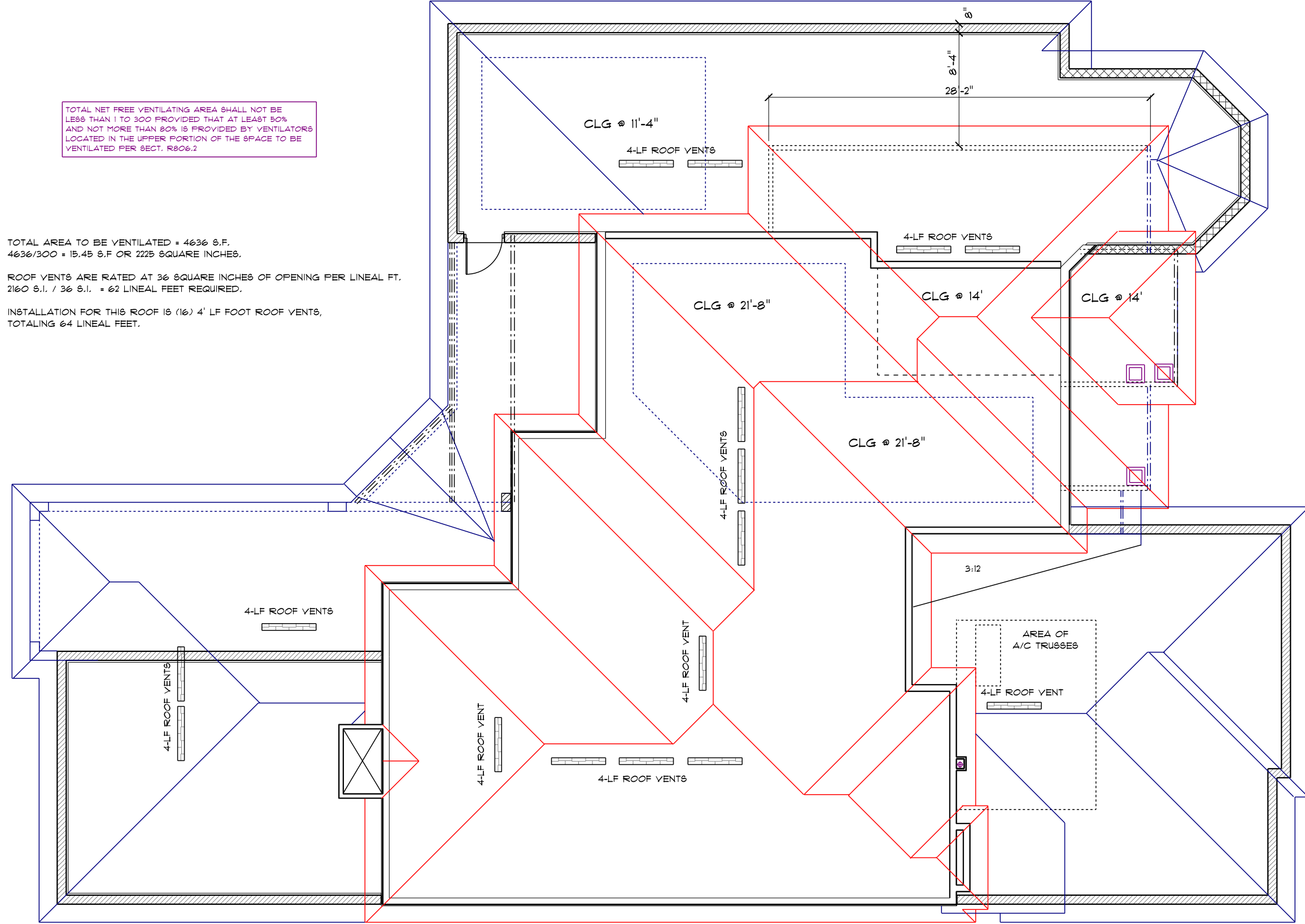
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5



TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

TOTAL AREA TO BE VENTILATED = 4636 S.F.
4636/300 = 15.45 S.F OR 2225 SQUARE INCHES.
ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.
2160 S.I. / 36 S.I. = 62 LINEAL FEET REQUIRED.
INSTALLATION FOR THIS ROOF IS (16) 4' LF FOOT ROOF VENTS,
TOTALING 64 LINEAL FEET.

ROOF PLAN

SCALE 1/8" = 1'-0"

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6

SEE SHEET 6A FOR KEYNOTE LOCATIONS

Connection Notes

- A. 5 stud corner column with (1) MSTCM60 to cmu
- B. 2 stud column with LGT2 to girder truss and MSTCM60 to cmu
- C. 4 stud column with HGT2 w/ (2) HTT4 to girder and (2) MSTCM60 to cmu
- D. 5 stud corner column with (3) CS16 to 5 stud ground floor corner column and HTT4 to concrete
- E. 5 stud corner column with MGT/HTT4 girder to studs and (3) CS16 to dbl 2x12 header below
- F. 5 stud corner column with MGT/HTT4 girder to studs and (3) CS16 to 5 stud ground floor corner column with HTT4 to concrete
- G. 2x6 SYP stud wall on ground floor with SPH6 to bottom plate, H10 garage trusses to wall, then 2nd story 2x6 wall with CS16 each face each stud to ground floor wall below,SPH6 to top plates, H-10 to 2nd floor roof truss
- H. 5 stud corner column with MGT w/ HTT4 to girder and (2) MSTCM60 to cmu
- I. 2x8 SYP stud wall on top of cmu wall with MSTAM 36 each stud each face to cmu, SPH8 to top plates, 2x4 T blocking between roof trusses bays and H-10 at 2’ o.c to blocking
- J. 2x8 SYP stud wall on top of cmu wall with MSTAM 36 each stud each face to cmu, SPH8 to top plates, 3 ply 12” LVL header with 3 jacks and 2 king studs each end, (2) CS16 header to studs, (2) MSTCM60 each stud pack – 1 per face to cmu
- K. 3 stud 2x8 column with (2) MSTAM 36 each face to cmu below and (2) MTS16 to beam above

TRUSS NOTES

SCALE 1/8" = 1'-0"

A.E.C.S # 00000

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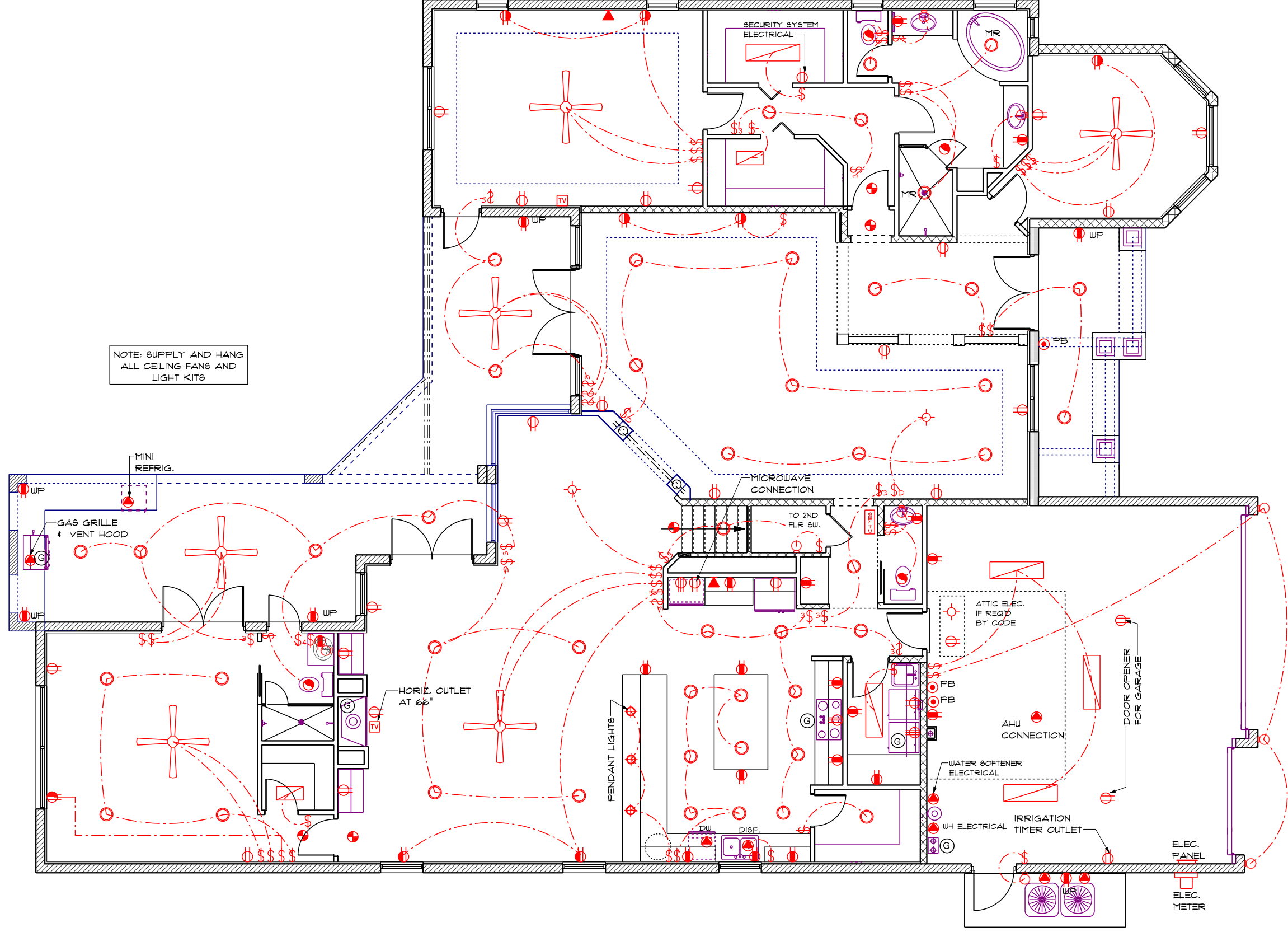
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6B



NOTE: SUPPLY AND HANG
ALL CEILING FANS AND
LIGHT KITS

ELECTRICAL PLAN

SCALE 1/8" = 1'-0"

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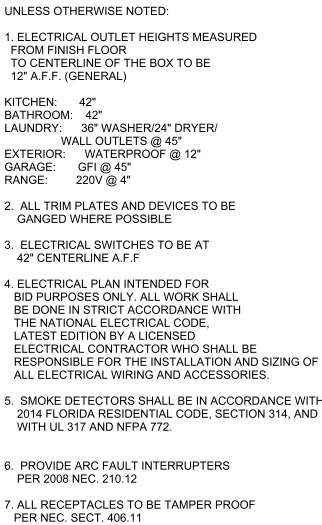
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7



NOTE: SUPPLY AND HANG
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LIGHT KITS



2ND FLOOR ELECTRICAL PLAN

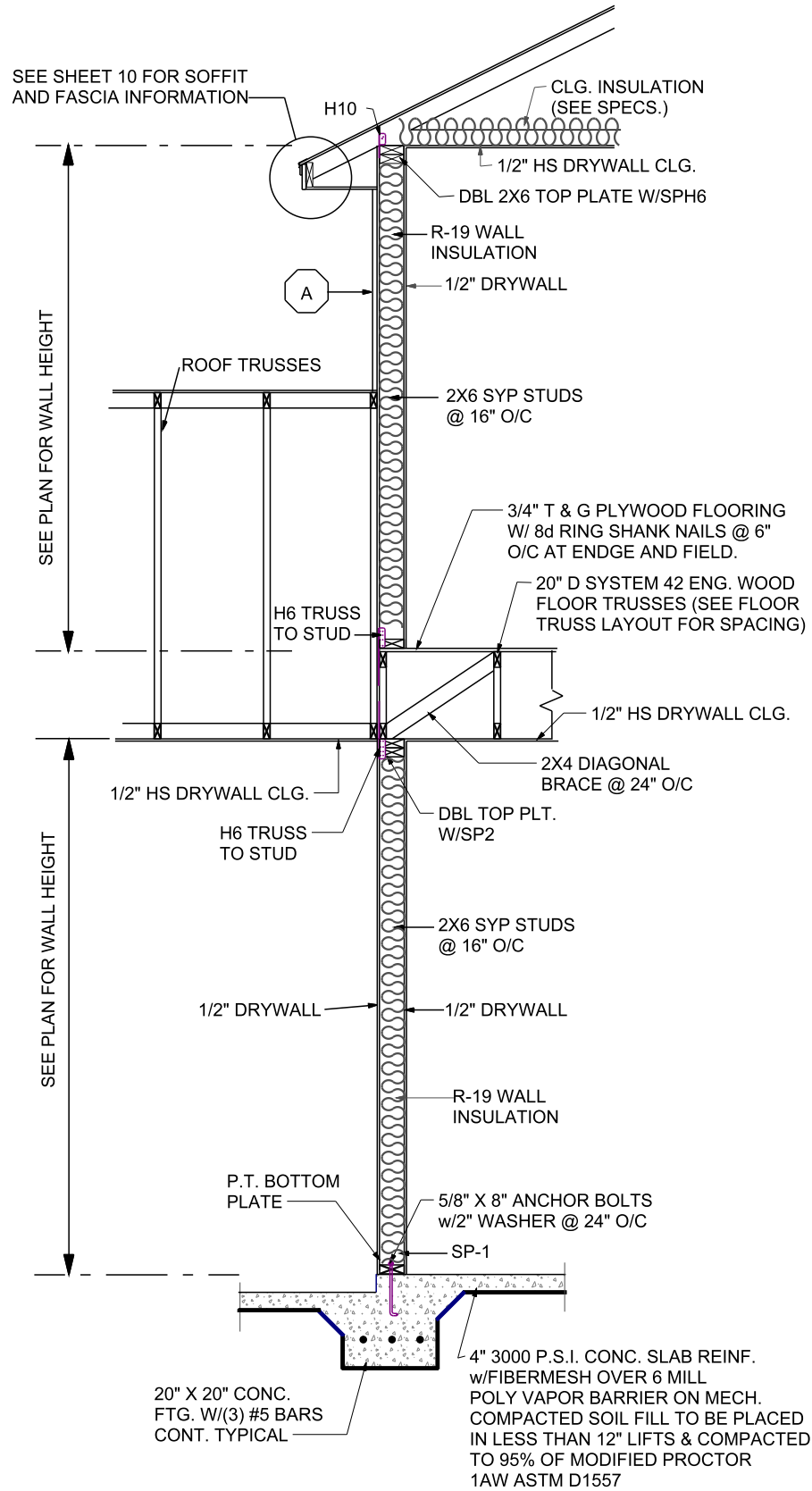
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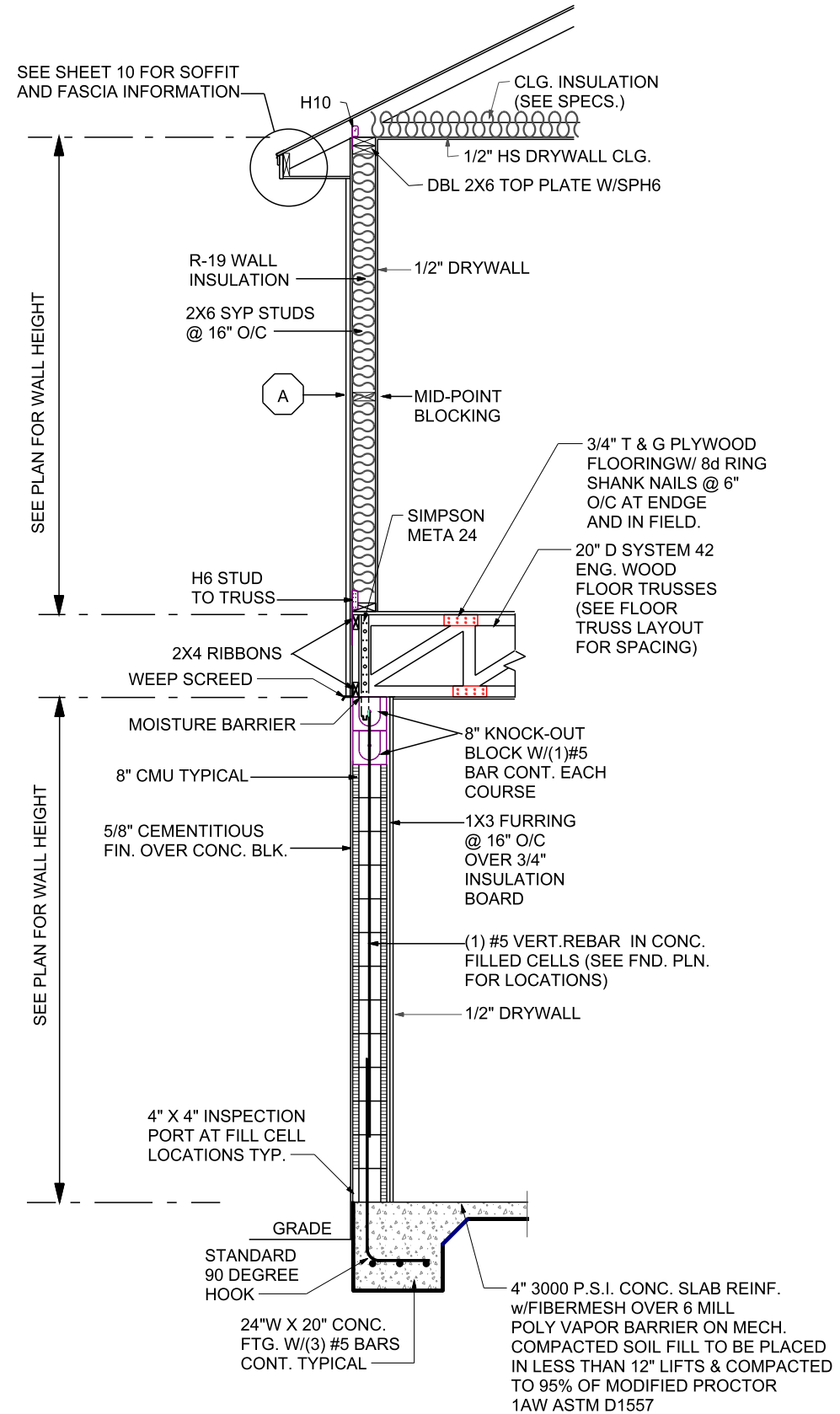
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7A

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2 2-STY INTER. FRAME BRNG. WALL
FLOOR TRUSSES PARALLEL



1 TYP. 2-STORY WALL SECT.

CONSTRUCTION DETAILS

A.E.C.S # 00000

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10A