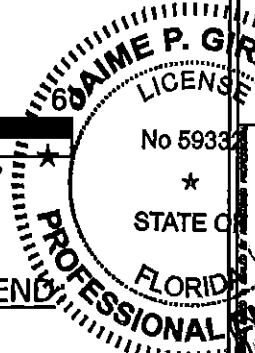


0' 30'  
SCALE: 1" = 30'



**ENGINEER'S LEGEND**

- - - - - FLOW DIRECTION
- - - - - SWALE
- +23.5 PROPOSED ELEVATION (FT-NAVD)

**SURVEYOR'S LEGEND:**

- LB LICENSED BUSINESS
- PSM PROFESSIONAL SURVEYOR AND MAPPER
- RLS REGISTERED LAND SURVEYOR
- FCIR FOUND CAPPED IRON ROD
- SCIR SET CAPPED IRON ROD
- FIP FOUND IRON PIPE
- FPP FOUND PINCHED PIPE
- FIR FOUND IRON ROD
- (C) CALCULATED MEASUREMENT
- (P) PLAT MEASUREMENT
- (M) FIELD MEASUREMENT
- (D) DEED MEASUREMENT
- DA&U DRAINAGE & UTILITY EASEMENT
- FCM FOUND CONCRETE MONUMENT
- C/S CONCRETE SLAB
- C/B CONCRETE BASIN
- C.B.S. CONCRETE BLOCK STRUCTURE
- C/L CENTERLINE OF RIGHT-OF-WAY
- C/W CONCRETE WALK
- S/P SCREENED IN PORCH
- STY STORY
- RES RESIDENCE
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- M/S METAL SHED
- C/C/S COVERED CONCRETE SLAB
- +0.00' SPOT ELEVATION (EXISTING)

**SURVEYOR'S NOTES**

1. THIS SURVEY MAP AND/OR REPORT OR THE COPIES HEREOF ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
2. BASIS OF BEARINGS: PLAT BEARING OF N00°09'14"W, ALONG THE EAST RIGHT-OF-WAY LINE OF RUE DES CHATEAUX, AS SHOWN HEREON.
3. THIS OFFICE HAS NOT ABSTRACTED THIS FOR ANY RECORDED CLAIMS OF TITLE EASEMENTS OR RESTRICTIONS. THE PRESENCE OR ABSENCE OF ANY SUCH CLAIMS IS NOT CERTIFIED HEREON.
4. NO UNDERGROUND IMPROVEMENTS OR UTILITIES WERE LOCATED EXCEPT THOSE SHOWN HEREON.
5. UNLESS NOTED OTHERWISE, NO UNDERGROUND FOUNDATIONS WERE LOCATED.
6. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
7. DAVRIS, INC. ACCEPTS NO RESPONSIBILITY FOR THE IDENTIFICATION OF THE TREE SPECIES SHOWN HEREON. EVERY EFFORT HAS BEEN MADE TO PROPERLY IDENTIFY THE TREES SHOWN HEREON, HOWEVER TREE IDENTIFICATION IS OUTSIDE THE AREA OF EXPERTISE OF A PROFESSIONAL LAND SURVEYOR. THE TREE TYPES SHOWN HEREON ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD ONLY BE USED AFTER CONFIRMATION BY A CERTIFIED ARBORIST OR OTHER SUCH PROFESSIONAL.
8. THIS SURVEY IS NON-TRANSFERABLE.

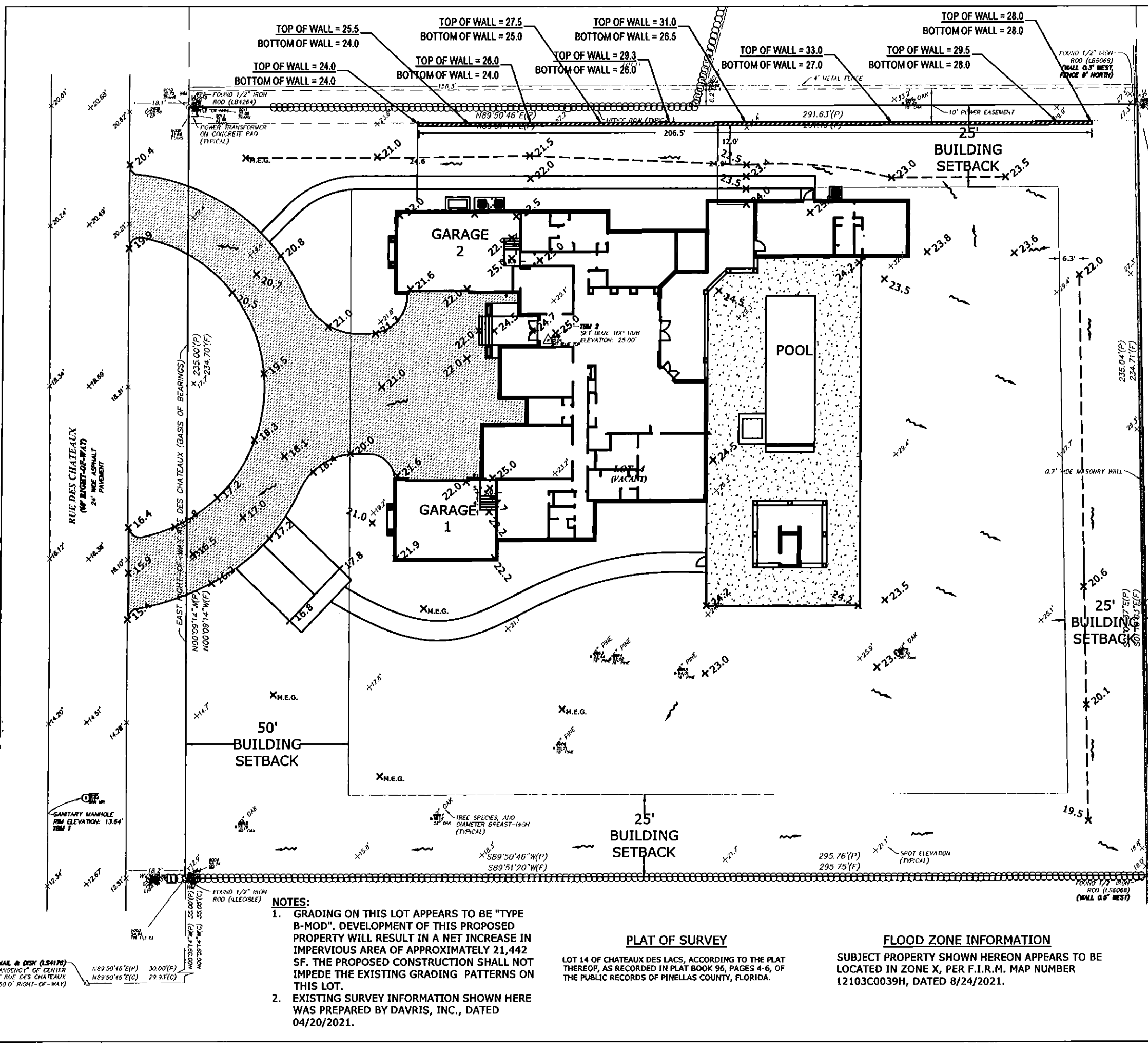
GRADING PLAN - LOT 14  
 CHATEAUX DES LACS  
 PINELLAS COUNTY, FLORIDA

**REGENCY**  
 Design & Engineering, Inc.

RELEASE OF DOCUMENT  
 THE ENCLOSURE CONTAINS THE ORIGINAL COPY OF THIS SURVEY MAP AND/OR REPORT. THIS DOCUMENT IS THE PROPERTY OF REGENCY DESIGN & ENGINEERING, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF REGENCY DESIGN & ENGINEERING, INC.

DATE	REV. BY	REVISION

VERSION  
**1C**



- NOTES:**
1. GRADING ON THIS LOT APPEARS TO BE "TYPE B-MOD". DEVELOPMENT OF THIS PROPOSED PROPERTY WILL RESULT IN A NET INCREASE IN IMPERVIOUS AREA OF APPROXIMATELY 21,442 SF. THE PROPOSED CONSTRUCTION SHALL NOT IMPEDE THE EXISTING GRADING PATTERNS ON THIS LOT.
  2. EXISTING SURVEY INFORMATION SHOWN HERE WAS PREPARED BY DAVRIS, INC., DATED 04/20/2021.

**PLAT OF SURVEY**

LOT 14 OF CHATEAUX DES LACS, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 96, PAGES 4-6, OF THE PUBLIC RECORDS OF PINELLAS COUNTY, FLORIDA.

**FLOOD ZONE INFORMATION**

SUBJECT PROPERTY SHOWN HEREON APPEARS TO BE LOCATED IN ZONE X, PER F.I.R.M. MAP NUMBER 12103C0039H, DATED 8/24/2021.