

34. WATERPROOFING [GENERAL]:

34.1 ANY RENDERING OR NOTES OF WATERPROOFING MEASURES FOR BASEMENTS OR HALF-BASEMENTS SHOWN IN THESE PLANS WHERE A SPECIFIC CONSTRUCTION DETAIL IS NOT SHOWN IN THE STRUCTURAL DESIGN IS AN ARCHITECTURAL ILLUSTRATION ONLY AND IS NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

34.2 WATERPROOFING MEASURES ABOVE GRADE (E.G., FLASHING, CAULKING, SHAPE, AND LOCATION OF CRACKS) ARE ASSOCIATED WITH ARCHITECTURAL FINISHES AND ARE NOT THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

35. FIRE RESISTANT DESIGN [GENERAL]

35.1 FIRE RESISTANT DESIGN OF STRUCTURAL ELEMENTS SHALL BE INCIDENTAL TO THEIR STRUCTURAL DESIGN AND SHALL BE BASED ON UNDERWRITER'S LABORATORY OR GYPSUM ASSOCIATION DESIGN FOR FIRE RATED FLOOR, WALL, AND ROOF ASSEMBLIES.

36. FLOOD RESISTANT DESIGN [GENERAL]:

36.1 FLOOD RESISTANT DESIGN OF STRUCTURAL ELEMENTS SHALL BE INCIDENTAL TO THEIR STRUCTURAL DESIGN AND SHALL BE BASED ON THE REQUIREMENTS STATED IN TITLE 44 CFR SECTIONS 59 AND 60, AND ON THOSE OF THE INDIVIDUAL COMMUNITY RATING AGENCIES FOR THE GOVERNMENTAL

JURISDICTION WHERE THE CONSTRUCTION IS TO BE DONE.

36.2 HOWEVER, THE STRUCTURAL ENGINEER IS NOT RESPONSIBLE FOR IDENTIFYING AND SHOWING ON THE PLANS THE FLOOD ZONE CATEGORY, BASE FLOOD ELEVATION, AND THE FLOOR AND STORY HEIGHTS OF THE BUILDING IN RELATION TO THE BASE FLOOD ELEVATION. THIS INFORMATION IS CONSIDERED ARCHITECTURAL AND SITE RELATED AND SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER BY THE CONTRACTING CLIENT OR HIS AGENT.

37. SPECIAL CONSTRUCTION [GENERAL]:

37.1 ALUMINUM STRUCTURES OTHER THAN STRUCTURAL ALUMINUM COLUMNS.

I. ANY ALUMINUM STRUCTURES SHOWN IN THESE PLANS SUCH AS PORCH AND POOL ENCLOSURES OR GUARDRAILS AND HANDRAILS ARE FOR ARCHITECTURAL ILLUSTRATION ONLY AND ARE NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

II. WHERE THE ALUMINUM STRUCTURE ATTACHES TO THE MAIN STRUCTURE OR IS INCORPORATED IN THE MAIN STRUCTURE, SHOP DRAWINGS FOR THESE STRUCTURES SHALL BE PROVIDED TO THE STRUCTURAL ENGINEER TO DETERMINE THEIR EFFECT ON THE MAIN STRUCTURE.

37.2 SWIMMING POOLS

I. ANY SWIMMING POOLS OR HOT TUBS SHOWN IN THESE PLANS ARE FOR ARCHITECTURAL ILLUSTRATION ONLY AND ARE NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

37.3 FENCES AND RETAINING WALLS

I. ANY RENDERINGS OF FENCES, RETAINING

WALLS, OR EXTERIOR PLANTERS SHOWN IN THESE PLANS WHERE A SPECIFIC STRUCTURAL DETAIL IS NOT SHOWN FOR THEIR CONSTRUCTION ARE FOR ARCHITECTURAL ILLUSTRATION ONLY AND ARE NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

37.4 DRIVEWAYS AND SIDEWALKS

I. ANY DRIVEWAYS OR SIDEWALKS SHOWN IN THESE PLANS ARE FOR ARCHITECTURAL ILLUSTRATION ONLY AND ARE NOT PART OF THE STRUCTURAL DESIGN OR THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER.

WIND LOADING AND DESIGN PRESSURES:

1. FLORIDA RESIDENTIAL BUILDING CODE 2007 EDITION WITH 2009 SUPPLEMENT, ASCE 7-05
2. BASIC DESIGN WIND SPEED: 119 MPH
3. WIND IMPORTANCE FACTOR: 1.0
4. BUILDING CATEGORY: II
5. WIND EXPOSURE: B=1.0
6. INTERNAL PRESSURE COEFFICIENT: +/- .18 ENCLOSED
7. NON WIND BORNE DEBRIS ZONE -NO SHUTTERS REQUIRED
8. COMPONENTS AND CLADDING PRESSURES (PSF):
 - A. ROOF - ALL ZONE 3, 10 SOFT: +17.5, -58.7 PSF
 - B. WALLS - ALL ZONE 5, 10 SOFT: +30.4, -40.7 PSF
 - C. OVERHANGS - ALL ZONE 3, 10 SOFT: -95.3 PSF

MANUFACTURE TO PROVIDE SPECS OF MINIMUM PRESSURE RESISTANCE BASED UPON ABOVE COMPONENTS AND CLADDING PRESSURES AND INSTALLATION DETAILS.

WIND LOAD DESIGN DATA

A.E.C.S. # 10061

PINEHURST 1725

DEEB FAMILY HOMES, LTD.

9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE

04-29-10
07-13-10

LOT 22
MEADOW OAKS
PASCO COUNTY, FL.

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 119 MPH 3 SEC. GUST LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2007 FLORIDA RESIDENTIAL BUILDING CODE W/ 2009 SUPPLEMENTS SEALED FOR STRUCTURE ONLY
SIGNED *Richard E. Allen*
RICHARD E. ALLEN P.E. #56920

ALLEN ENGINEERING & CONSTRUCTION SERVICES

RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542

P.O. BOX 1870
NEW PORT RICHEY, FL. 34656
727-842-6100 Fax. 727-825-3973
rich@allenengineeringservices.com



NOTES

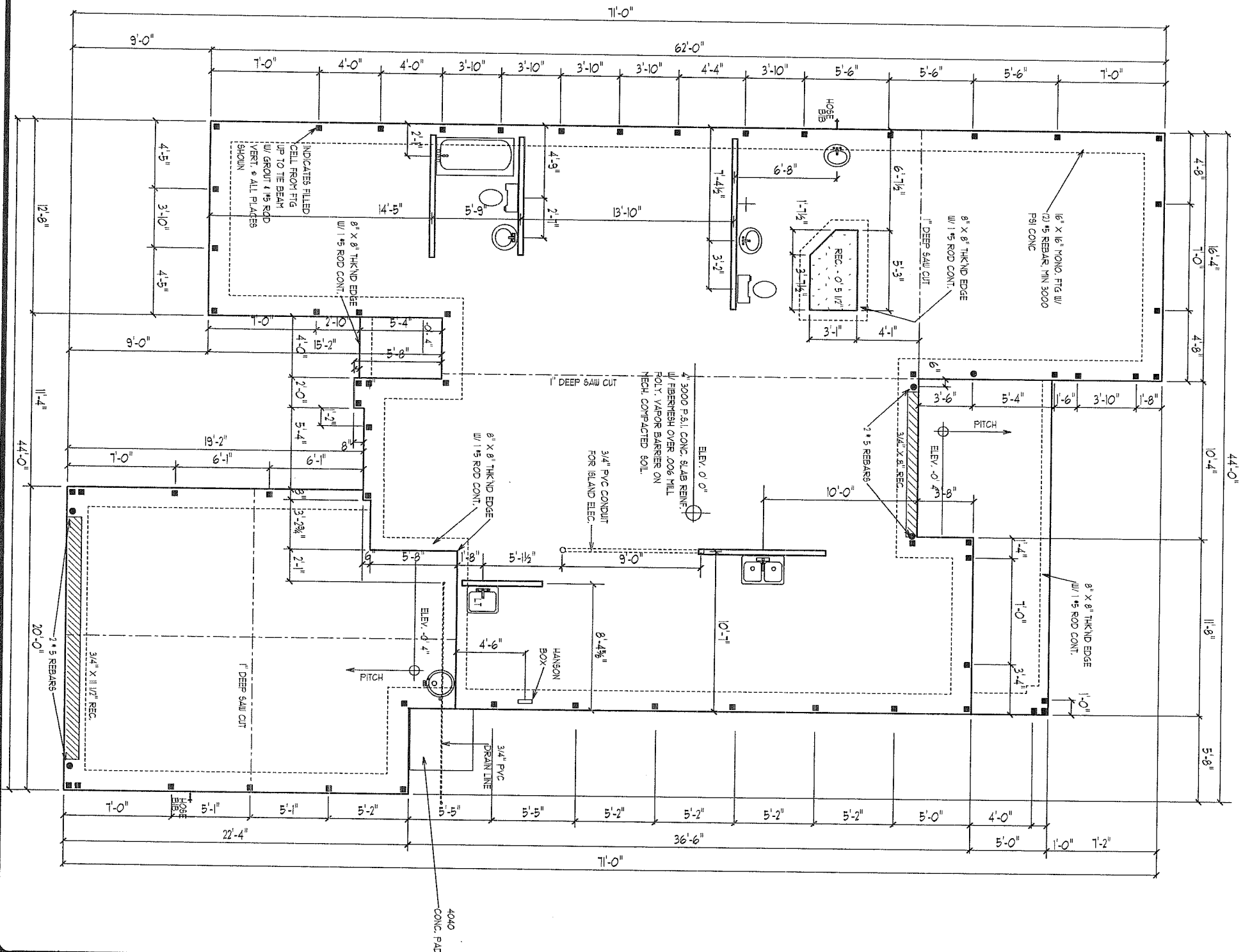
- 1) THE FOUNDATION SYSTEM FOR THIS PLAN IS DESIGNED FOR A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2000 P.S.F. WITH NO SOIL REPORT OR INFORMATION PROVIDED.
- 2) FOOTINGS TO BEAR MIN. 1" BELOW GRADE.
- 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 98% MOD. PROCTOR BETWEEN LESS THAN 17" LIFTS.
- 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
- 5) REFER TO STRUCTURAL ENGINEER NOTES.

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR ALABAMA GRADE SHALL COMPLY WITH REC SECT. 1912 (EXCEPTION 1)

DRIVEWAY SPEC.
DRIVEWAY NOT IN RIGHT OF WAY AND ALL SIDEWALKS TO BE 4" 3000PSI CONC. W/ FIBERESH.
DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERESH AND WIRE REINFORCEMENT.

PERMITE SPECIFICATIONS:

INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

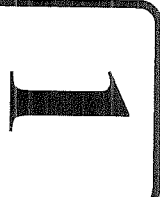


FOUNDATION PLAN

SCALE 1/8" = 1' 0"

A.E.C.S. # 10061

PINEHURST 1725



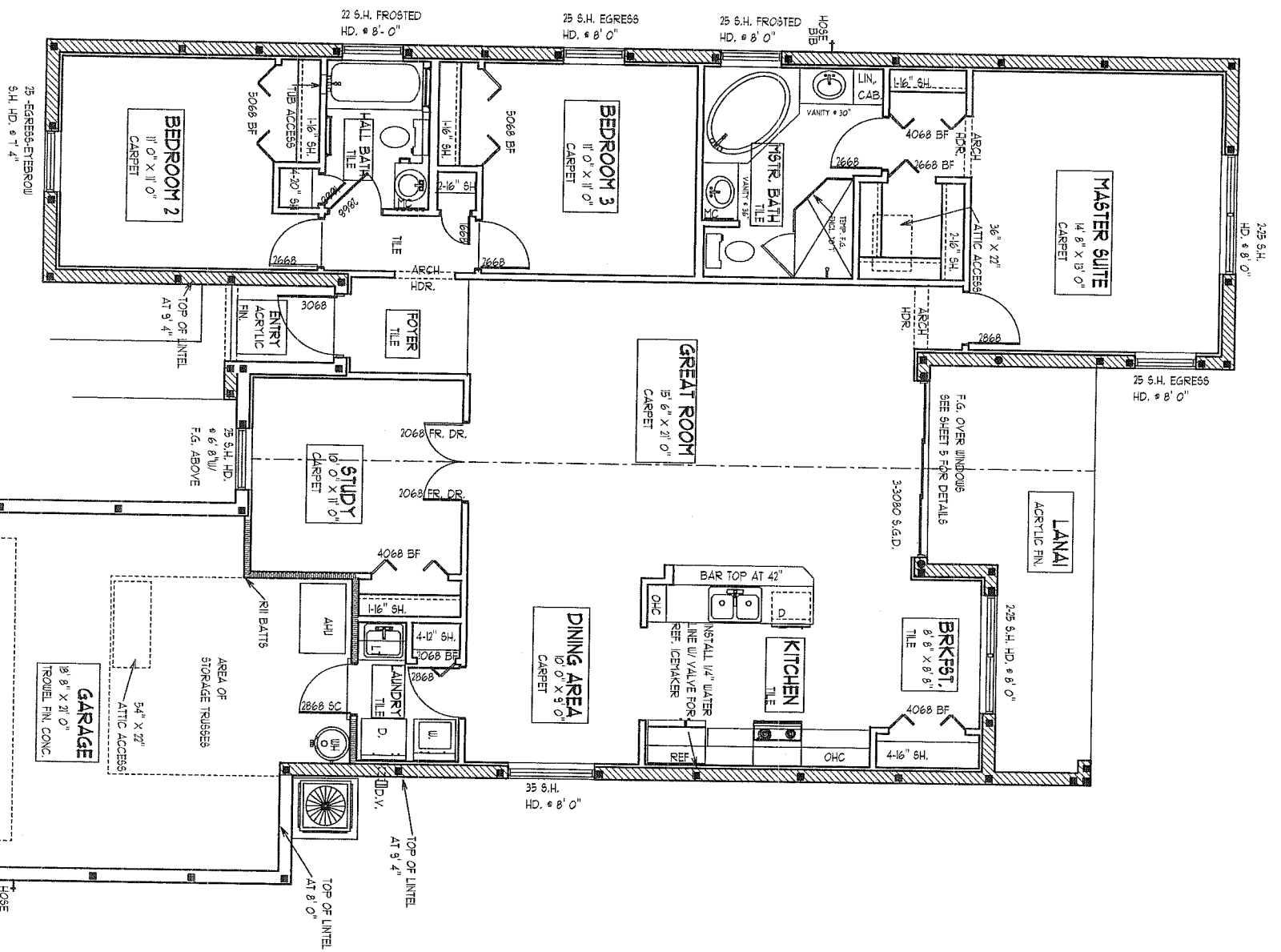
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PLAN DATE
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LOT 22 MEADOW OAKS PASCO COUNTY, FL.

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SIGNED *Richard E. Allen*
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SQUARE FOOTAGES

LIVING AREA	- 175 S.F.
GARAGE	- 470 S.F.
LANAI	- 148 S.F.
ENTRY	- 23 S.F.
TOTAL	- 2866 S.F.

FLOOR PLAN NOTES

SCALE 1/8" = 1' 0"

A.E.C.S. # 10061

PINEHURST 1725

2

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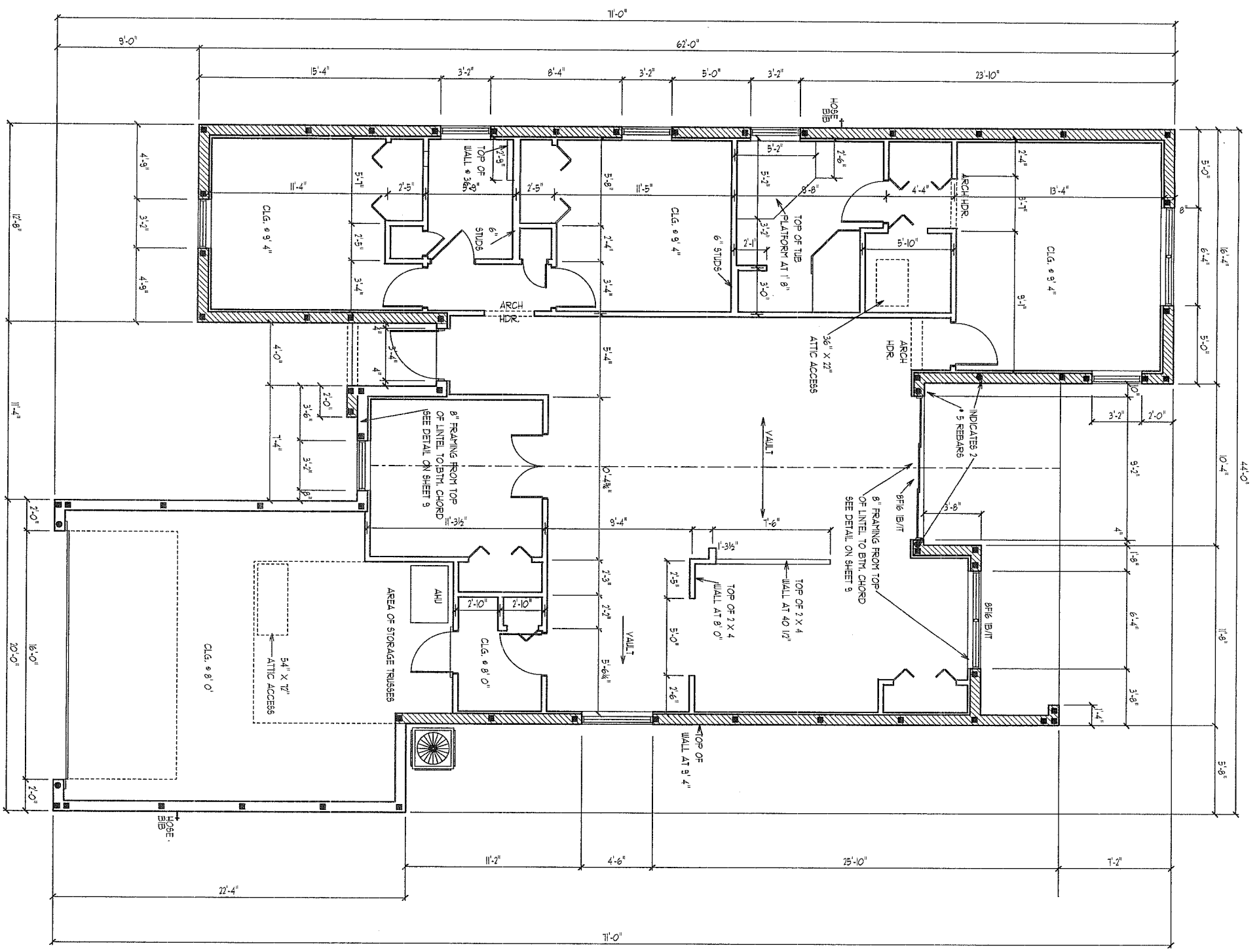
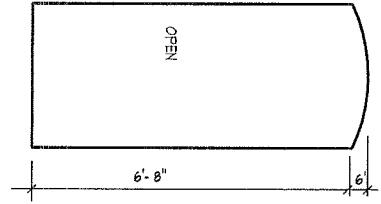
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LOT 22
MEADOW OAKS
PASCO COUNTY, FL.

TYPICAL
ARCH HEADER

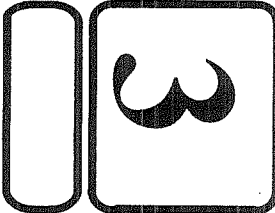


DIMENSION PLAN

SCALE 1/8" = 1' 0"

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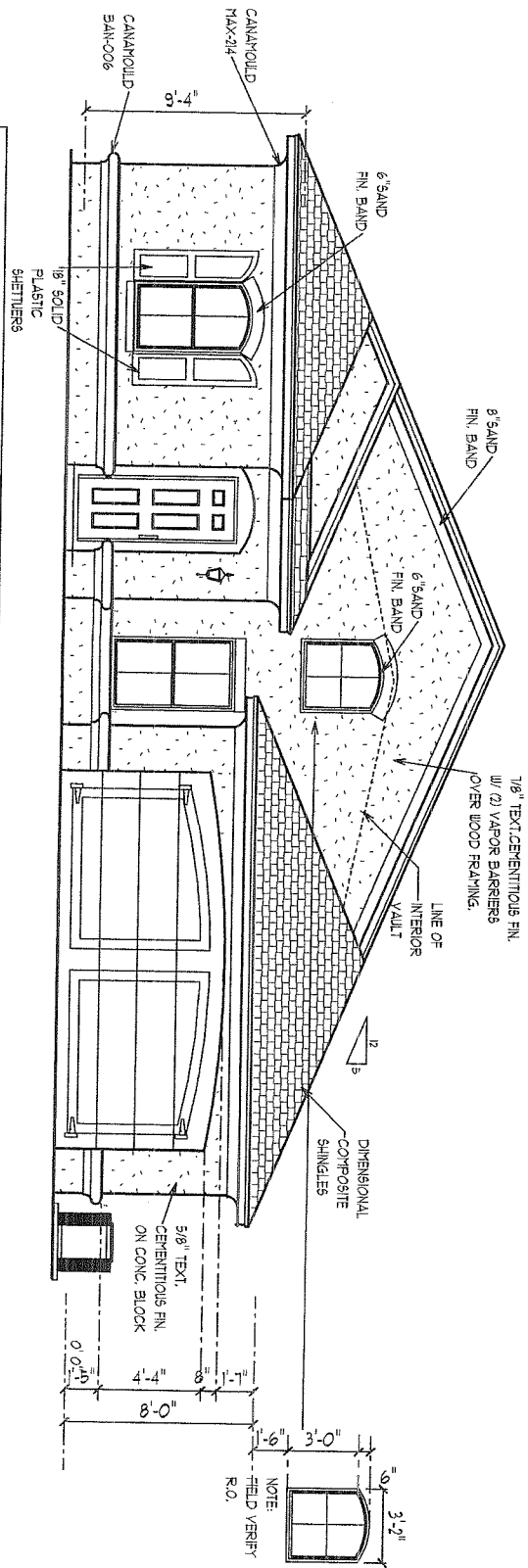
PLAN DATE
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**LOT 22
MEADOW OAKS
PASCO COUNTY, FL.**

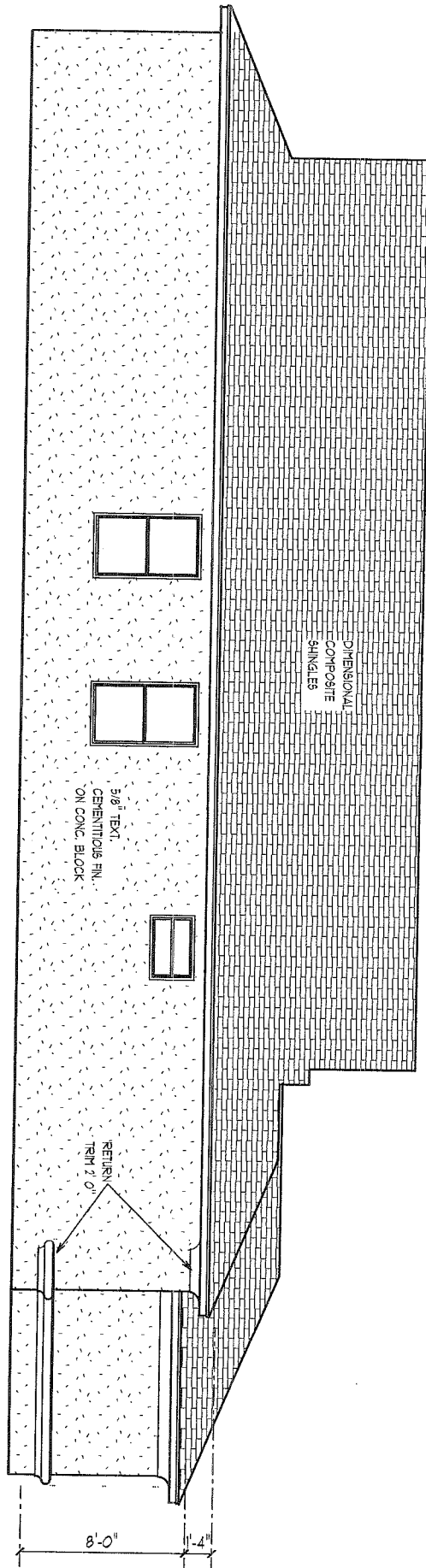
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 119 MPH 3 SEC. GUST LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2007 FLORIDA RESIDENTIAL BUILDING CODE W/ 2009 SUPPLEMENTS APPLIED FOR STRUCTURE ONLY.
SIGNED: *Richard E. Allen*
RICHARD E. ALLEN P.E. #56920

**ALLEN ENGINEERING &
CONSTRUCTION SERVICES**
RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542
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rich@allenengineeringservices.com

FRONT ELEVATION



LEFT SIDE ELEVATION



EXTERIOR ELEVATIONS - A

1/8" = 1' 0"

A.E.C.S. # 10061

PINEHURST 1725



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HOMES, LTD.**

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**LOT 22
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PASCO COUNTY, FL.**

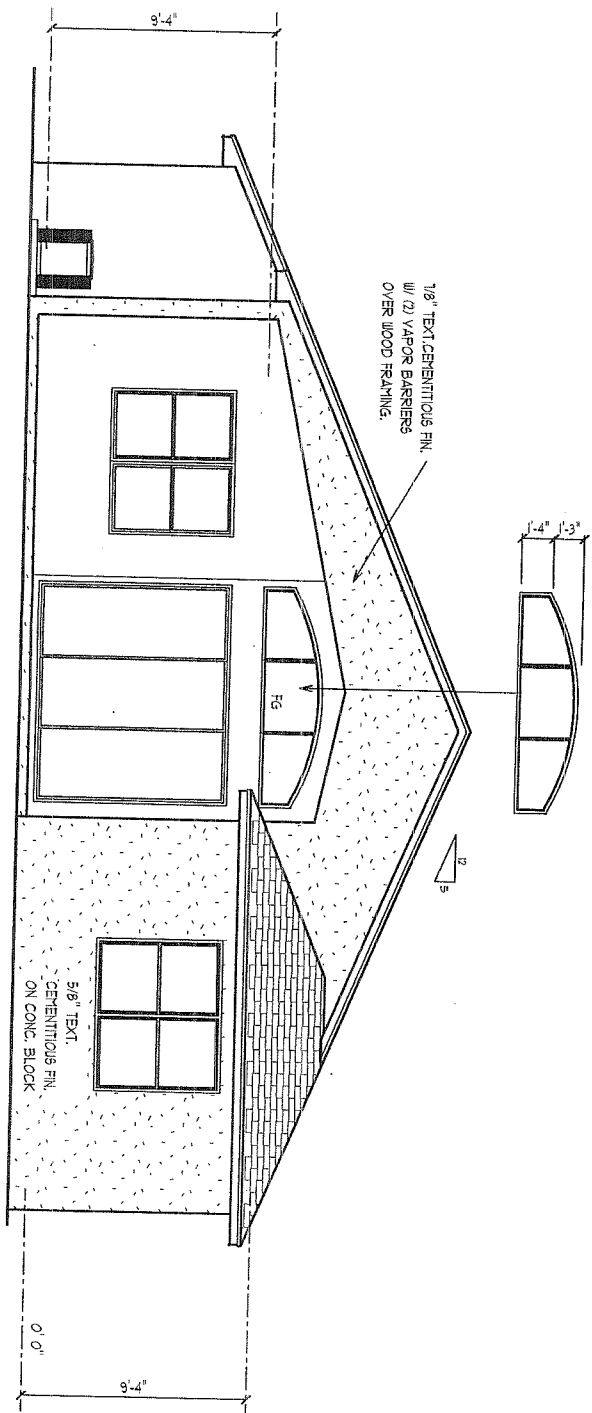
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SIGNED: *[Signature]* 7/14/10
RICHARD E. ALLEN P.E. #56920

**ALLEN ENGINEERING &
CONSTRUCTION SERVICES**

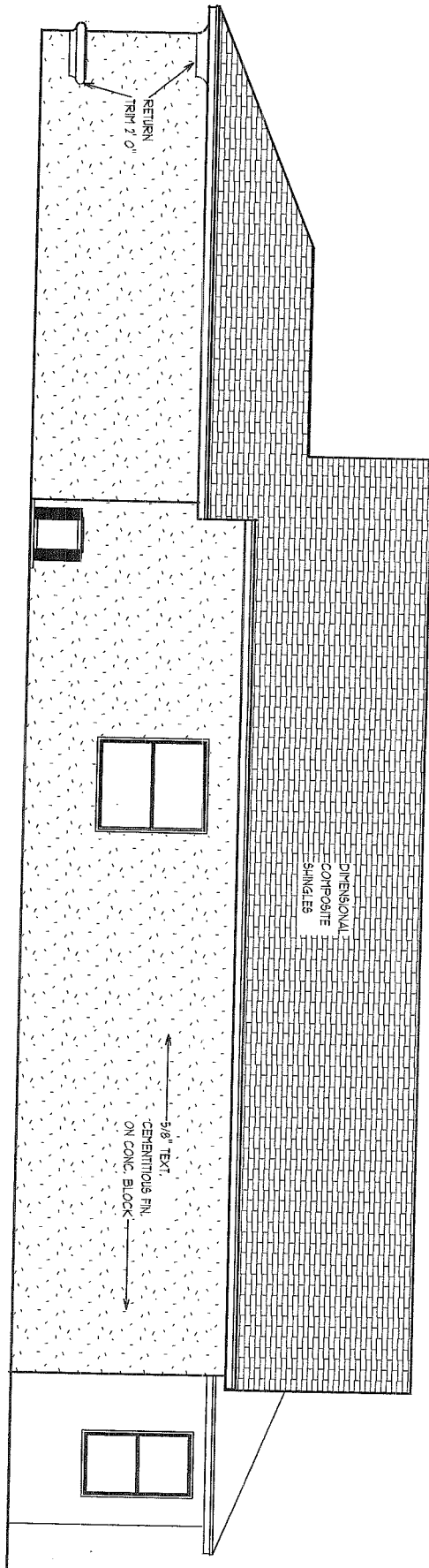
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REAR ELEVATION



RIGHT SIDE ELEVATION



EXTERIOR ELEVATIONS -A

1/8" = 1' 0"

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PINEHURST 1725

5

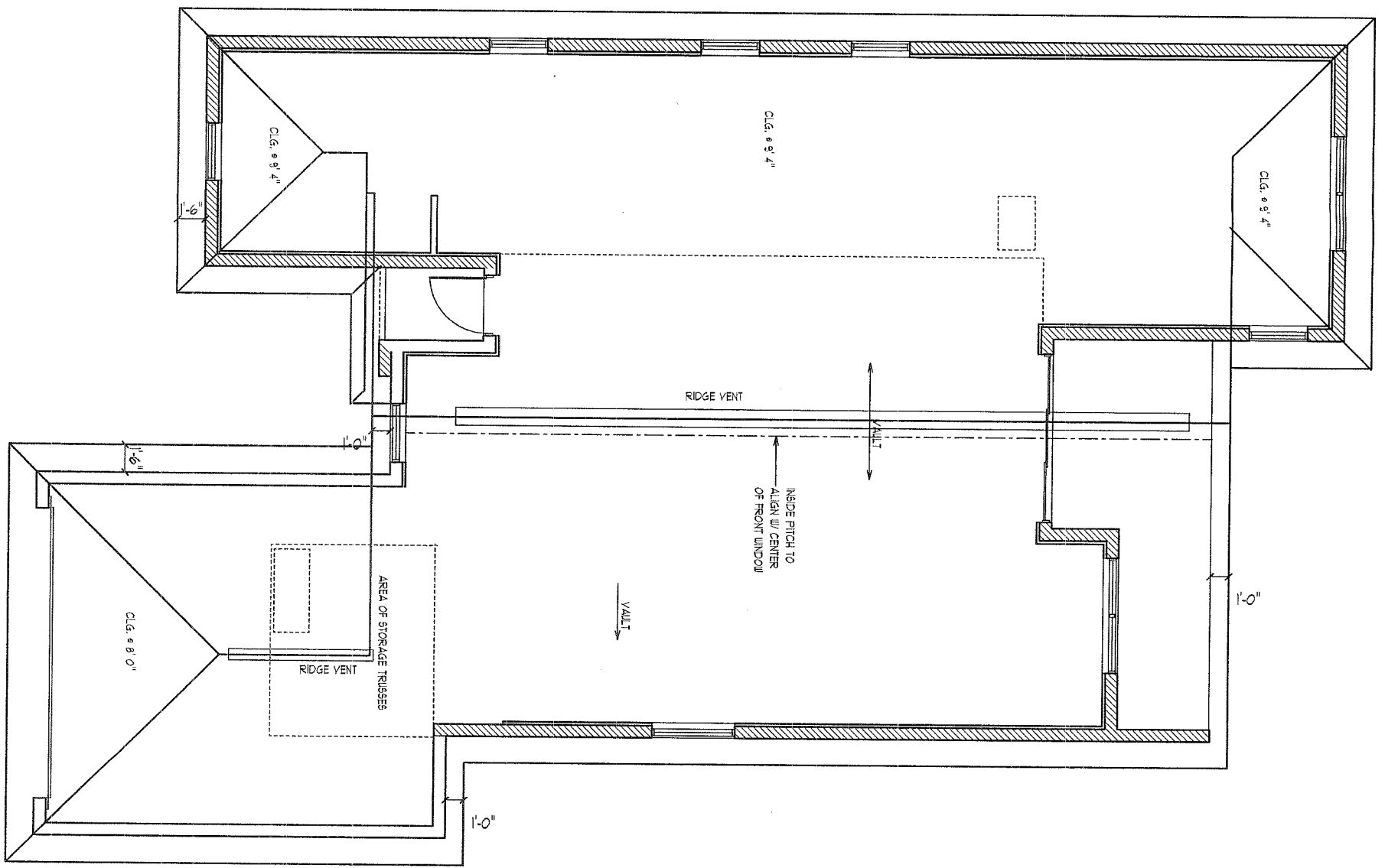
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LOT 22
MEADOW OAKS
PASCO COUNTY, FL.



ROOF PLAN -A

SCALE 1/8" = 1' 0"

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07-13-10

**LOT 22
MEADOW OAKS
PASCO COUNTY, FL.**



IMPORTANT NOTE:

THIS FRAMING PLAN IS DIAGNOMATIC IN NATURE AND IS PROVIDED FOR ILLUSTRATION PURPOSES ONLY. TRUSSES MANUFACTURER TO PROVIDE SEPERATE LAYOUT AND TRUSS COMPONENT DESIGN SIGNED AND SEALED BY A PROFESSIONAL ENGINEER AND REVIEWED BY P.E. OF RECORD.

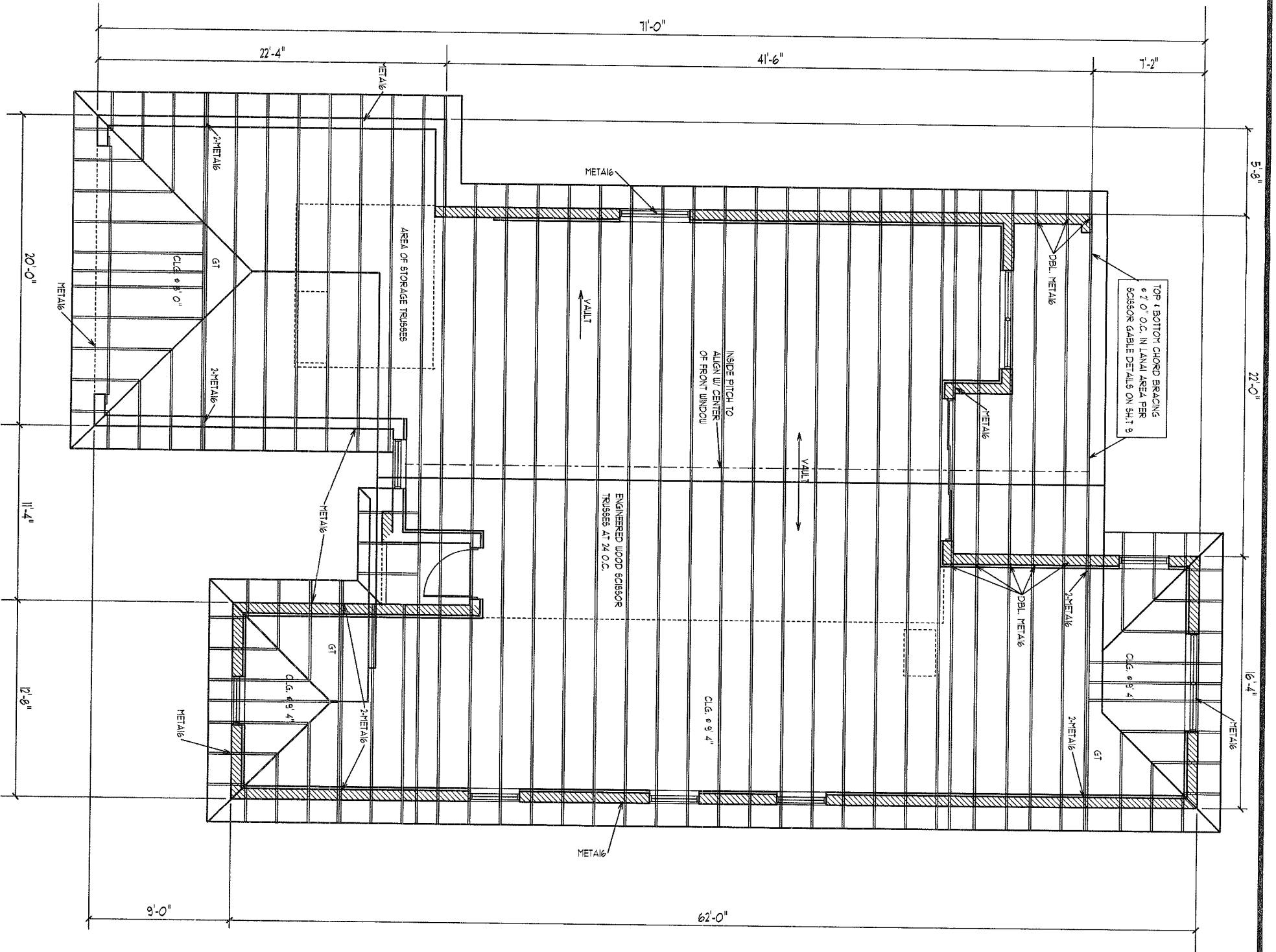
FASTENER NOTES

(1) FOR MGT USE 5/8" X A.T.R. 12" EMBED, SET EPOXY
(2) FOR HGT-2, FOLLOW MFRER INSTRUCTIONS FOR EMBEDDING BOLTS- MECH. BOLT CANNOT SATISFY CRITICAL SPACING.

ALL TRUSSES TO TRUSSES CONNECTORS BY TRUSSES SYSTEMS ENGINEER AND TO BE SPECIFIED ON INDIVIDUAL SEALED TRUSSES SHEETS

NOTE: INSTALL MOISTURE BARRIER BETWEEN MASONRY & UNTREATED WOOD

ATTIC VENTILATION:
PROVIDE 50 % OF 1/150 th
ATTIC AREA AT RIDGE,
REMAINDER AT SOFFIT



TRUSS PLAN - A

SCALE 1/8" = 1' 0"

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GA

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SIGNED: *[Signature]*
RICHARDE ALLEN P.E. #56920

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RICH ALLEN PROFESSIONAL ENGINEER
P.E. # 56920 C.A. # 9542

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UNLESS OTHERWISE NOTED
 1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 17" A.F.F. (GENERAL.)

KITCHEN	42" HORIZONTAL
BATHROOM	42" HORIZONTAL
LAUNDRY	36" WASHER/24" DRYER/ WALL OUTLETS 45"
EXTERIOR	WATERPROOF 17"
GARAGE	GF1 45"
RANGE	ZOV 4"

2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE

3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

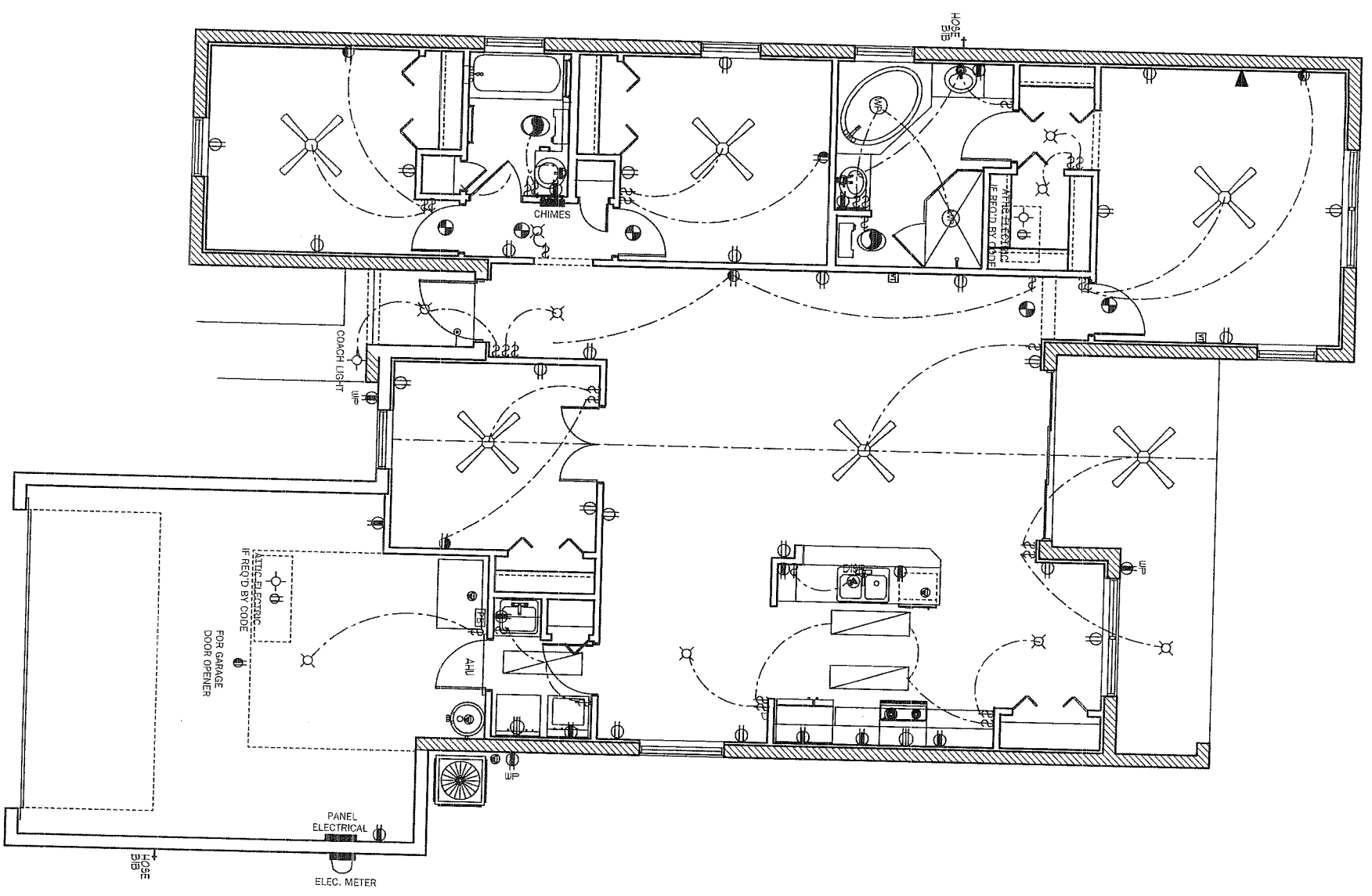
4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL WIRING & ACCESSORIES.

5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION 901.2

6. PROVIDE AFCI (ARC FAULT INTERRUPTERS) IN ALL BEDROOMS PER NEC, SECTION 20.2.

7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11

- ELECTRICAL LEGEND**
- \$ SINGLE POLE SWITCH
 - \$2 DOUBLE POLE SWITCH
 - \$3 THREE-WAY SWITCH
 - \$4 FOUR-WAY SWITCH
 - \$DM DIMMER SWITCH
 - CEILING FIXTURE
 - SCQUINE (WALL MOUNTED) FIXTURE
 - 110 VOLT DUPLEX OUTLET
 - 110 VOLT SPLIT SWITCHED OUTLET
 - GROUND FAULT INTERRUPT
 - WP WATER PROOF W/ GROUND FAULT
 - 220 VOLT OUTLET
 - SPECIAL SERVICES OUTLET
 - TV, CABLE OUTLET
 - TELEPHONE CABLE OUTLET
 - RECESSED LIGHTING
 - WATER PROOF RECESSED LIGHTING
 - BATH FAN
 - BATH FAN W/ LIGHT
- SMOKE DETECTOR CARBON MONOXIDE DETECTOR
 - FLOOD LIGHT
 - FLUORESCENT LIGHTING
 - TRACK LIGHTING
 - CEILING FAN
 - CHIMES
 - DOOR BELL CHIMES
 - DOOR BELL
 - DISP DISPOSAL
 - DISCONNECT SWITCH
 - SPK PREWIRE SPEAKER
 - JUNCTION BOX
 - THERMOSTAT
 - LOW VOLTAGE LIGHTING
 - INTERCOM SYSTEM
 - GARAGE DOOR PUSH BUTTON

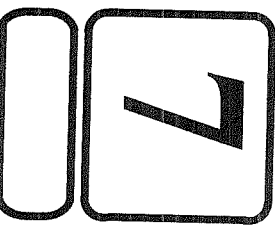


ELECTRICAL PLAN

SCALE 1/8" = 1' 0"

A.E.C.S. # 10061

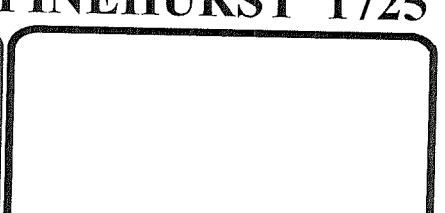
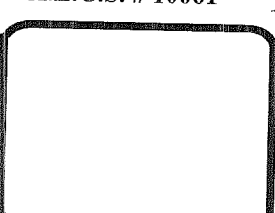
PINEHURST 1725

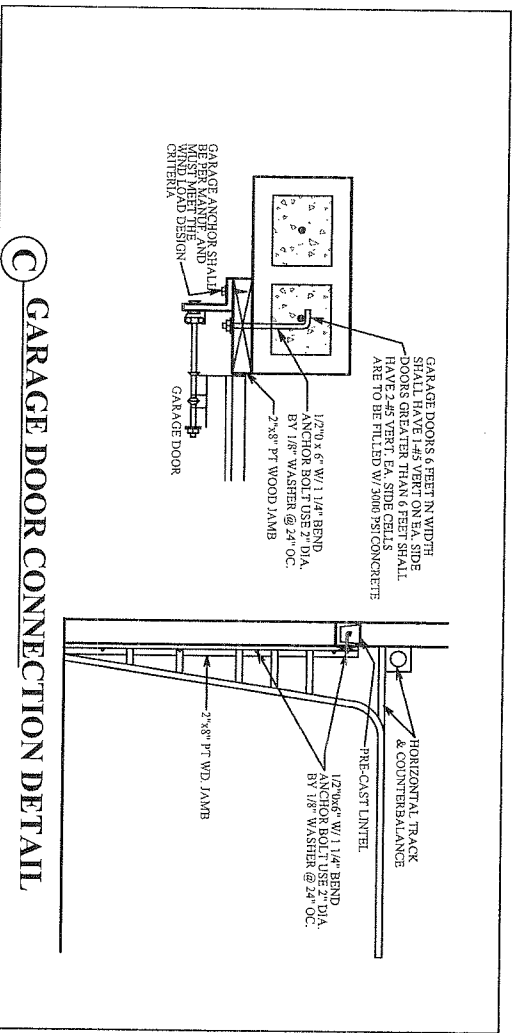
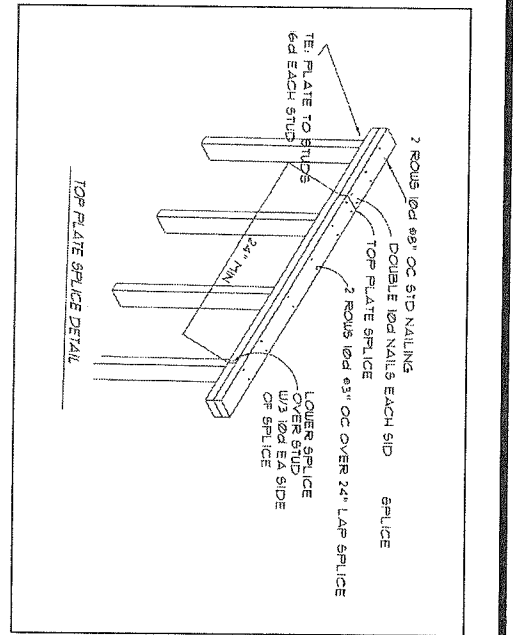
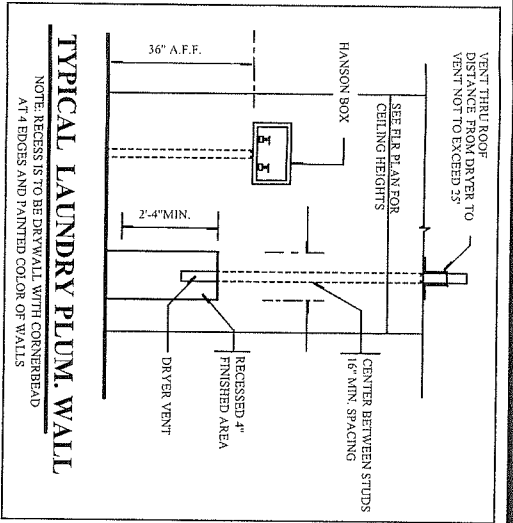
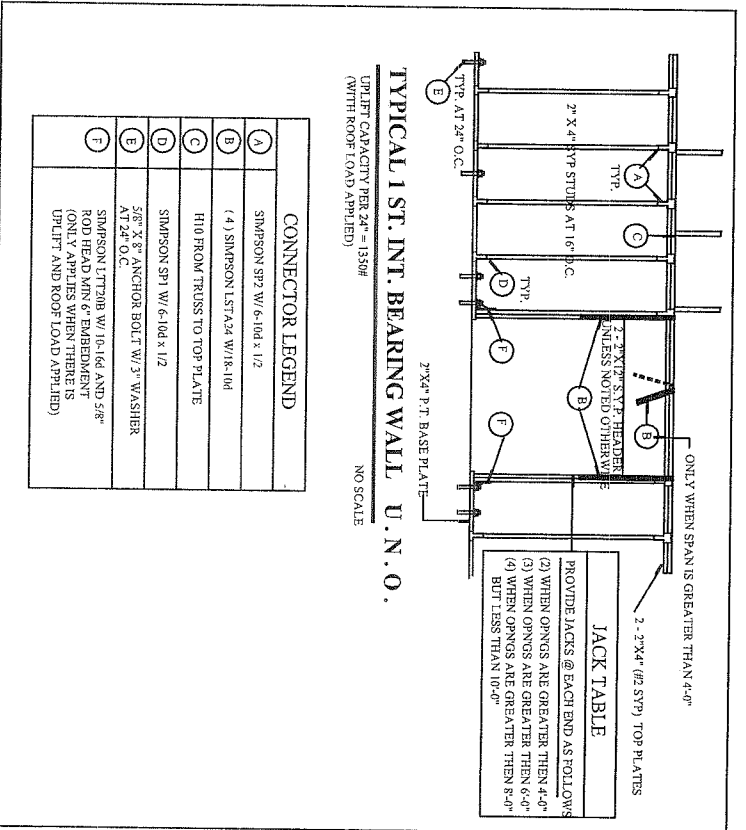
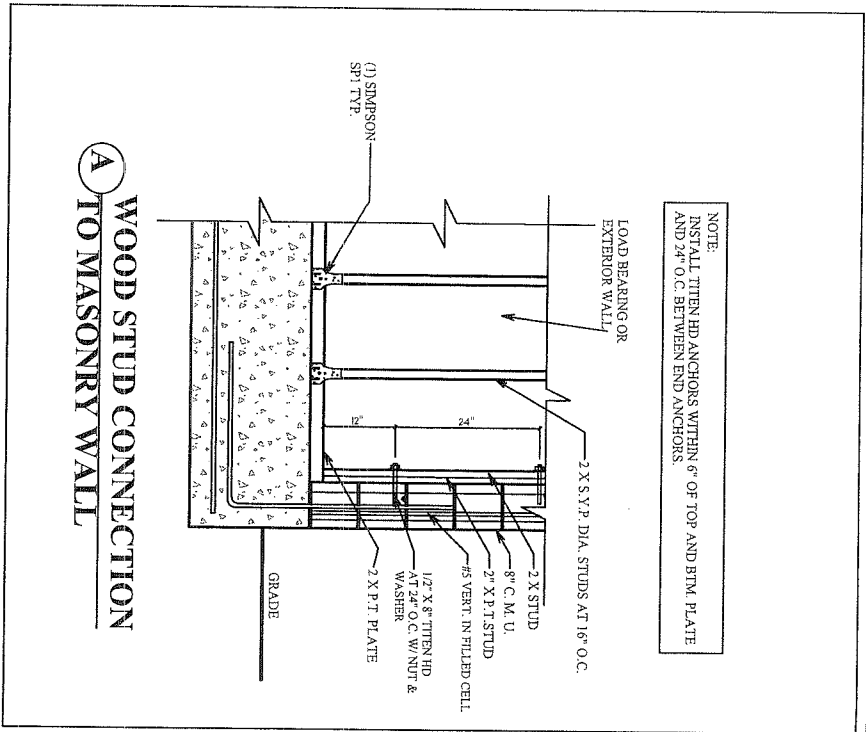
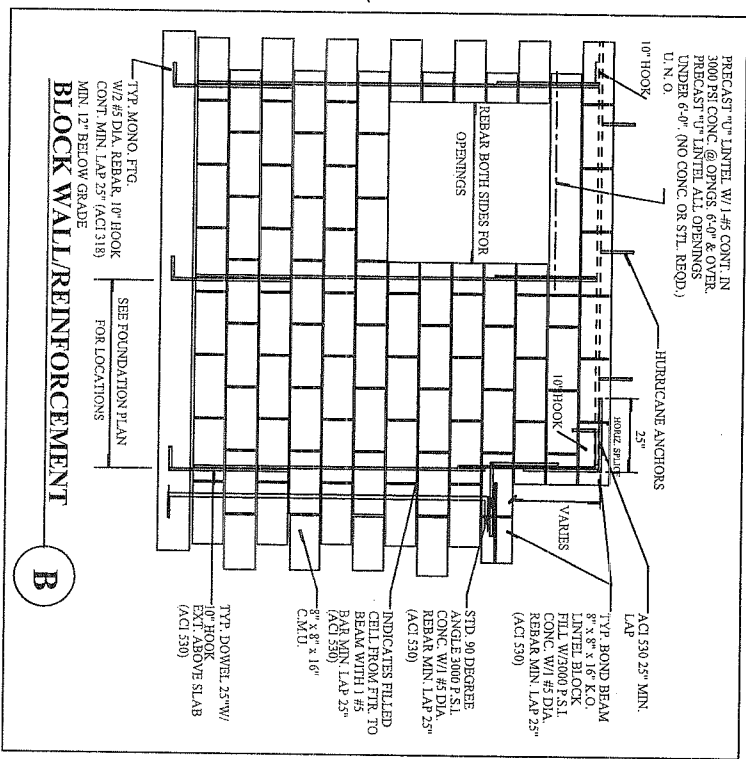


DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL. 34655

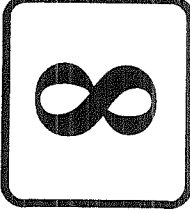
PLAN DATE	
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LOT 22 MEADOW OAKS PASCO COUNTY, FL.





CONSTRUCTION DETAILS



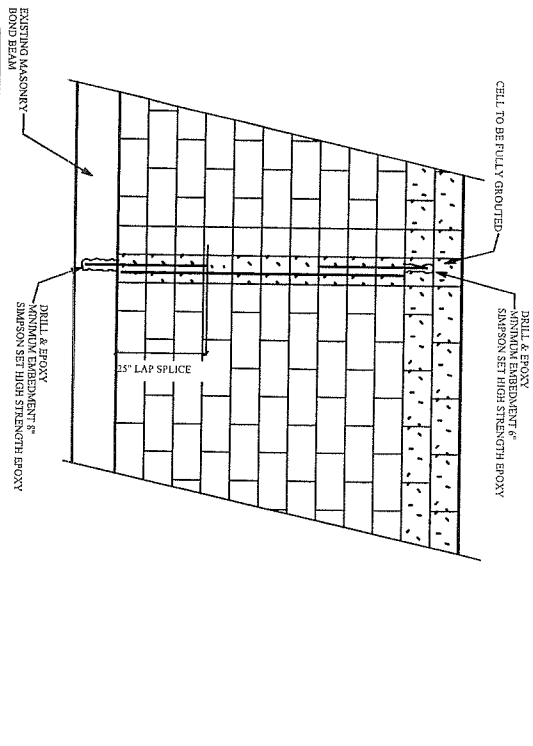
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 MEADOW OAKS
 PASCO COUNTY, FL.

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 SIGNED *Allen*
 RICHARD E. ALLEN P.E. #56920

PINEHURST 1725
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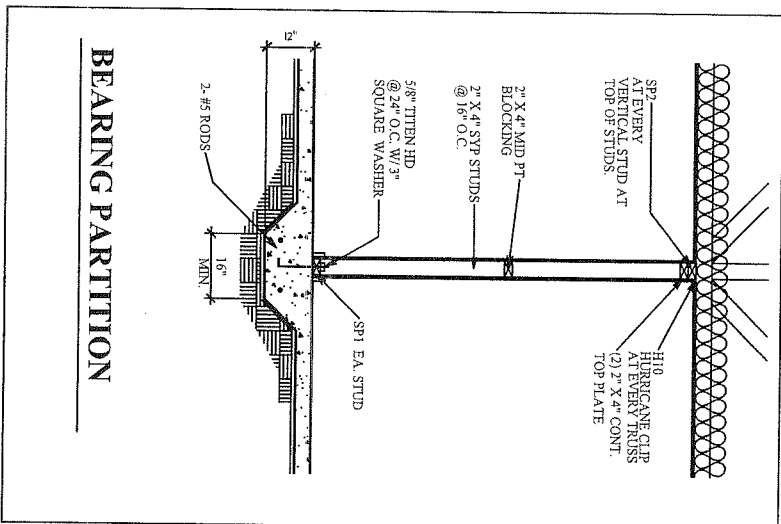


TYP. RETROFIT VERT. DOWEL CONDITION

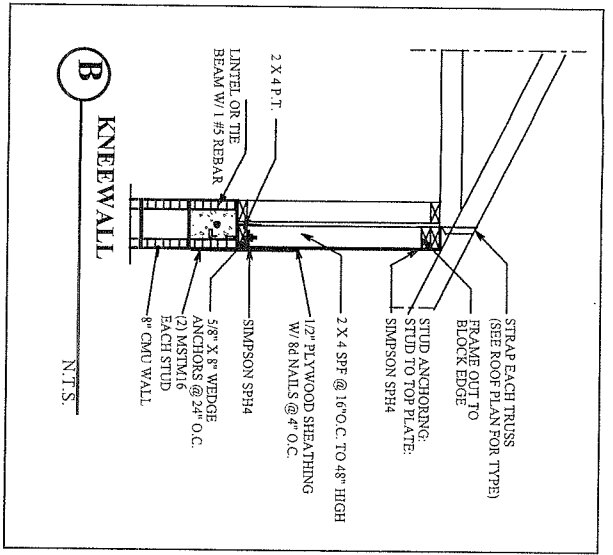
NOTE:
MISSING DOWELS, WHERE FOOTING DOWELS ARE PLACED INCORRECTLY OR MISTAKENLY ELIMINATED, REPLACE DOWEL AT PROPER LOCATION W/ GRADE 40 #5 BAR. INSTALL IN SLAB W/ 8\"/>

MISSING ANCHOR BOLTS AT BEARING WALL:
EXTERIOR BEARING WALL:
IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS:
1) 5/8\"/>

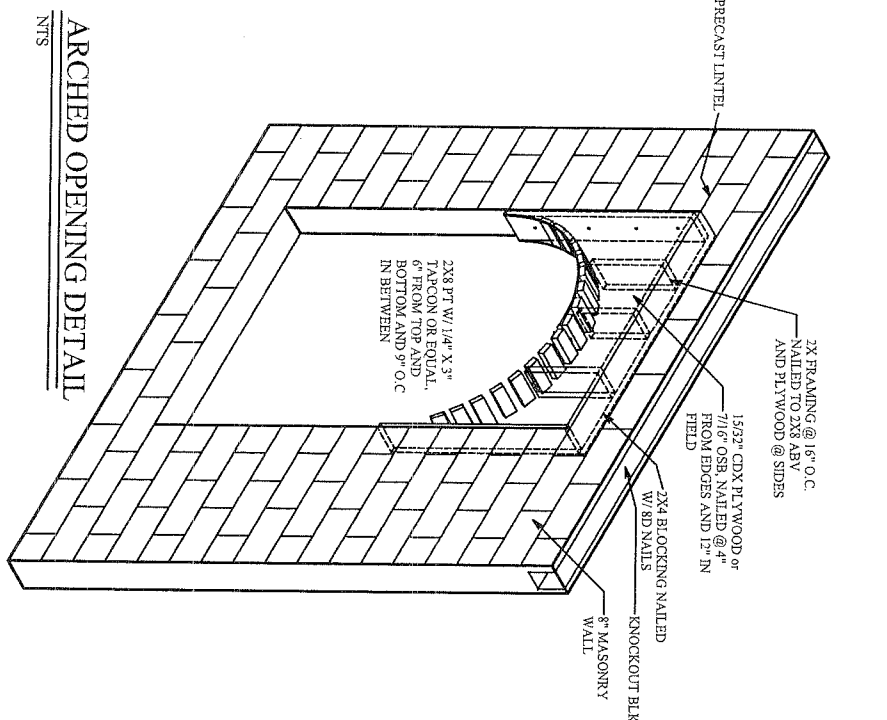
INTERIOR BEARING WALL:
IN ADDITION TO THE GENERAL PLACEMENT REQUIREMENTS:
1) 5/8\"/>



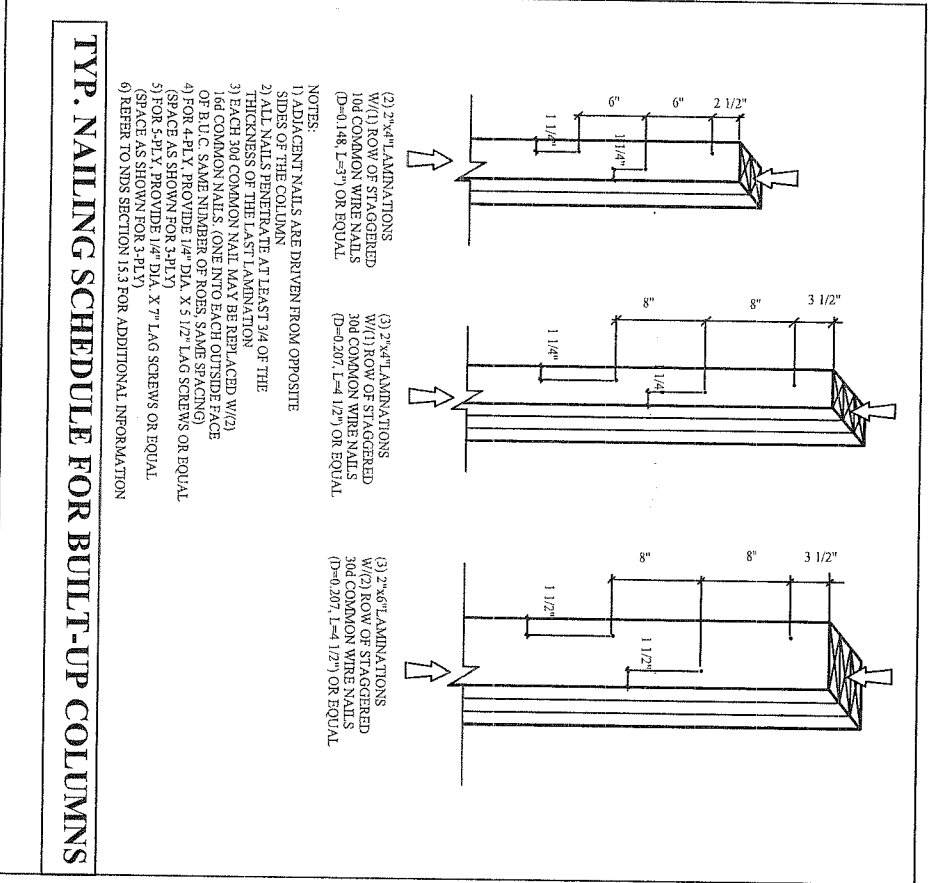
BEARING PARTITION



B KNEEWALL

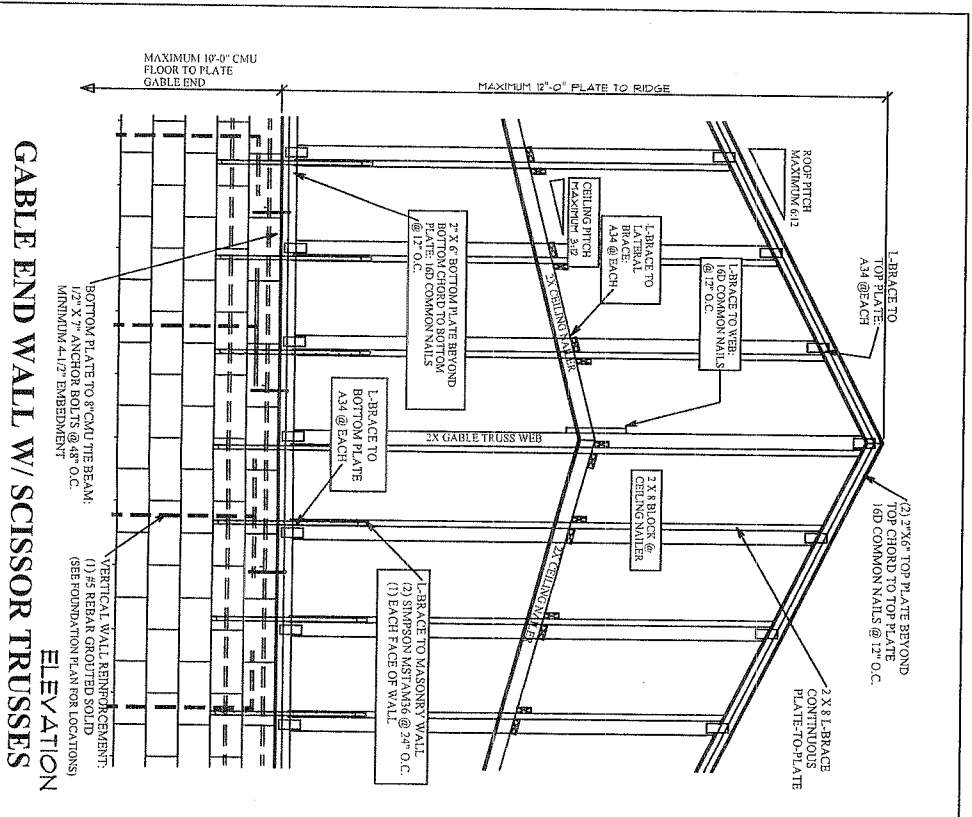


ARCHED OPENING DETAIL

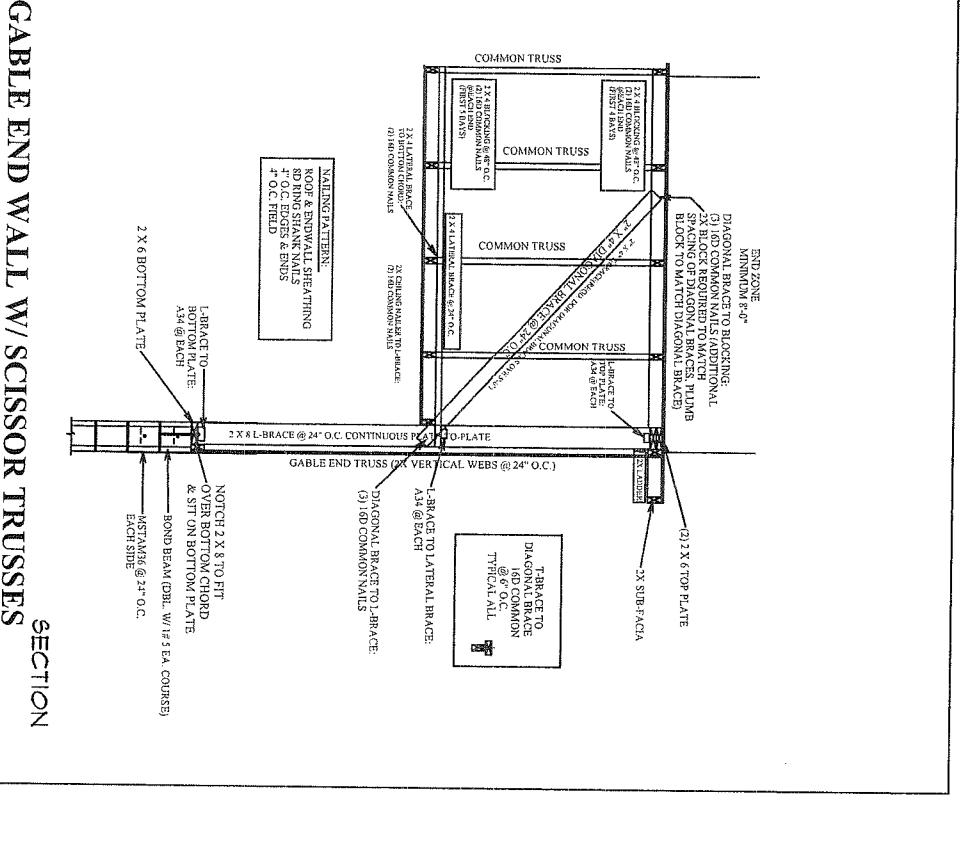


TYP. NAILING SCHEDULE FOR BUILT-UP COLUMNS

- NOTES:
1) ADJACENT NAILS ARE DRIVEN FROM OPPOSITE SIDES OF THE COLUMN.
2) ALL NAILS PENETRATE AT LEAST 3/4 OF THE THICKNESS OF THE LAST LAMINATION.
3) EACH 30D COMMON NAIL MAY BE REPLACED W/ (2) OF B.U.C. SAME NUMBER OF ROES, SAME SPACING.
4) FOR 4P.L.Y. PROVIDE 1/4\"/>



GABLE END WALL W/ SCISSOR TRUSSES ELEVATION



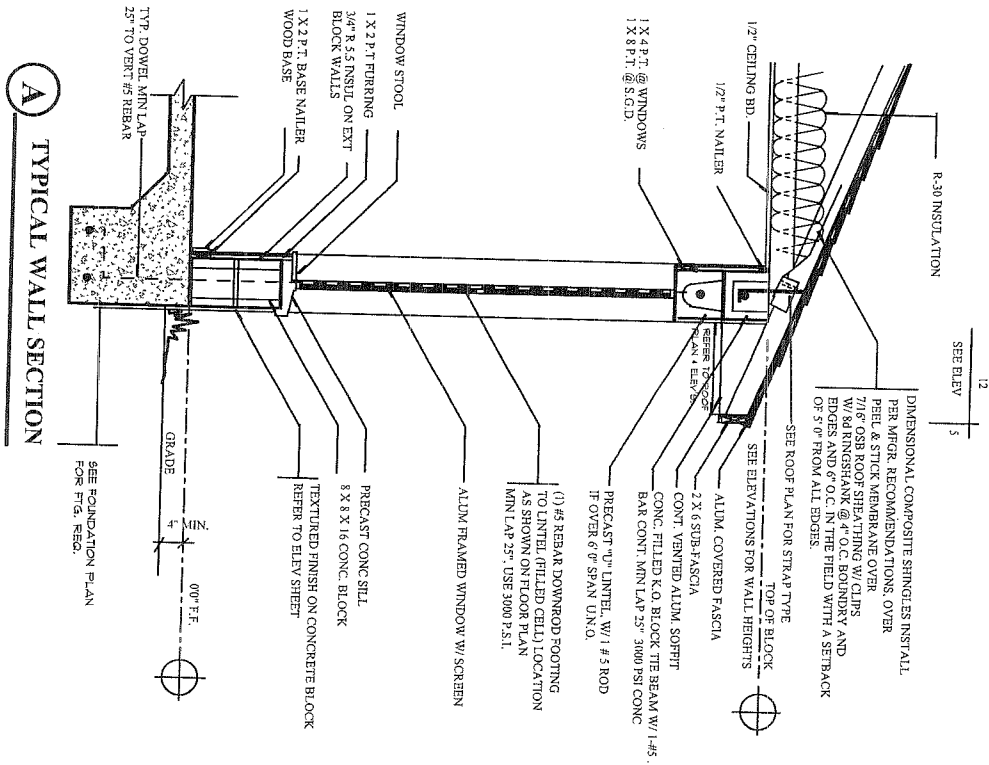
GABLE END WALL W/ SCISSOR TRUSSES SECTION

CONSTRUCTION DETAILS

3-24-09		<p>DEEB FAMILY HOMES, LTD. 9400 RIVER CROSSING BLD. NEW PORT RICHEY, FL. 34655</p>	<p>PLAN DATE 04-29-10 07-13-10</p>	<p>LOT 22 MEADOW OAKS PASCO COUNTY, FL.</p>	<p>A.E.C.S. # 10061</p> <p>I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2007 FLORIDA RESIDENTIAL BUILDING CODE W/ 2009 SUPPLEMENTS ADDED FOR STRUCTURE ONLY.</p> <p>SIGNED: <i>Richard E. Allen</i> RICHARD E. ALLEN P.E. #56920</p>	<p>PINEHURST 1725</p> <p>ALLEN ENGINEERING & CONSTRUCTION SERVICES RICH ALLEN PROFESSIONAL ENGINEER P.E. # 56920 C.A. # 9542</p> <p>P.O. BOX 1870 NEW PORT RICHEY, FL. 34656 727-842-6100 Fax. 727-825-3973 rich@allenengineeringservices.com</p>
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SIMPSON	FLORIDA PRODUCT NUMBERS PER INDEX 3.27-09
ME1A16	11473, 17
H10	10456, 13
H10	10456, 6
MG1	11470, 7
LS17C4	10952, 4
SP2	10456, 41
VT4	10952, 42
LG12	10952, 2
ECCC34SDS2.5	11470, 8
HT120	10980, 10
HT116	10456, 23
	11496, 1

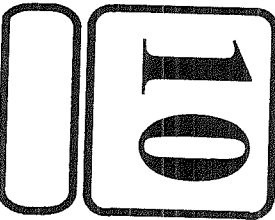
CONNECTOR TABLE



TERMITE SPECIFICATIONS:

INSTALL "BORA-CARE" TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

CONSTRUCTION DETAILS



DEEB FAMILY HOMES, LTD.
9400 RIVER CROSSING BLD.
NEW PORT RICHEY, FL. 34655

PLAN DATE
04-29-10
07-13-10

LOT 22 MEADOW OAKS PASCO COUNTY, FL.

A.E.C.S. # 10061
I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH 119 MPH 3 SEC. GUST LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2007 FLORIDA RESIDENTIAL BUILDING CODE W/ 2009 SUPPLEMENTS REPAIRED FOR STRUCTURE ONLY
SIGNED: *[Signature]*
RICHARD E. ALLEN P.E. #56920

PINEHURST 1725
ALLEN ENGINEERING & CONSTRUCTION SERVICES
RICH ALLEN PROFESSIONAL ENGINEER
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