

- NOTES**
- 1) NO SOILS INFORMATION PROVIDED. PRESUMED ALLOWABLE SOIL BEARING CAPACITY IS 2,000 P.S.F.
 - 2) FOOTINGS TO BEAR MIN. 12" BELOW GRADE.
 - 3) FOOTINGS TO BEAR ON UNDISTURBED SOIL OR FILL COMPACTED TO 95% MOD. PROCTOR BETWEEN LESS THAN 12" LIFTS.
 - 4) ALL BEARING SOILS TO BE FREE OF DEBRIS AND ORGANIC MATERIAL.
 - 5) REFER TO STRUCTURAL ENGINEER NOTES.

DRIVEWAY SPEC:
 DRIVEWAY NOT IN RIGHT OF WAY TO BE BRICK PAVERS.
 DRIVEWAY IN RIGHT OF WAY TO BE 6" 3000 PSI CONCRETE WITH FIBERMESH AND WIRE REINFORCEMENT

INDICATES FILLED CELL FROM FTG. UP TO TIE BEAM W/GROUT & #5 ROD VERT. AT ALL PLACES SHOWN

TERMITE SPECIFICATIONS
 INSTALL BORA-CARE TERMITE PROTECTION SYSTEM PER MANUF. SPECIFICATIONS

SYNTHETIC FIBER REINFORCEMENT IN CONCRETE FOR SLAB ON GRADE SHALL COMPLY WITH FBC SECT. 1911.2 (EXCEPTION 1)

FOUNDATION PLAN

SCALE 1/8" = 1'-0"

A.E.C.S # 14096

BERWICK 2728

DEEB FAMILY HOMES, LTD.
 9400 RIVER CROSSING BLD.
 NEW PORT RICHEY, FL. 34655

THE COVE
 AT EAST LAKE WOODLANDS
 LOT 3

1. REVIEW SET
 2. STRUCT. ENG.
 3. CLIENT REVS.
 4. CLIENT REVS.
 5. LANAI FLR.
 CHANGED TO CONC.

HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN FOR WIND LOADS, EXPOSURE B AND IT IS IN COMPLIANCE WITH CHAPTER 16 OF THE 2010 FLORIDA BUILDING CODE. SEALED FOR THE STRUCTURE ONLY.

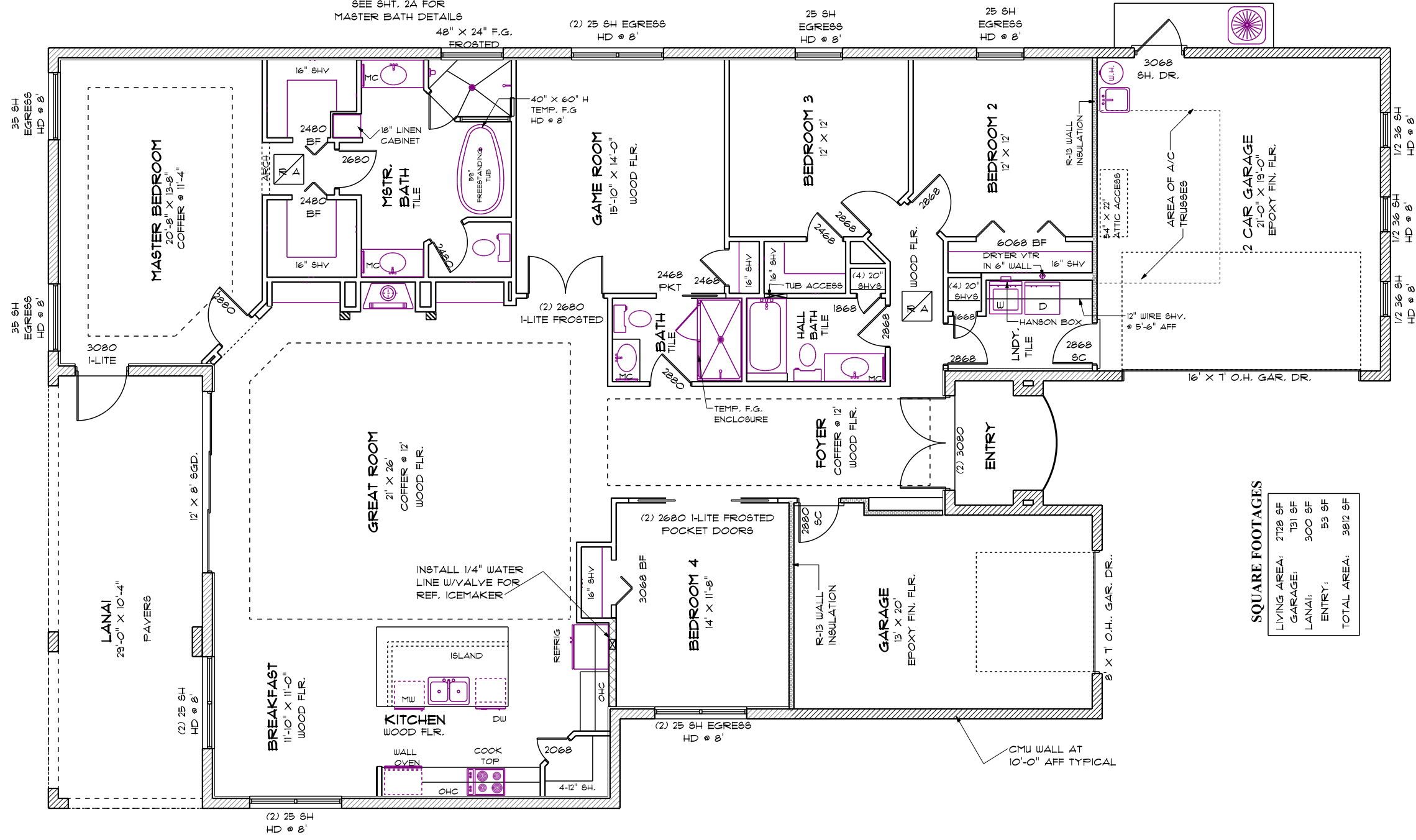
SIGNED
 RICHARD E. ALLEN P.E. #56920
 richallenpe@gmail.com

ALLEN ENGINEERING & CONSTRUCTION SERVICES
 RICH ALLEN PROFESSIONAL ENGINEER
 P.E. #56920 C.A. #9542
 P.O. BOX 351
 NEW PORT RICHEY, FL. 34656
 727-842-6100
 richallenpe@gmail.com

1

PLAN DATE

1. 12-18-2014
2. 12-22-2014
3. 12-30-2014
4. 01-19-2015
5. 02-20-2015



SQUARE FOOTAGES

LIVING AREA:	2728 SF
GARAGE:	131 SF
LANAI:	300 SF
ENTRY:	53 SF
TOTAL AREA:	3812 SF

FLOOR PLAN NOTES

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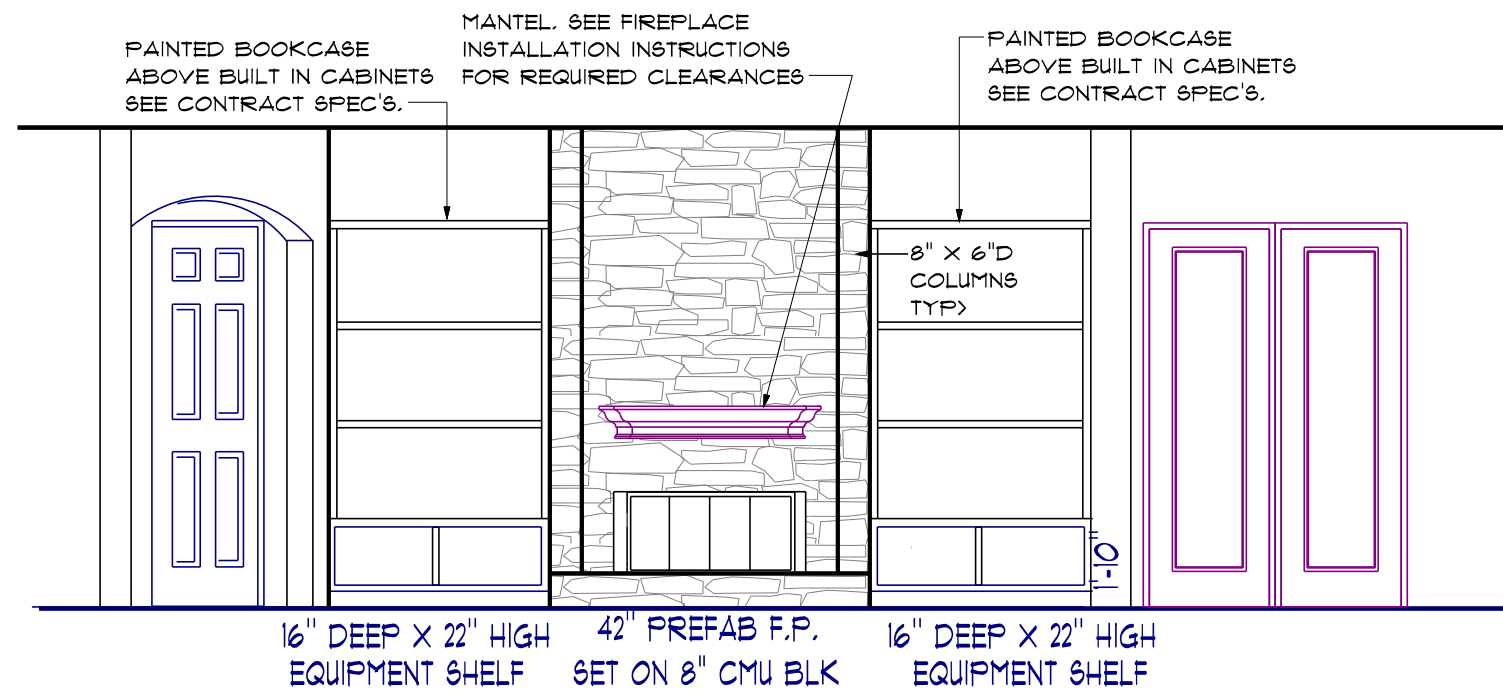
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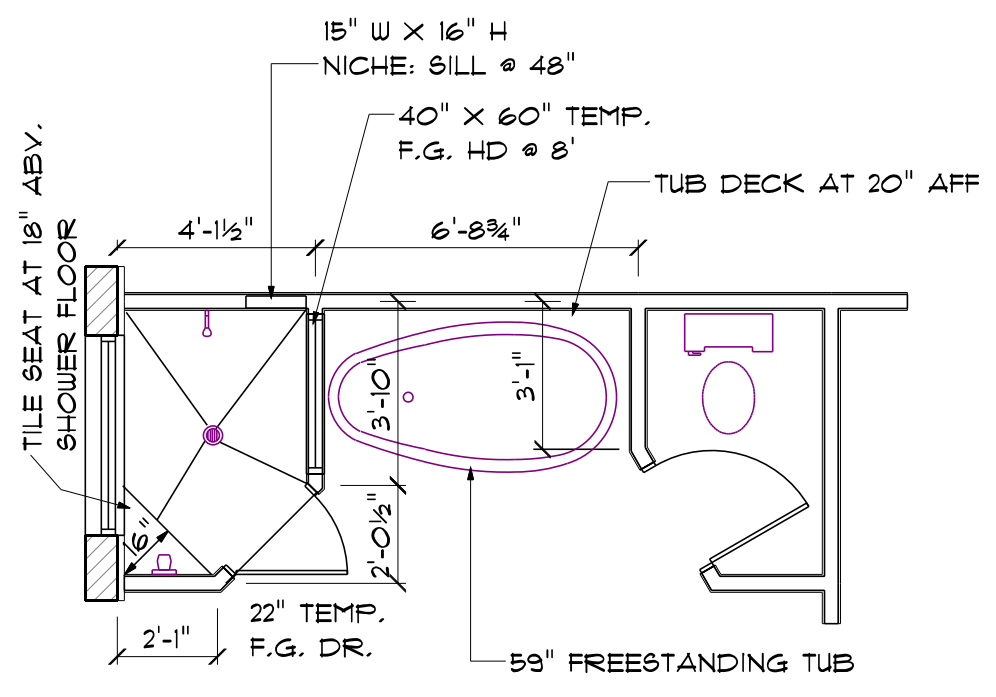
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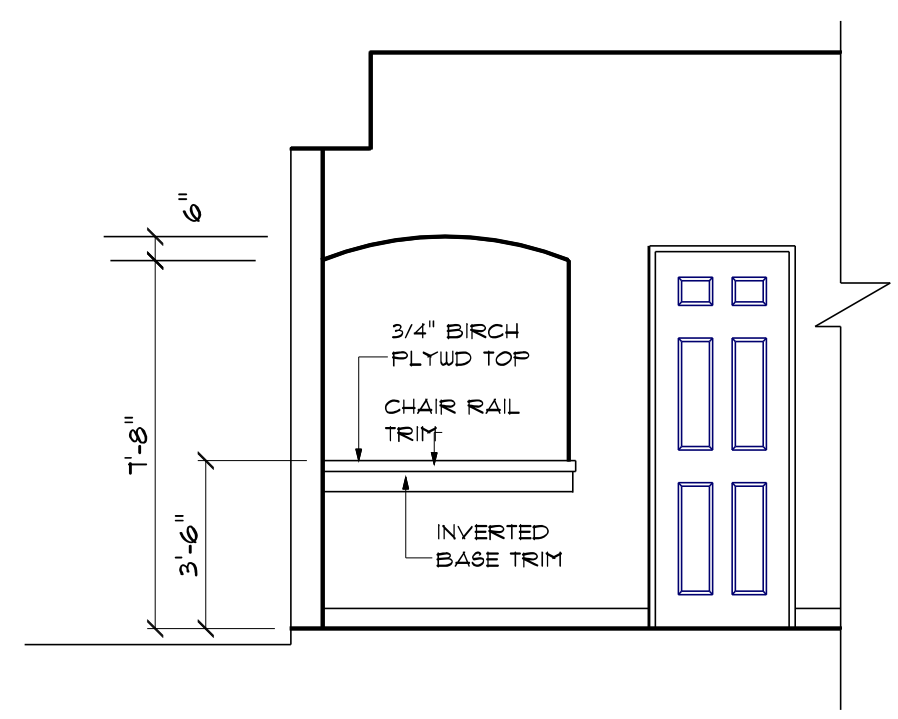
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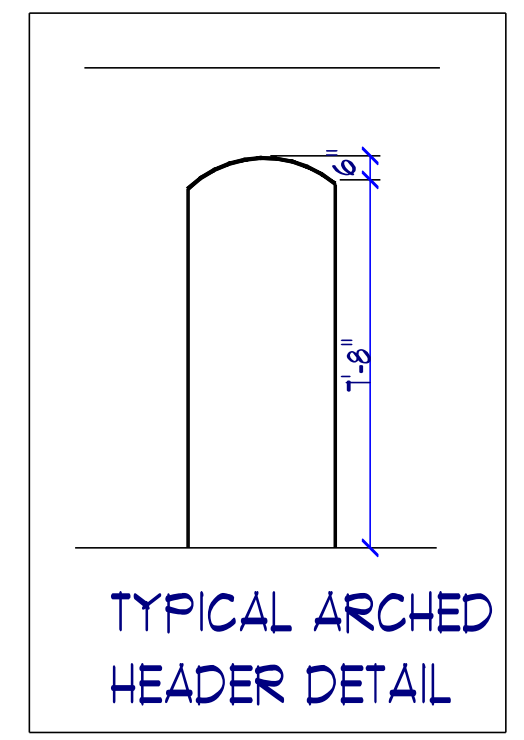
FIREPLACE WALL ELEVATION



MASTER BATH TUB DETAIL



FOYER NICHE ELEVATION



TYPICAL ARCHED HEADER DETAIL

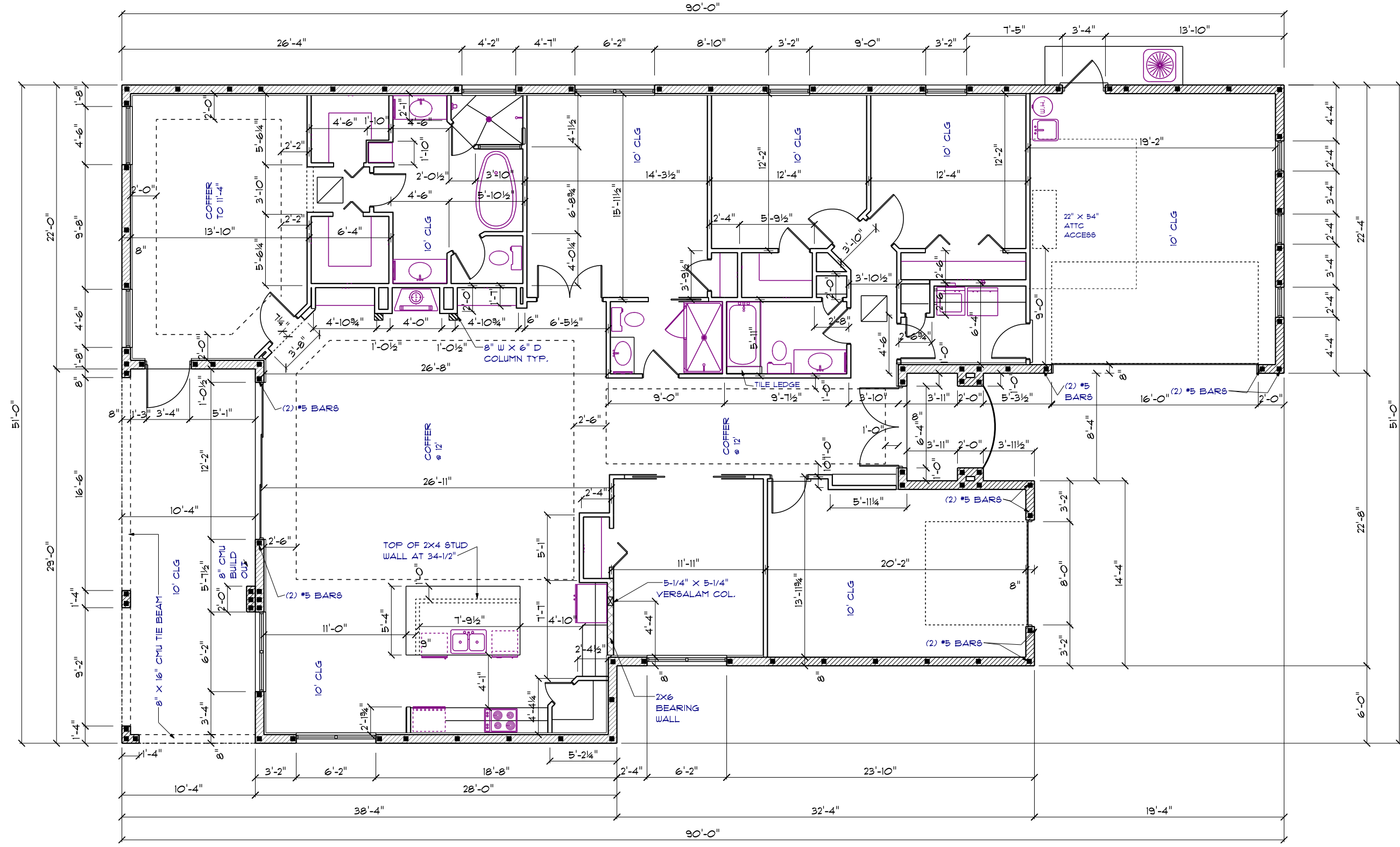
INTERIOR ELEVATIONS SCALE 1/4" = 1'-0" **BERWICK 2728**

THE COVE
 AT EAST LAKE WOODLANDS
 LOT 3
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2A



DIMENSION PLAN

SCALE 1/8" = 1'-0"

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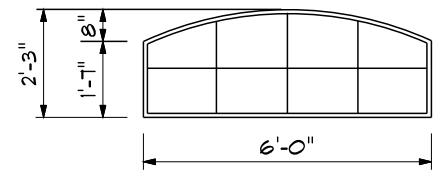
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AT EAST LAKE WOODLANDS
LOT 3**

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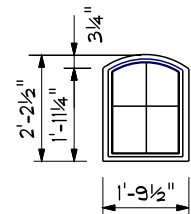
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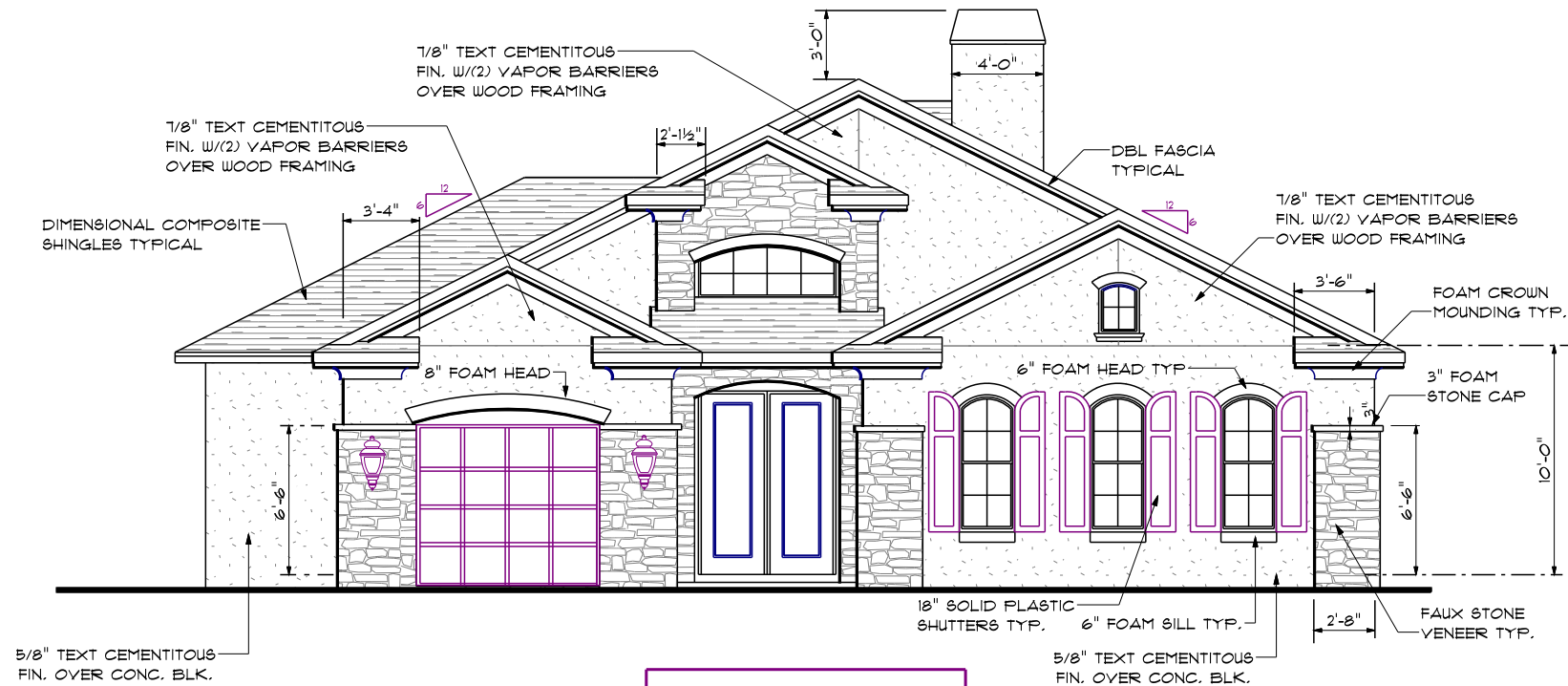
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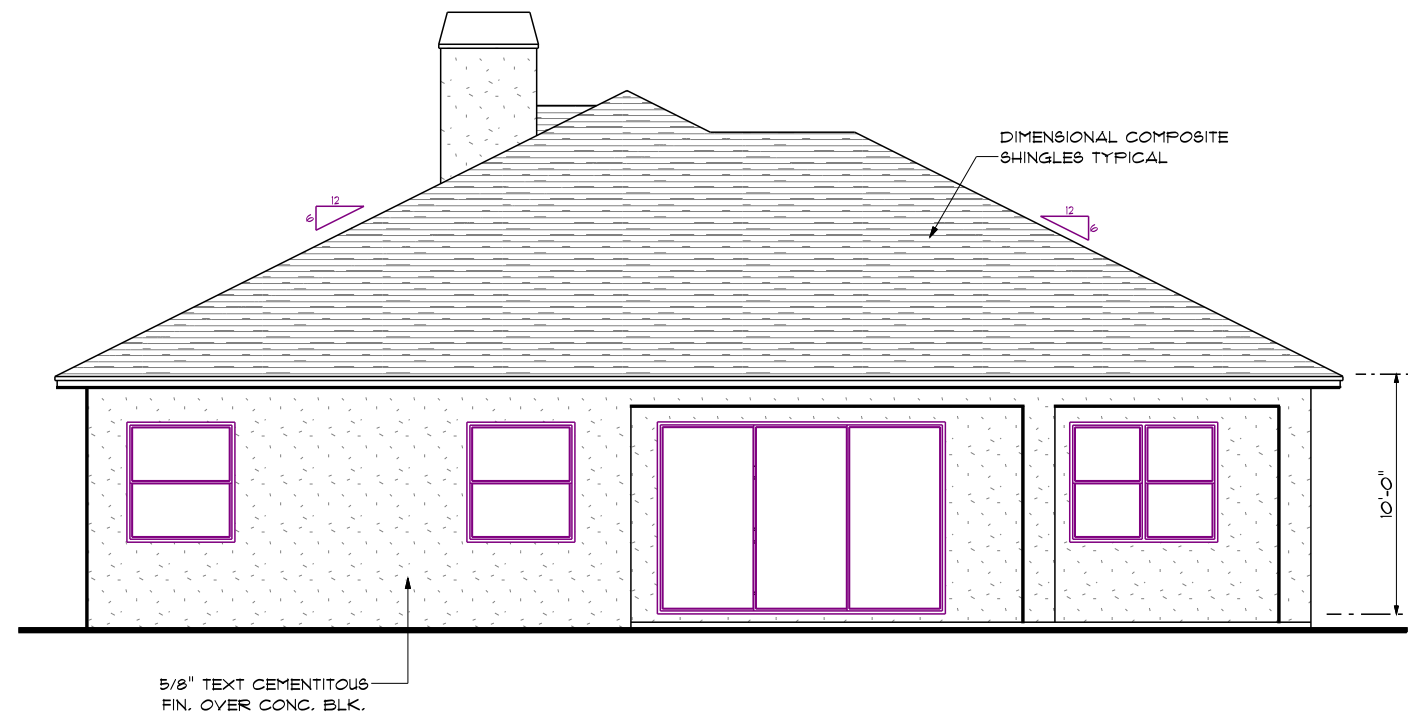
ENTRY TOWER FIXED GLASS
1/4" = 1'-0"



GARAGE GABLE F.G.
1/4" = 1'-0"



FRONT ELEVATION



REAR ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

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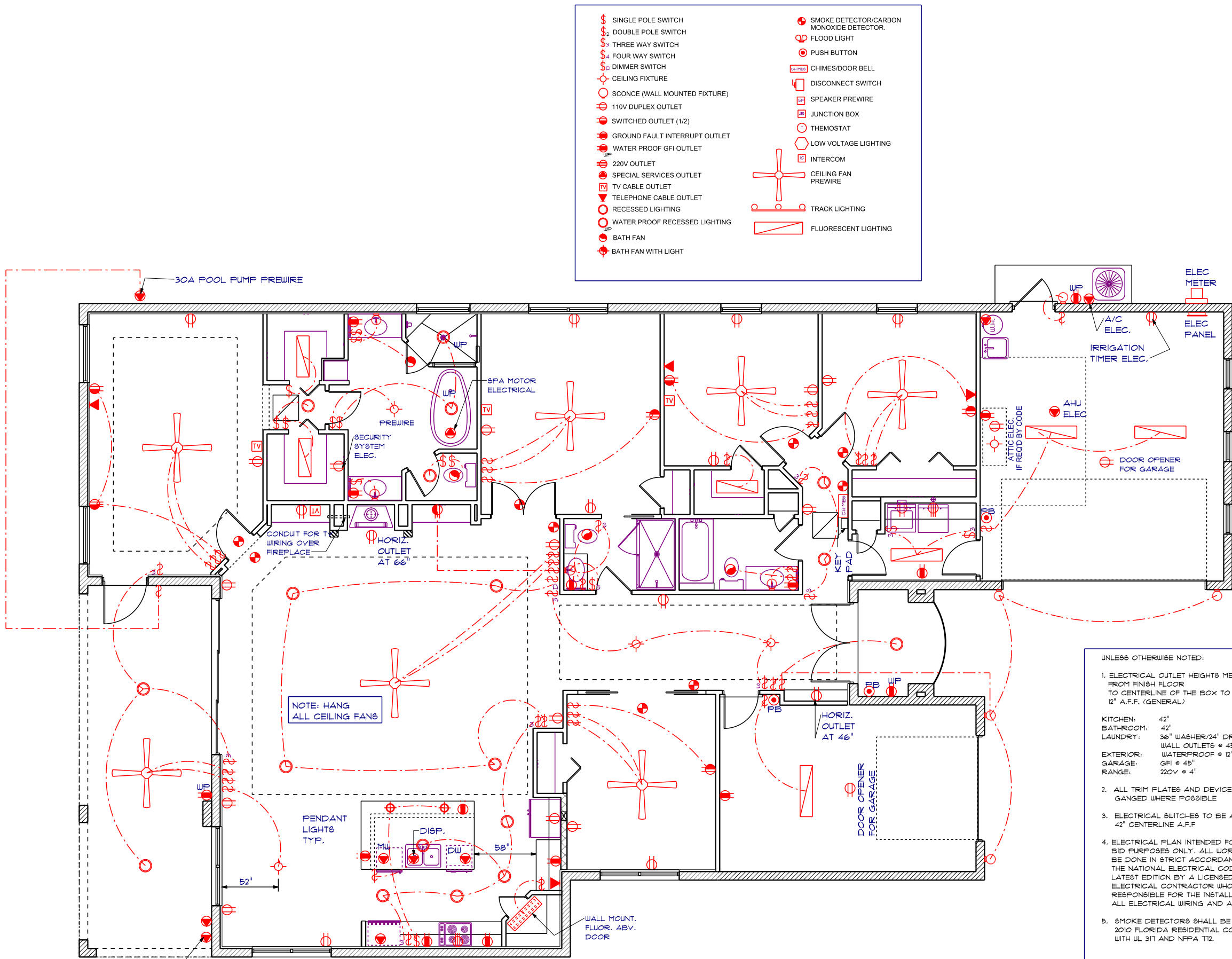
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- ⚡ SINGLE POLE SWITCH
- ⚡ DOUBLE POLE SWITCH
- ⚡ THREE WAY SWITCH
- ⚡ FOUR WAY SWITCH
- ⚡ DIMMER SWITCH
- ⊕ CEILING FIXTURE
- ⊕ SCONCE (WALL MOUNTED FIXTURE)
- ⊕ 110V DUPLEX OUTLET
- ⊕ SWITCHED OUTLET (1/2)
- ⊕ GROUND FAULT INTERRUPT OUTLET
- ⊕ WATER PROOF GFI OUTLET
- ⊕ 220V OUTLET
- ⊕ SPECIAL SERVICES OUTLET
- ⊕ TV CABLE OUTLET
- ⊕ TELEPHONE CABLE OUTLET
- ⊕ RECESSED LIGHTING
- ⊕ WATER PROOF RECESSED LIGHTING
- ⊕ BATH FAN
- ⊕ BATH FAN WITH LIGHT
- ⊕ SMOKE DETECTOR/CARBON MONOXIDE DETECTOR
- ⊕ FLOOD LIGHT
- ⊕ PUSH BUTTON
- ⊕ CHIMES/DOOR BELL
- ⊕ DISCONNECT SWITCH
- ⊕ SPEAKER PREWIRE
- ⊕ JUNCTION BOX
- ⊕ THERMOSTAT
- ⊕ LOW VOLTAGE LIGHTING
- ⊕ INTERCOM
- ⊕ CEILING FAN PREWIRE
- ⊕ TRACK LIGHTING
- ⊕ FLUORESCENT LIGHTING

PROVIDE GAS LINE & VENT FOR FUTURE OUTDOOR GRILL & HOOD. OUTDOOR KITCHEN WIRING TO INCLUDE 2 DEDICATED CIRCUITS, GAS GRILL WIRING AND HOOD WIRING

NOTE: HANG ALL CEILING FANS

- UNLESS OTHERWISE NOTED:
1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISH FLOOR TO CENTERLINE OF THE BOX TO BE 12" A.F.F. (GENERAL)
 - KITCHEN: 42"
BATHROOM: 42"
LAUNDRY: 36" WASHER/24" DRYER/
WALL OUTLETS @ 45"
EXTERIOR: WATERPROOF @ 12"
GARAGE: GFI @ 45"
RANGE: 220V @ 4"
 2. ALL TRIM PLATES AND DEVICES TO BE GANGED WHERE POSSIBLE
 3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.
 4. ELECTRICAL PLAN INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION AND SIZING OF ALL ELECTRICAL WIRING AND ACCESSORIES.
 5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH 2010 FLORIDA RESIDENTIAL CODE, SECTION 314, AND WITH UL 311 AND NFPA 712.
 6. PROVIDE ARC FAULT INTERRUPTERS PER 2009 NEC, 210.12
 7. ALL RECEPTACLES TO BE TAMPER PROOF PER NEC, SECT. 406.11

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ELECTRICAL PLAN

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