

NOTE: ALL ELECTRICAL, MECH. PLUMBING AND BUILDING MATERIALS AND /OR COMPONENTS SHALL BE INSTALLED ABOVE BASE FLOOD ELEVATION UNLESS SPECIFICALLY DESIGNED AND APPROVED FOR INSTALLATION BELOW BASE FLOOD ELEVATION OR MADE OF APPROVED WATER RESISTANT MATERIALS PER FEMA TECHNICAL BULLETIN 2-93 & 7-93

NOTE: ALL WALLS BELOW BASE FLOOD ELEVATION TO BE CONSTRUCTED W/ 2 X 4 P.T. FRAMING AT 16\"/>

TYPICAL 16\"/>

LANAI  
BRICK PAVERS

GARAGE BAY ONE  
22'-4\"/>

GARAGE BAY TWO  
25'-6\"/>

1A

DEEB FAMILY  
HOMES, LTD.  
9400 RIVER CROSSING BLVD,  
NEW PORT RICHEY, FL. 34655  
727-376-6831

PLAN DATE  
05-31-2017  
02-08-2017  
03-03-2017  
04-07-2017  
05-14-2017

GRIBBLE RESIDENCE  
116 CARLYLE DR.  
PALM HARBOR, FL.

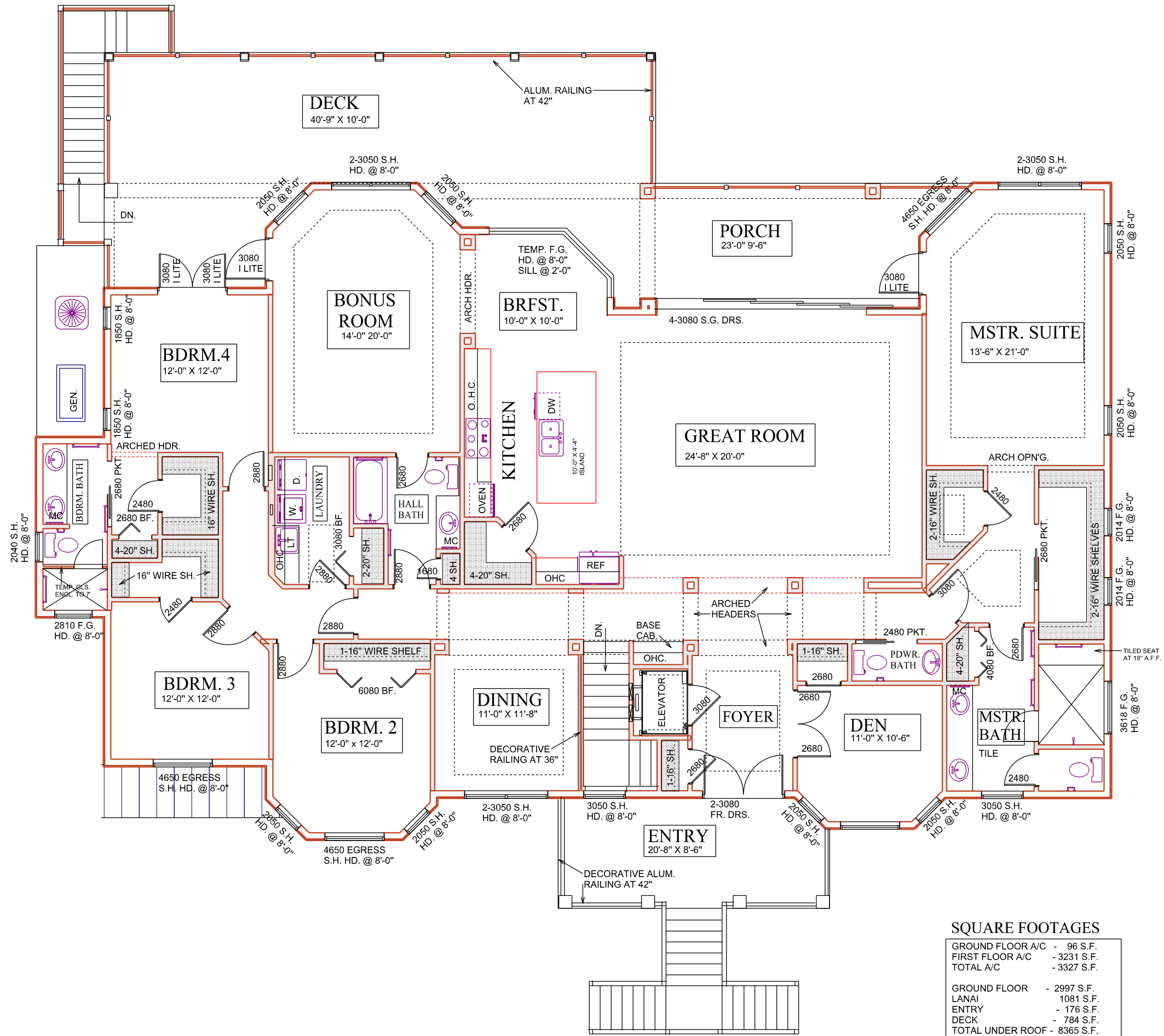
A.E.C.S. 0000

SCALE 1/8\"/>

GROUND FLOOR NOTES

I HEREBY CERTIFY THAT I HAVE PERFORMED THE ATTACHED DESIGN TO COMPLY WITH ALL APPLICABLE WIND LOADS AND IT IS IN COMPLIANCE WITH SECT. 301 OF THE 2014 FLORIDA RESIDENTIAL BUILDING CODE SEALED FOR STRUCTURE ONLY  
SIGNED: RICHARD E. ALLEN P.E. #56320  
richallenpe@gmail.com

ALLEN ENGINEERING & CONSTRUCTION SERVICES  
RICH ALLEN PROFESSIONAL ENGINEER  
P.E. # 56920 C.A. # 9542  
8809 SKYMASTER DR.  
NEW PORT RICHEY, FL. 34654  
727-842-6100  
richallenpe@gmail.com



**SQUARE FOOTAGES**

GROUND FLOOR A/C	- 96 S.F.
FIRST FLOOR A/C	- 3231 S.F.
TOTAL A/C	- 3327 S.F.
GROUND FLOOR	- 2997 S.F.
LANAI	- 1081 S.F.
ENTRY	- 176 S.F.
DECK	- 784 S.F.
TOTAL UNDER ROOF	- 8365 S.F.

**FLOOR PLAN NOTES** SCALE 1/8" = 1'-0"

**A.E.C.S. 0000**

**2**

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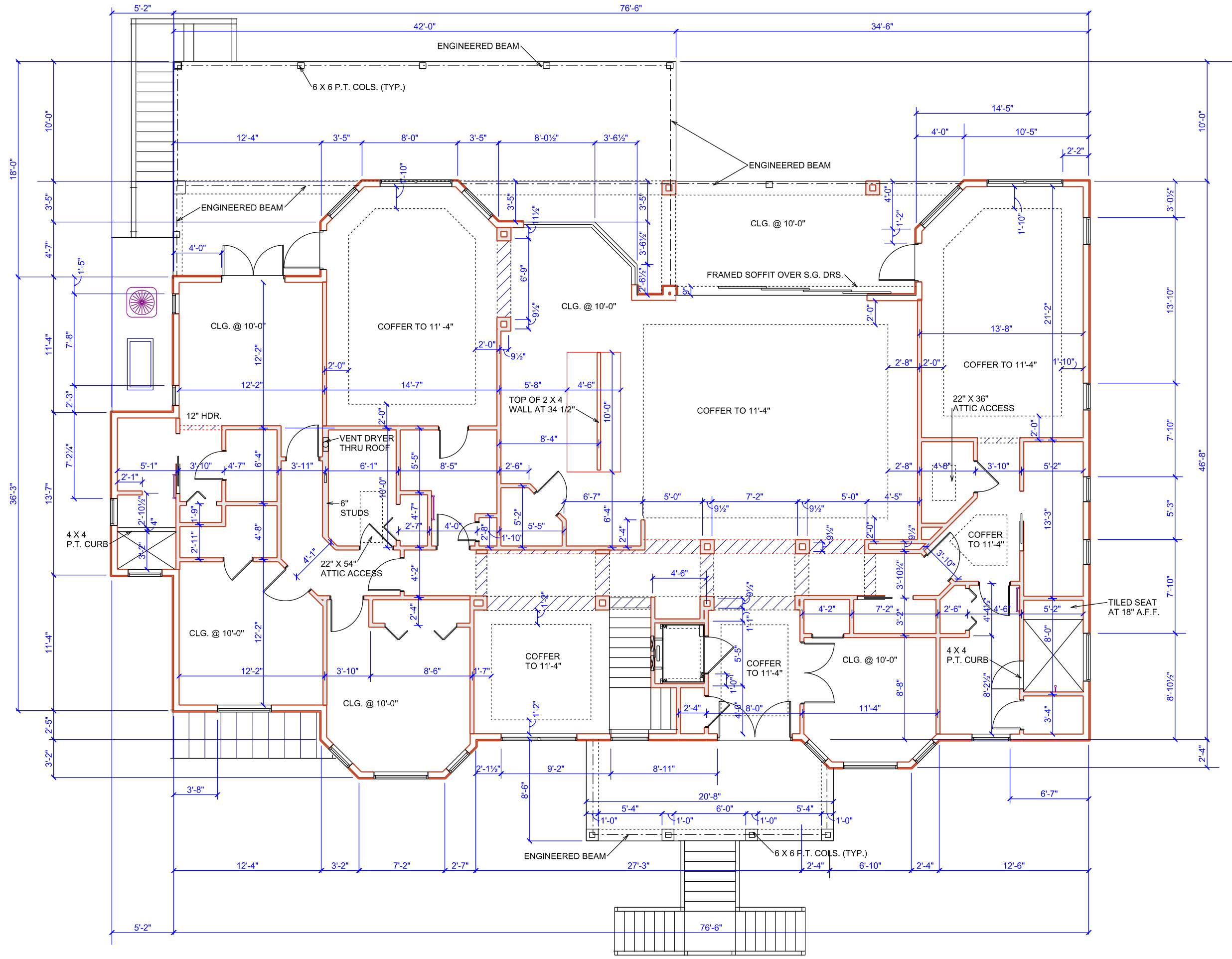
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DIMENSION PLAN

SCALE 1/8" = 1'-0"

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**3**

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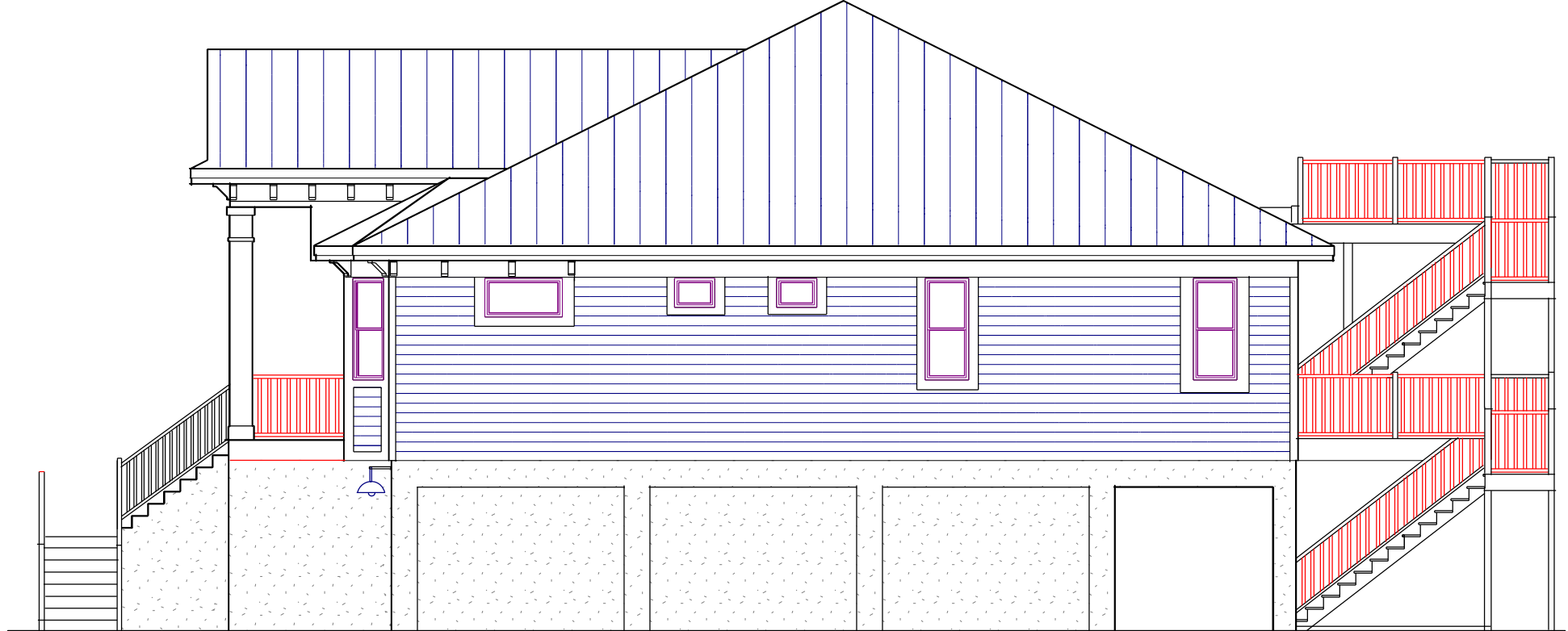
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FRONT ELEVATION



RIGHT SIDE ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

A.E.C.S. 0000

4

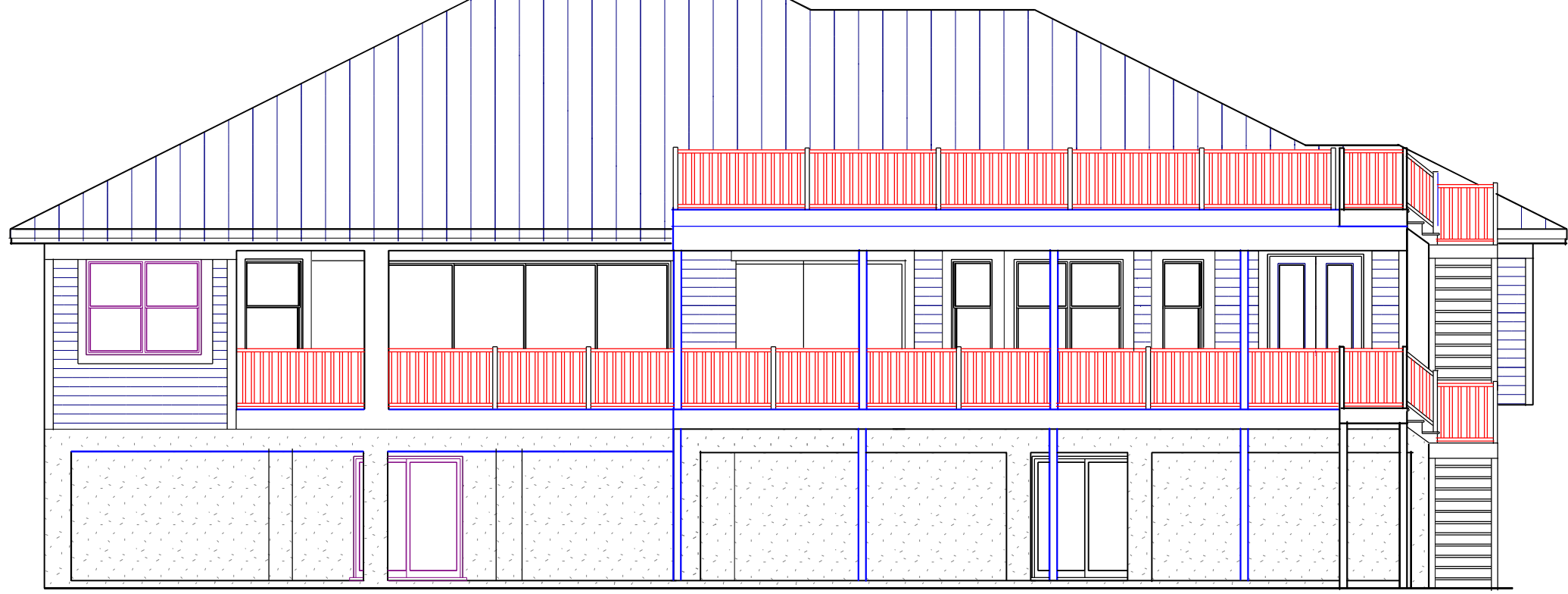
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REAR ELEVATION



LEFT SIDE ELEVATION

EXTERIOR ELEVATIONS

SCALE 1/8" = 1'-0"

A.E.C.S. 0000



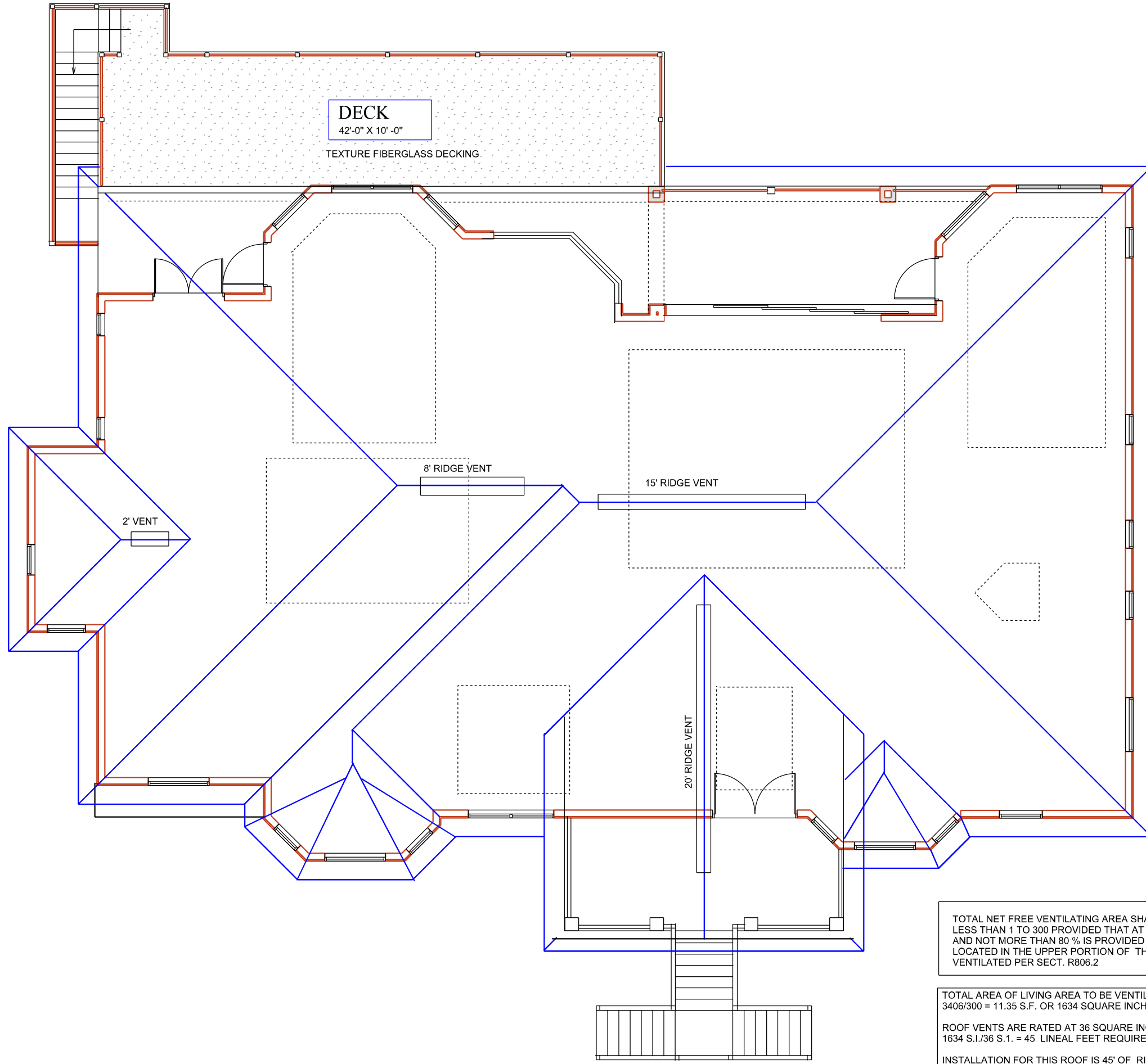
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TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 300 PROVIDED THAT AT LEAST 50% AND NOT MORE THAN 80% IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED PER SECT. R806.2

TOTAL AREA OF LIVING AREA TO BE VENTILATED = 3406 S.F.  
 $3406/300 = 11.35$  S.F. OR 1634 SQUARE INCHES.  
 ROOF VENTS ARE RATED AT 36 SQUARE INCHES OF OPENING PER LINEAL FT.  
 $1634 \text{ S.F.} / 36 \text{ S.I.} = 45$  LINEAL FEET REQUIRED.  
 INSTALLATION FOR THIS ROOF IS 45' OF RIDGE VENTS

**ROOF PLAN**

SCALE 1/8" = 1'-0"

**A.E.C.S. 00000**

**6**

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UNLESS OTHERWISE NOTED

1. ELECTRICAL OUTLET HEIGHTS MEASURED FROM FINISHED FLOOR TO CENTERLINE OF THE BOX TO BE 18" A.F.F. ( GENERAL )

KITCHEN 42"  
BATHROOM 42"  
LAUNDRY 36" WASHER/24" DRYER/ WALL OUTLETS 45"  
EXTERIOR WATERPROOF @ 12"  
GARAGE GFI @ 45"  
RANGE 220V @ 4"

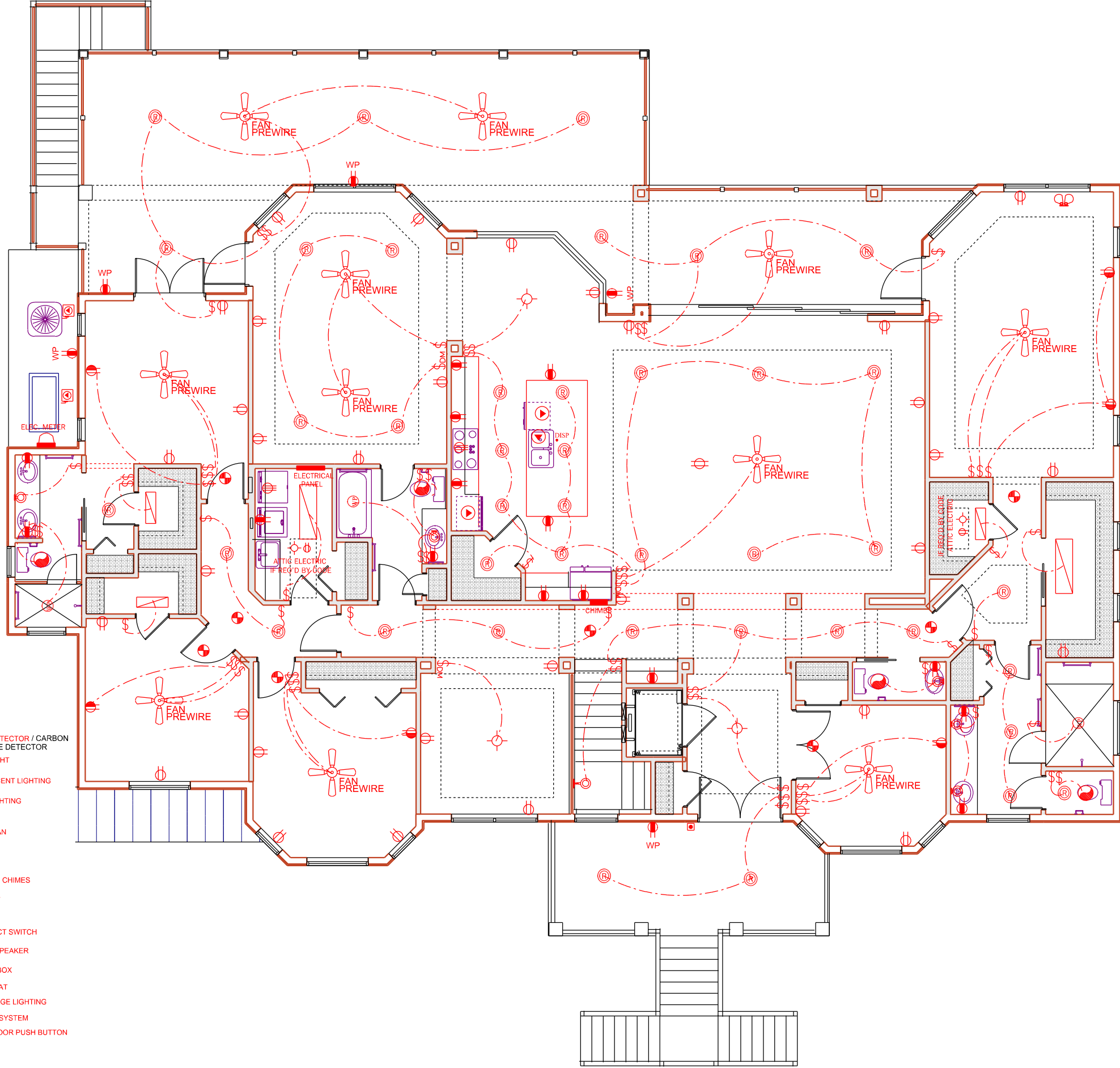
2. ALL TRIM PLATES AND DEVICES TO GANGED WHERE POSSIBLE

3. ELECTRICAL SWITCHES TO BE AT 42" CENTERLINE A.F.F.

4. ELECTRICAL PLAN IS INTENDED FOR BID PURPOSES ONLY. ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION BY A LICENSED ELECTRICAL CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE INSTALLATION & SIZING OF ALL ELECTRICAL, WIRING & ACCESSORIES.  
5. SMOKE DETECTORS SHALL BE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, SECTION 907.2  
6. PROVIDE AFCI ( ARC FAULT INTERRUPTERS ) PER NEC, SECTION 210-12  
7. ALL RECEPTALS TO BE TAMPER PROOF PER SECT. 406.11

**ELECTRICAL LEGEND**

- \$ SINGLE POLE SWITCH
- \$2 DOUBLE POLE SWITCH
- \$3 THREE-WAY SWITCH
- \$4 FOUR-WAY SWITCH
- \$DM DIMMER SWITCH
- ⊕ CEILING FIXTURE
- ⊕ SCOURCE ( WALL MOUNTED ) FIXTURE
- ⊕ 110 VOLT DUPLEX OUTLET
- ⊕ 110 VOLT SPLIT SWITCHED OUTLET
- ⊕ GROUND FAULT INTERRUPT
- ⊕ WP WATER PROOF W/ GROUND FAULT
- ⊕ 220 VOLT OUTLET
- ⊕ SPECIAL SERVICES OUTLET
- TV T.V. CABLE OUTLET
- ▲ TELEPHONE CABLE OUTLET
- ⊕ RECESSED LIGHTING
- ⊕ WP WATER PROOF RECESSED LIGHTING
- ⊕ BATH FAN
- ⊕ BATH FAN W/ LIGHT
- ⊕ SMOKE DETECTOR / CARBON MONOXIDE DETECTOR
- ⊕ FLOOD LIGHT
- ⊕ FLUORESCENT LIGHTING
- ⊕ TRACK LIGHTING
- ⊕ CEILING FAN
- CHIMES DOOR BELL CHIMES
- DISP DOOR BELL
- DISP DISPOSAL
- DISP DISCONNECT SWITCH
- SP PREWIRE SPEAKER
- JUNCTION BOX
- THERMOSTAT
- LOW VOLTAGE LIGHTING
- IC INTERCOM SYSTEM
- GB GARAGE DOOR PUSH BUTTON



**ELECTRICAL PLAN**

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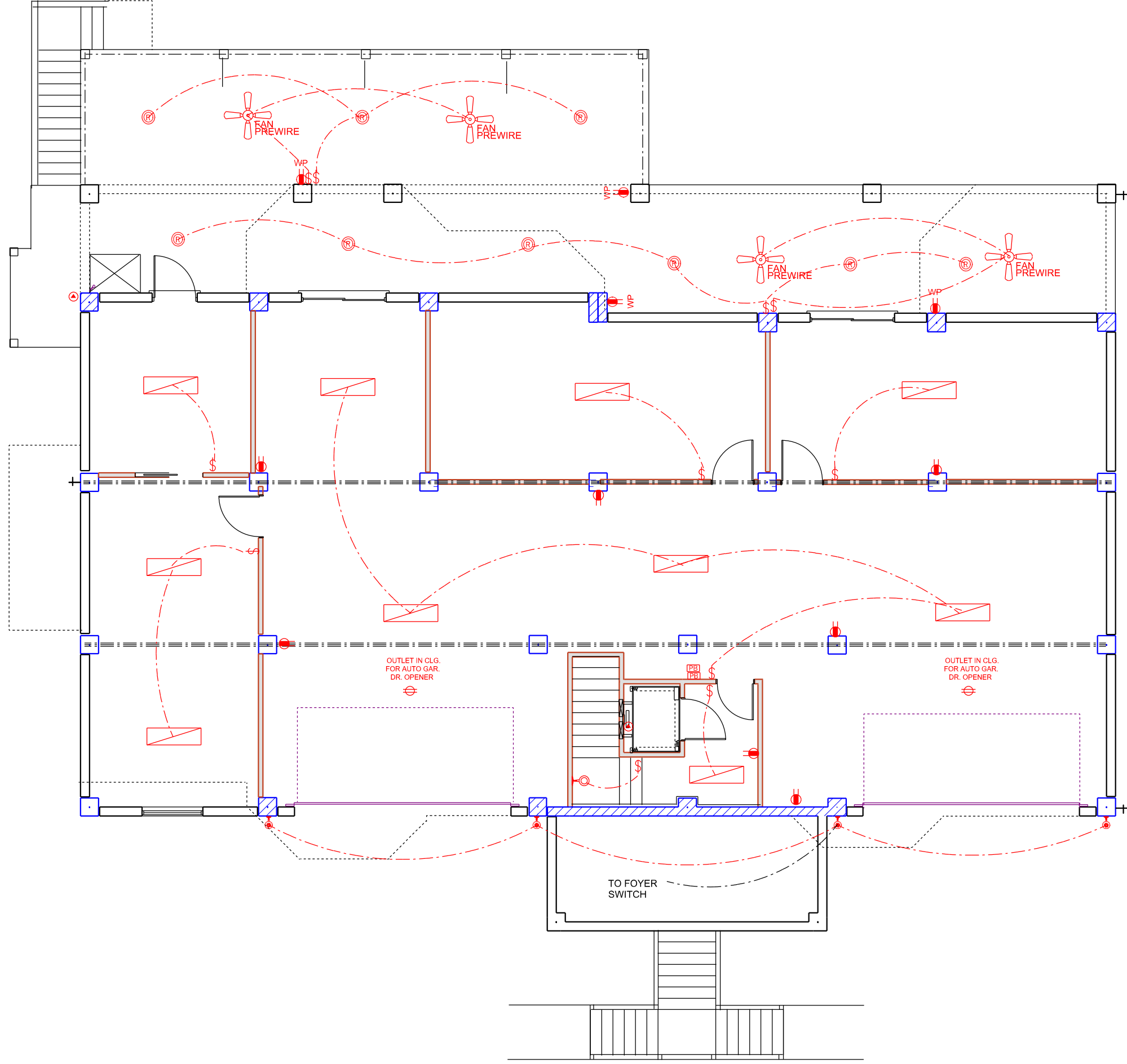
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**7**



**GROUND FLOOR ELECTRICAL**

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